



City of Blaine

Planning Commission

March 10, 2026 | 7:00 PM
Blaine City Hall
10801 Town Square Drive NE
Blaine, MN 55449

The Planning Commission is an advisory board to the City Council. One of the Commission's functions is to hold public hearings and make recommendations to the City Council. The City Council makes all final decisions on these matters. For each agenda item the Commission will receive reports prepared by the City staff, open the public hearing, discuss and act on the application.

Public comments prior to the meeting must be received by noon on the Monday prior to the meeting date. Email comments to: Planning@BlaineMN.gov or phone 763-785-6180.

AGENDA

1. Call to Order

2. Roll Call

3. Approval of Minutes

- 3.1.** 2026-51 Approval of the February 10, 2026 Planning Commission Minutes
Sponsors:

4. Public Hearing

- 4.1.** 2026-74 Case File No. 26-0004 // Dan Hennum // 2791 93rd Avenue NE
The applicant is requesting preliminary plat approval to subdivide a 3.61 acre parcel into seven single family lots to be known as Elizabeth Marie Estates.
Sponsors: Elizabeth Showalter, Community Development Specialist
- 4.2.** 2026-64 Case File No. 26-0006 // Kenjoh Outdoor Advertising // 8500 Naples Street NE
The applicant is requesting a conditional use permit for a billboard up to 65 feet in height in a Heavy Industrial (I-2A) zoning district.
Sponsors: Alex Koberoski, Assistant Planner
- 4.3.** 2026-73 Case File No. 26-0007 // Superior Molecular // 2161 107th Lane NE
The applicant is requesting a conditional use permit to operate a cannabis/hemp manufacturing facility in a Heavy Industrial (I-2) zoning district.

Sponsors: Shawn Kaye, Planner

5. Adjournment



City of Blaine

Planning Commission

February 10, 2026 | 7:00 PM
Blaine City Hall
10801 Town Square Drive NE
Blaine, MN 55449

MINUTES

1. Call to Order

The Blaine planning commission met in the City Hall Chambers on Tuesday, February 10, 2026. Chair Goracke called the meeting to order at 7:00PM.

2. Roll Call

Members Present: Commission Members Halpern, Howard, Olson and Chair Goracke.

Members Absent: Commission Members Geiselhart, Gorzycki and Swanson.

Staff Present: Shawn Kaye, Planner
Alex Koberoski, Assistant Planner
Teresa Barnes, Project Engineer

3. Approval of Minutes

3.1. 2026-50 Approval of the January 13, 2026 Planning Commission Minutes
Sponsors:

Motion by Commissioner Olson to approve the minutes of January 13, 2026, as presented. Motion seconded by Commissioner Howard. The motion passed 4-0.

4. Public Hearing

4.1. 2026-25 Case File No. 26-0001 // Magnifi Financial // 10903 Austin Street NE
The applicant is requesting a conditional use permit to construct a bank with a zero lot line (north property line) in a Development Flex (DF) zoning district.
Sponsors: Alex Koberoski, Assistant Planner

The report to the planning commission was presented by Alex Koberoski, Assistant Planner. The public hearing for Case File 26-0001 was opened at 7:04PM. As no one wished to appear, the public hearing was closed at 7:05PM.

Motion by Commissioner Howard to recommend approval of Planning Case 26-0001 based on the following conditions:

Case 26-0001:

- 1. Site plan approval will be required as a part of the building permit application. All site improvements to be included in the Site Improvement Performance Agreement (SIPA) and covered by an acceptable financial guarantee.**
- 2. No outside display or storage of products is allowed at any time on site.**
- 3. Any proposed change in use requires a CUP amendment.**
- 4. All signage requires a separate permit meeting the requirements of the zoning ordinance.**
- 5. Temporary signage to be regulated under Zoning Ordinance Section 133-12.**
- 6. No exterior overnight storage of pallets or delivered products.**
- 7. All lighting on site must meet requirements established by Section 129-2 of the Zoning Ordinance.**
- 8. A copy of the shared access agreement with all sites must be submitted to the Planning Department prior to issuance of Certificate of Occupancy.**
- 9. An issued Rice Creek Watershed District permit will be required to be received by the City prior to the proposed project receiving any city approval.**
- 10. At least 50 percent of all exterior wall finishes on any building shall be comprised of a combination of at least three of the following materials with all materials present on each elevation:**
 - **Brick**
 - **Natural or cultured stone**
 - **Glass.**
 - **Stucco or exterior insulation and finish systems (EIFS)**
 - **Fiber cement or composite siding**
 - **Architectural metal**
 - **Integrally colored rock-faced block**
- 11. The following minimum setbacks are required:**
 - **Building**
 - **Front: 50 feet**
 - **Side: 15 feet**
 - **Rear: 20 feet**
 - **Parking**
 - **Front: 30 feet**
 - **Side: 15 feet**
 - **Rear: 15 feet**
- 12. The property must receive final plat approval prior to any development occurring on site.**

Motion seconded by Commissioner Halpern. The motion passed 4-0.

Chair Goracke noted this would be on the agenda of the March 2, 2026 city council meeting.

- 4.2.** 2025-681 Case File No. 25-0056 // Pulte Group // 3700 and 3900 125th Avenue NE
The applicant is requesting the following:
1. Rezoning from Farm Residential (FR) to Development Flex (DF).
 2. Comprehensive plan amendment from Planned Industrial/Planned Commercial (PI/PC) and Low Density Residential (LDR) to Low-Medium Density Residential (L-MDR).
 3. Preliminary plat to subdivide approximately 83 acres into 79 single family lots, 56 twinhome lots, one common lot and 11 outlots to be known as Ravenwood
 4. Conditional use permit to allow construction of 79 single family homes and 56 twin homes in a Development Flex (DF) zoning district.

Sponsors: Shawn Kaye, Planner

The report to the planning commission was presented by Shawn Kaye, Planner. The public hearing for Case File 25-0056 was opened at 7:12PM.

Dean Lotter, Pulte Homes representative, thanked the commission for considering this request. He commented he began evaluating this site in 2025. He reported this project had a lot of wetlands and situations that had to be managed. He noted he was available for comments or questions.

Laura McKinley, 3900 125th Avenue NE, one of the property owners, explained her family was supportive of the proposal. She indicated she has lived in the community for decades and has seen the community grow and prosper. She stated development wasn't for everyone and she now was ready to leave the city of Blaine. When she came to this conclusion, she began a partnership with Pulte Homes because it seemed like a really good fit. She asked that the commission support the proposed request and move this item forward to the city council.

Kathy Todych, representative of the sellers, explained she has lived in six different northern suburbs over the past 25 years. She discussed how the McKinley sisters have cared for this land for more than 50 years. She indicated the McKinley sisters have purchased rural land in hopes of relocating their farms in a quieter setting. After decades of being responsible property owners, the McKinley sisters were ready to move forward with the next chapter of their lives. She commented on the housing shortage that was facing the metro area and noted Pulte Homes was well positioned to help address this need. She reported Pulte Homes has taken the time to meet with neighbors and hear their concerns. She noted the proposed development includes twin homes for seniors as well as single-family homes. She requested the city move forward with the proposed development without requiring the homes to be \$1+ million like the homes in the Hidden Forest development in Ham Lake. She commented further on how there was a need for twin homes in the community.

Amy Peterson, 9932 Fillmore St NE, explained she supported the city moving forward with a

responsible Blaine-appropriate housing development that supports families, existing neighborhoods and commercial investments that were being made in this area. She reported Blaine was a strong suburban community not a niche luxury market, when it came to housing. She indicated the median value home in Blaine was \$391,450. She commented on how one-acre lots with million dollar homes would serve on a small narrow buyer pool. She supported this project moving forward with standard sized suburban lots with high quality homes that would be more attainable for families. She noted this development would provide a balanced mix of housing types. She indicated there was a demand for additional housing in Anoka County between now and 2030 of over 18,000 housing units. She encouraged the commission to support the proposed development as it would bring stable housing to the community.

Alex Pavlov, 362 98th Avenue NE, explained he was a local realtor. He stated he was excited about the proposed housing project and noted there was a growing need for one level living options for seniors in the community. He encouraged the city to continue to invest in one level living options because this would free up existing housing units while also allowing seniors to age in place.

John Solem, 3421 126th Circle NE, explained he was a full-time employee of the federal government, part-time real estate agent, and was also a member of the national guard. He stated he appreciated the sense of community that would be created through the proposed development and urged the city to not pursue larger lots and more expensive homes. He noted he moved to Blaine six years ago, and he greatly appreciated the sense of community he found in his neighborhood. He was of the opinion Pulte Homes did a wonderful job creating community and encouraged the planning commission to move this project forward.

Galen Wax, 3775 125th Avenue NE, indicated he was a life-long resident of Blaine and noted he supported this project moving forward. He asked how utilities would be brought to this development.

Project Engineer Barnes explained utilities would be brought from the Zest Street connection and would extend through the proposed streets to the south. She indicated there would be a looped watermain through this development.

Mr. Wax inquired if there would be a traffic signal at Zest Street.

Project Engineer Barnes reported a traffic signal would be constructed this summer at the Zest Street and Main Street intersection.

Ron Van Wald, 12527 Leyte Street NE, Unit D, thanked the planning commissioners for their service to the city of Blaine. He explained he was a neighbor to the McKinley sisters. He reported he has an adult son that was severely disabled and noted he has lived in this area of Blaine for the past 10 years. He indicated he supported the proposed development and encouraged the planning commission to do the same.

The public hearing was closed at 7:34PM.

Chair Goracke asked when project construction would begin if the project were approved.

Mr. Lotter explained he was working on getting approvals from all of the proper agencies and noted he hoped to begin construction in April or May of this year.

Commissioner Halpern questioned if this project would be entered and exited off of Zest Street.

Project Engineer Barnes reported this was the case. She noted there were future plans to connect the road to the Lakes Parkway extension.

Commissioner Olson asked if the development would have sidewalks.

Project Engineer Barnes explained sidewalks were part of the development.

Motion by Commissioner Halpern to recommend approval of Planning Case 25-0056A a rezoning from Farm Residential (FR) to Development Flex (DF) with the following rationale:

Case 25-0056A:

- 1. The DF zoning standards to be incorporated are consistent with and will complement homes and housing options that have been constructed within recent developments. The standards will create an attractive benchmark of quality homes with a desired range in appearance, style, density, and construction value and market appeal.**
- 2. The DF zoning district allows the City the opportunity to have some flexibility when approving developments that warrant higher standards than what is allowed with the traditional zoning districts. It affords the City the opportunity to provide input on items that would benefit the surrounding neighborhoods and the City as a whole.**

Motion by Commissioner Halpern to recommend approval of Planning Case 25-0056B a comprehensive plan amendment from Planned Industrial/Planned Commercial (PI/PC) and Low Density Residential (LDR) to Low-Medium Density Residential (L-MDR) with the following rationale:

Case 25-0056B:

- 1. The proposed L-MDR land use is consistent with adjacent residential uses.**
- 2. The L-MDR land use designation to allow twinhomes is an appropriate land use to be located adjacent to existing commercial land use.**
- 3. The proposed land use allows for construction of a variety of housing products to meet market demands for a range in density.**

Motion by Commissioner Halpern to recommend approval of Planning Case 25-0056C a preliminary plat to subdivide into 79 single family lots, 56 twinhome lots, one common lot and 11 outlots to be known as Ravenwood with the following conditions:

Case 25-0056C:

- 1. Park dedication will be required for the 135 new lots being constructed at the rate of \$5,800 per unit (2026 rate), for a total park dedication fee of \$783,000 if paid in 2026. This amount must be paid prior to releasing the plat mylars for recording at Anoka County.**
- 2. The developer will be responsible for trunk sanitary sewer area charges. These charges become due with platting for upland acreage. The 2025 rate for Sanitary Sewer District 7 is \$8,760.00 per upland acre and will be applied to the acreage platted. This will be updated once the 2026 indexed rates become available.**
- 3. Developer to install grouped mailboxes with design and locations approved by the City and US Postal Service.**
- 4. All development signage by separate review.**
- 5. Each single family lot in the development will be required to have the standard two trees with a minimum of 2½-inch caliper per lot. One tree will be required in the front yard and one tree may be planted in the rear or front yard. One additional tree is required on corner lots.**
- 6. The twinhome development is required to plant one overstory, one conifer, and one ornamental tree per unit.**
- 7. 43 trees shall be planted adjacent to 125th Avenue.**
- 8. The developer must meet the City's Tree Preservation requirements by planting 254 replacement trees for the lots that are preliminary platted (31.65 disturbed acres). This requirement can be met with the required front and rear yard trees, plantings adjacent to Lexington Avenue, and required trees for the twinhome development.**
- 9. The developer is responsible for recording the plat mylars with Anoka County. Proof of recording must be provided to the City prior to issuance of building permits.**
- 10. Execution and recording of a Development Agreement, which sets forth in greater detail the plat conditions as well as other responsibilities for the development of this plat.**
- 11. The overall development shall be certified by a Professional Engineer licensed in the State of Minnesota and indicate all structures shall be protected from flooding.**
- 12. Plans and specifications must be approved by the City prior to start of construction.**
- 13. An Anoka County right-of-way permit is required prior to start of any site work.**
- 14. Rice Creek Watershed District (RCWD) permit is required prior to city approval of construction plans and specifications.**
- 15. The developer will be required to grant right of entry to the City of Blaine so that a second monitoring well can be constructed within the existing easement area.**
- 16. Development requires a National Pollutant Discharge Elimination System (NPDES) Phase II General Storm Water Permit for Construction Activity from Minnesota Pollution Control Agency (MPCA). A prerequisite to the MPCA permit application includes preparation of a site Storm Water Pollution Prevention Plan (SWPPP) for the development site.**

17. Construction contract documents shall include a mass (rough) grading, erosion protection, sediment control, development, utilities, roadway, and storm drainage plan sheets. Supporting wetland delineation report, geotechnical investigation report, soil boring logs, and hydrology report shall be included in the submittal for city review and approval.
18. The developer shall provide an exhibit that denotes the public versus private areas of the storm drainage system. Outlots that will remain private shall also be included in the exhibit.
19. The grading plan shall provide greater detail on protecting existing trees and provide additional information on adjacent property.
20. Standard utility and drainage easements must be dedicated along all lot lines and over areas of delineated wetlands, wetland mitigation, infiltration trenches, drainage swales, and storm water management ponds.
21. A protective buffer strip of natural vegetation, at least 15-feet in width (25-feet is preferred) shall surround all wetlands. This buffer strip shall be placed in easement.
22. The developer is to provide access for inspection and maintenance of storm water management infrastructure. Restrictions will be placed on lot lines as needed to limit fences and landscaping to ensure access.
23. The developer has responsibility to comply with any 125th Avenue NE improvements associated with this development per Anoka County plat review comments, if any.
24. The developer shall provide a construction cost estimate that includes costs for the construction of the section of Lakes Parkway that is within the property limits. This additional escrow funds will be required to be provided to the City to allow for completion of this roadway when necessary.
25. All local public streets require dedication of 60 feet of right-of-way and shall be constructed to 29 feet back to back of width.
26. All streets will follow the Anoka County street name grid system.
27. Street and utility extensions are required to the edge of the plat for each future connection to the adjacent parcels.
28. Sidewalks and or trails are required on all streets and location will be determined in the plan review process.
29. Streetlights shall be installed in the manner, location and type prescribed by the city engineer. The developer shall pay the costs of all of the street lighting installations. The City agrees to pay the cost of maintaining the portion of lights that are installed that reflect the normal and typical lighting requirements of the City. Additional lights, and those within neighborhoods that are installed by the developer, will be required to be maintained by the homeowners association.
30. Hydrant locations must be reviewed and approved by the Fire Department.
31. Water and sanitary sewer availability charges (WAC & SAC) become due with each building permit at the rate established at the time the building permit is issued.
32. As-built surveys shall be required to verify structure elevations, custom grading requirements, and final lot grading elevations.
33. The developer shall process a Letter of Map Change with FEMA prior to issuance of building permits within the unnumbered A-Zone on the FEMA flood

map. Developer shall provide all FEMA paperwork and structure as-built surveys to homeowners at time of lot closing. Developer is responsible for following through with FEMA (as necessary) to receive final FEMA documents, to provide those documents to the homeowners, and to record the final documents on the certificate of title for each parcel in the development.

Motion by Commissioner Halpern to recommend approval of Planning Case 25-0056D a conditional use permit to allow construction of 79 single family homes and 56 twin homes in a Development Flex (DF) zoning district with the following conditions:

Case 25-0056D:

Single Family 70 foot Lots — DF Development Standards

Permitted Uses:

1. Single-family detached dwellings
2. Group family daycare

Accessory Uses:

1. Private attached garages - one detached accessory structure, with area less than 120 square feet, will be permitted.
2. Private swimming pools meeting the requirements of Blaine Municipal Code Chapter 18 Article III.
3. Keeping of not more than two (2) boarders and/or roomers per dwelling unit.

Conditional Uses:

1. Home occupations listed as Conditional Uses in Section 129-10

Standards:

1. Setbacks
 - Front yard setback - 25 feet
 - Side yard setback - 10 feet (house and garage)
 - Corner side yard setback - 20 feet
 - Rear yard setback - 30 feet
2. Maximum building height - 2 1/2 stories or 35 feet.
3. It shall be required for all single-family dwellings that there be an attached garage constructed of a minimum of four hundred (400) square feet, with no dimension less than 20 feet. Total garage space shall not exceed one thousand (1,000) square feet.
4. The minimum finished floor area above grade for all homes shall be 1,700 square feet above ground for a single-level home and 2,600 square feet above ground for a two-story home.
5. All homes shall have a minimum depth and width of 24 feet.

6. All single-family homes will have varying roof styles and exterior treatments. Use of premium materials such as LP siding, stone, brick, etc., to be used on all front elevations. LP siding or equivalent is required on all elevations. All homes to incorporate multiple gables or varied rooflines and articulation of the front façade.
7. All residential dwellings must be built in conformance with the current edition of the Minnesota State Building Code.
8. Driveways shall not be constructed closer than three feet to the property line. All driveways and approaches shall be hard surfaced using concrete, bituminous asphalt or other city-approved material that is consistent in durability and quality.
9. It shall be required that all yards of a new single-family dwelling be sodded over a minimum of 4-inches of topsoil (black dirt containing not more than 35 percent sand). Yards may be seeded over 4-inches of black dirt if underground irrigation is installed with the home.
10. Each lot in the development will be required to have the standard two trees with a minimum of 2½-inch caliper per lot. One tree will be required in the front yard and one tree may be planted in the rear or front yard. All corner lots require one additional tree.
11. The developer to require the homeowners association to maintain all common areas.
12. All development entrance signage by separate permit.
13. 43 trees shall be planted adjacent to 125th Avenue.

Twinhome Lots

Permitted Uses:

1. Twinhome attached dwellings
2. Group family daycare

Accessory Uses:

1. Private attached garages — No detached accessory structures.
2. Keeping of not more than two (2) boarders and/or roomers per dwelling unit.

Conditional Uses:

1. Home occupations listed as Conditional Uses in Section 129-10

Standards:

1. Setbacks
 - Front yard porch setback - 18 feet to back of curb
 - Front yard garage/house setback - 25 feet to back of curb
 - Side yard setback (between buildings) - 20 feet
 - Corner side yard setback - 20 feet
2. Maximum building height - 2 1/2 stories or 35 feet.

3. It shall be required for all single-family dwellings that there be an attached garage constructed of a minimum of four hundred (400) square feet, with no dimension less than 20 feet. Total garage space shall not exceed one thousand (1,000) square feet. Detached garages or accessory storage buildings are not permitted.
4. The minimum finished floor area above grade for all homes shall be 1,700 square feet above ground.
5. Use of premium materials such as LP siding with stone accents is to be used on all front elevations. LP siding or equivalent is required on all elevations.
6. All residential dwellings must be built in conformance with the current edition of the Minnesota State Building Code.
7. It shall be required that all yards of the twinhomes be sodded over a minimum of 4-inches of topsoil (black dirt containing not more than 35 percent sand). Yards may be seeded over 4-inches of black dirt if underground irrigation is installed with the home.
8. It shall be required that all rear yards provide a minimum of 20-ft from the rear of the structure to any platted stormwater feature.
9. The twinhome development is required to plant one overstory, one conifer, and one ornamental tree per unit.
10. Underground irrigation must be used for all landscaped areas.
11. The developer to require the homeowners association to maintain all common areas.
12. All development entrance signage by separate permit.
13. All site plan and unit plans require approval from the Planning Department prior to any work being performed onsite.
14. In addition to the two garage stalls per unit and driveway parking, there shall be one parking space for each three units for guest parking.

Motion seconded by Commissioner Olson. The motion passed 4-0.

Chair Goracke noted this would be on the agenda of the March 2, 2026 city council meeting.

- 4.3.** 2026-34 Case File No. 26-0003 // Accessory Dwelling Units // City of Blaine
The City is proposing amendments to residential sections and performance standards of the City of Blaine Zoning Ordinance Regulating Accessory Dwelling Units.
Sponsors: Sheila Sellman, Community Development Director

The report to the planning commission was presented by Alex Koberoski, Assistant Planner. The public hearing for Case File 26-0003 was opened at 7:41 PM.

Amy Peterson, resident of Blaine, asked what the biggest challenge was when it came to ADU's. She reported there was an extreme housing shortage at this time and ADU's could assist in providing units for seniors or other family members in the community.

Chair Goracke reported ADU's were not being eliminated. He explained attached ADU's would be allowed, while detached ADU's would not.

The public hearing was closed at 7:43PM.

Motion by Commissioner Halpern to recommend approval of Planning Case 26-0003 amendments to Residential Sections and Performance Standards of the City of Blaine Zoning Ordinance Regulating Accessory Dwelling Units. Motion seconded by Commissioner Howard. The motion passed 4-0.

Chair Goracke noted this would be on the agenda of the March 2, 2026 city council meeting.

5. Adjournment

Motion by Commissioner Olson to adjourn the regular planning commission meeting. Motion seconded by Commissioner Howard. The motion passed 4-0.

Adjournment time was 7:44PM.



City of Blaine

Staff Report

File Number: 2026-74

Agenda Date	Status
March 10, 2026	
In Control	File Type
Planning Commission	Report

Public Hearing - Elizabeth Showalter, Community Development Specialist

Agenda Item # 4.1

Case File No. 26-0004 // Dan Hennum // 2791 93rd Avenue NE

The applicant is requesting preliminary plat approval to subdivide a 3.61 acre parcel into seven single family lots to be known as Elizabeth Marie Estates.

Background

Zoning	Single Family Residential (R-1)
Land Use	Low Density Residential (LDR)
Area	3.61 Acres
Applicable Regulations	Chapter 109, Article V of the Zoning Code and 74-46 of the Subdivision Code
Attachments	Zoning and Location Map Survey Preliminary Plat Grading Plan Tree Inventory Utility Plan Landscape Plan Narrative Public Comments
Schedule	Planning Commission: 03/10/26 City Council: 04/06/26

Staff report prepared by Elizabeth Showalter, Community Development Specialist, and Teresa Barnes, Project Engineer

Preliminary Plat Standards of Review

The planning commission shall make a recommendation on the preliminary plat considering conformance with the city's comprehensive plan, zoning ordinance, this chapter and all chapters of this code.

Evaluation of Request

Planning Analysis

Zoning

The subject property is zoned Single Family Residential (R-1), which allows for single-family detached homes with a minimum lot size of 10,000 square feet and a minimum lot width of 80 feet.

Land Use Designation

The property is guided Low Density Residential (LDR), which allows for net residential density of 2.5-6 units per acre. The proposed plat has a net density of 2.52 units per acre.

Surrounding Zoning and Uses

Surrounding properties are also zoned R-1 and are occupied by single-family homes.

Existing Conditions

The property is a wooded vacant lot with an abandoned foundation.

History

The property received preliminary plat approval for the same plat as is currently proposed in 2019. The developer did not complete the project and the approvals expired.

A concept plan was created in the early 1990's for the area southeast of the airport to establish an assessment policy for the area. The plan showed how parcels could develop and how many lots could be created. The concept plan at that time showed a subdivision of the subject property into two lots, due to the large portion of the property thought to be a wetland at that time. The developer had a wetland delineation completed, showing the wetland area substantially smaller than previously thought, and therefore, seven lots are now achievable on the property.

The property was assessed for two lots on Bataan Street with project 94-06A in 1995. Based on the updated wetland delineation, the developer is able to plat seven total lots. With the proposed plat, and its now 7 lots, additional sewer and water connection charges become due for five additional lots.

Plat

The developer is proposing 7 lots, all of which meet the R-1 lot size standards. Lot sizes range from 12,883 to 33,304 square feet, all exceeding the 10,000 square foot minimum lot size, with the large lots including large amounts of wetland or stormwater infrastructure on the properties. Lot widths range from 80 feet to 112 feet, exceeding the 80-foot minimum lot width.

One outlot is proposed along the western property line, which is proposed to be sold to the owner of the adjacent property. A condition is included that the property must be combined with the adjacent property within 60 days of recording the plat, and that building permits cannot be issued for the new lots until proof of lot combination is provided to the City.

Setbacks

The proposed lots are subject to the R-1 setback requirements, which are:

- Front: 30 feet

- Side: 10 feet (5 feet for garage)
- Rear: 30 feet
- Corner side: 20 feet

The applicant provided a site plan showing potential home locations that comply with the setback requirements.

Landscaping and Tree Preservation

A tree survey is included in the attachments. One-for-one replacement of trees removed is required for the first 8 trees removed per disturbed acre. The applicant is proposing 2.5 acres of grading, which results in 20 replacement trees required under the tree preservation ordinance.

The standard landscaping requirements for R-1 lots are two front yard trees with a third required on corner lots. To meet the tree preservation standards, staff recommends requiring three trees per lot, with two located in the front yard, which results in 21 trees, meeting the tree preservation requirements. The submitted landscape plan includes boulevard trees, which are no longer required or accepted for single-family lot landscaping. Applicant must submit a revised landscape plan prior to issuance of a notice to proceed with grading.

Park Dedication

Park Dedication is due for 7 lots. The existing lot was platted prior to the incorporation of the City, and no park dedication has been previously paid. Park dedication will be charged at the rate in effect at the time of payment. The current rate (\$5,800 per unit) would result in a total payment of \$40,600.

Airport Noise Considerations

The property is located in an area regulated by noise mitigation standards. All homes will be required to comply with the standards listed in 129-19 of the zoning code.

Engineering Analysis

Grading/Storm Drainage

The developer is proposing to grade the entire site as shown on the Rice Creek Watershed District (RCWD) and city-approved grading, drainage, erosion protection, and sediment control plans prepared by the Developer's Engineer. The plans shall include existing drainage patterns (contours) with flow arrows, soil boring locations, perimeter site protection, tree preservation, tree clearing limits, custom grading, proposed grading contours, proposed drainage patterns with flow arrows, storm water management, SWPPP information, temporary erosion protection Best Management Practices (BMPs), and temporary sediment control BMPs information for the site. The SWPPP may be included in the construction plan sheet(s) or prepared as a separate document and included in the development construction contract specifications.

The developer will also need to submit construction contract documents that include a mass (rough) grading, erosion protection, sediment control, development, utilities, and storm drainage plan sheets. Supporting wetland delineation report, geotechnical investigation report, soil boring logs, and hydrology report shall be included in the submittal for city review and approval.

The grading plan shall provide greater detail on protecting existing trees and provide additional information on adjacent property.

For each lot where a house is proposed to be constructed, as-built surveys shall be required to verify structure elevations, custom grading requirements, and final lot grading elevations.

Utilities

The current southeast area rate is \$33,128.80 per lot. Credit will be given for the sewer and water services that need to be installed to serve the additional lots. The total amount due after the credit is \$157,929.23.

Standard water and sanitary sewer access charges (WAC & SAC) become due with each building permit at the rate established at the time the building permit is issued.

Wetlands/Watershed/FEMA

The plat will need to provide for a protective buffer strip of natural vegetation at least 15-feet in width (25-feet is preferred) and shall surround all wetlands. This buffer strip shall be placed in the easement.

The developer will need to submit the project to the RCWD. Review, approval, and permits are required prior to city plan approval and start of site work.

The development shall indicate that all structures are protected from flooding by processing a Letter of Map Change with FEMA prior to issuance of building permits within the unnumbered A-Zone on the FEMA flood map. The developer shall provide all FEMA paperwork and structure as-built surveys to homeowners at the time of lot closing. The developer is responsible for following through with FEMA (as necessary) to receive final documents, to provide those documents to the homeowners, and to record these on the certificate of title for each parcel in the development.

Access/Street Design/Sidewalks/Trails

Each proposed lot will have a driveway access to either 93rd Avenue NE or Bataan Street NE. No additional street design, sidewalk or trail required.

Easements/Right-of-way/Permits

The developer will need to obtain all required permits to construct the proposed project. A copy of all permits will need to be submitted to the City prior to any site work.

Standard drainage and utility easements shall be dedicated along all lot lines and over areas of delineated wetlands, wetland mitigation, infiltration trenches, drainage swales, and storm water management ponds.

Recommendation

In Planning Case File No. 26-0004, it is recommended that the Planning Commission recommend approval of a preliminary plat to subdivide a 3.61 acre parcel into seven single family lots to be known as Elizabeth Marie Estates based with the following conditions:

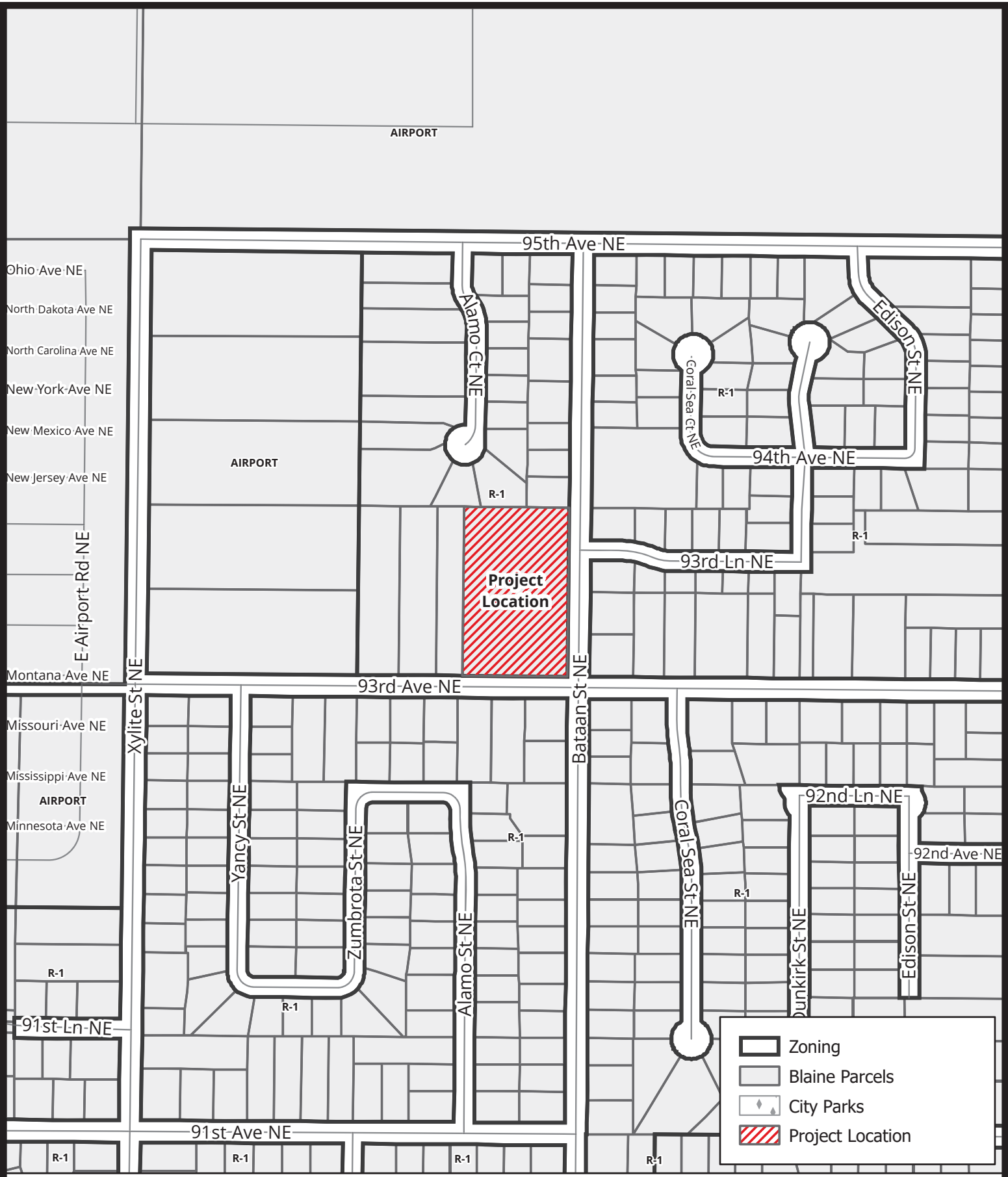
1. Park dedication is required for the 7 new lots being proposed within the plat prior to release of plat mylars for recording at the rate in effect at the time of payment.

2. Outlot A, which is intended to be sold and deeded to the adjacent property owner, shall be combined with the adjacent property parcel through a lot combination request at Anoka County within 60 days after the plat is recorded at Anoka County, and prior to issuance of any building permits for homes within the plat.
3. Three trees shall be planted on each lot, including two front yard trees. Trees must be 6-foot high conifers or 2.5 caliper inch overstory trees. Landscaping trees may not be planted in the boulevard. A landscape plan conforming with this standard must be submitted prior to issuance of a notice to proceed with grading.
4. The developer is responsible for recording the plat mylars with Anoka County. Proof of recording must be provided to the City prior to issuance of building permits.
5. Execution and recording of a development agreement which sets forth in greater detail the plat conditions as well as other responsibilities for the development of this plat.
6. The developer must meet the City's tree preservation requirements by planting 20 replacement trees for the lots that were preliminary platted (2.5 disturbed acres). The developer is required to plant three trees per lot to meet this requirement.
7. Foundation located on site must be removed prior to issuance of building permits for lots 3 and 4. A demolition permit is required for removal of the foundation.
8. The overall development shall be certified by a professional engineer licensed in the State of Minnesota and indicate all structures shall be protected from flooding.
9. Plans and specifications must be approved by the City prior to the start of construction.
10. A Rice Creek Watershed District (RCWD) permit is required prior to city approval of construction plans and specifications.
11. Development requires a National Pollutant Discharge Elimination System (NPDES) Phase II General Storm Water Permit for construction activity from the Minnesota Pollution Control Agency (MPCA). A prerequisite to the MPCA permit application includes preparation of a site Storm Water Pollution Prevention Plan (SWPPP) for the development site.
12. Construction contract documents shall include a mass (rough) grading, erosion protection, sediment control, development, utilities, roadway, and storm drainage plan sheets. Supporting wetland delineation report, geotechnical investigation report, soil boring logs, and hydrology report shall be included in the submittal for city review and approval.
13. The grading plan shall provide greater detail on protecting existing trees and provide additional information on adjacent property.
14. Standard utility and drainage easements must be dedicated along all lot lines and over areas of delineated wetlands, wetland mitigation, infiltration trenches, drainage swales, and storm water management ponds.
15. A protective buffer strip of natural vegetation, at least 15-feet in width (25-feet is preferred) shall surround all wetlands. This buffer strip shall be placed in easement.
16. The developer will be responsible for the creation of 5 additional lots per the southeast area. The current southeast area rate is \$33,128.80 per lot. Credit will be given for the sewer and water services that need to be installed to serve the additional lots. The total amount due after the credit is \$157,929.23 and becomes due with platting.
17. Water and sanitary sewer availability charges (WAC & SAC) become due with each building permit at the rate established at the time the building permit is issued.
18. Developer to install grouped mailboxes with design and locations approved by the City and US Postal Service.
19. As-built surveys shall be required to verify structure elevations, custom grading requirements, and final lot grading elevations.

20. BMPs not accepting street water shall be maintained privately. The developer shall establish a homeowners' association for maintenance of any privately maintained BMPs that span property boundaries.

Attachment List

1. Attachments
2. Public Comments



Case File No. 26-0004
Elizabeth Marie Estates

0 0.03 0.05 0.1 Miles
Scale: 1:4,456



BlaineMN.gov

Blaine Planning Department / 10801 Town Square Dr NE / Blaine, MN 55449 / (763) 785-6180

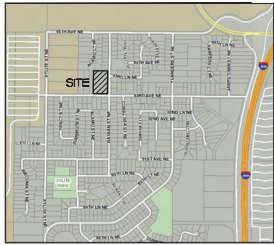


CERTIFICATE OF SURVEY

~for~ ELIZABETH MARIE ESTATES
~for~ DAN HENNUM
10209 JACKSON STREET NE
BLAINE, MN 55434
(763) 464-3139

VICINITY MAP

PART OF SEC. 27, TWP. 34, RING. 23



ANOKA COUNTY, MINNESOTA
(NO SCALE)

PROPERTY DESCRIPTION:

Lot Forty-five (45), Spring Lake Park Woodland, according to the plat thereof on file in the office of the Registrar of Titles, Anoka County, Minnesota.

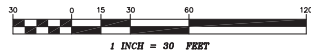
Subject to a five (5) foot strip easement along the rear line for public utility use such as setting poles, stringing of wires, trimming or removing trees, if necessary, for line clearance and laying of underground conduits.

(Torrens Property Certificate of Title No. 404449)

NOTES

- Property address is 2791 93rd Ave NE, Blaine, MN 55449.
- Property Pin No. 27-31-23-33-0008.
- Field survey was completed by E.G. Rud and Sons, Inc. on 12/2017.
- Bearings shown are on the Anoka County Coordinate System.
- Curb shots are taken at the top and back of curb.
- Utilities shown hereon are observed and from various utility plans. Excavations were not made during the process of this survey to locate underground utilities and/or structures. The location of underground utilities and/or structures may vary from locations shown hereon and additional underground utilities and/or structures may be encountered.
- Contact Duffer State One Call Notification Center at (651) 454-0002 for verification of utility type and field location, prior to excavation.
- See Preliminary Tree Inventory and Removal Plan for tree size and species.

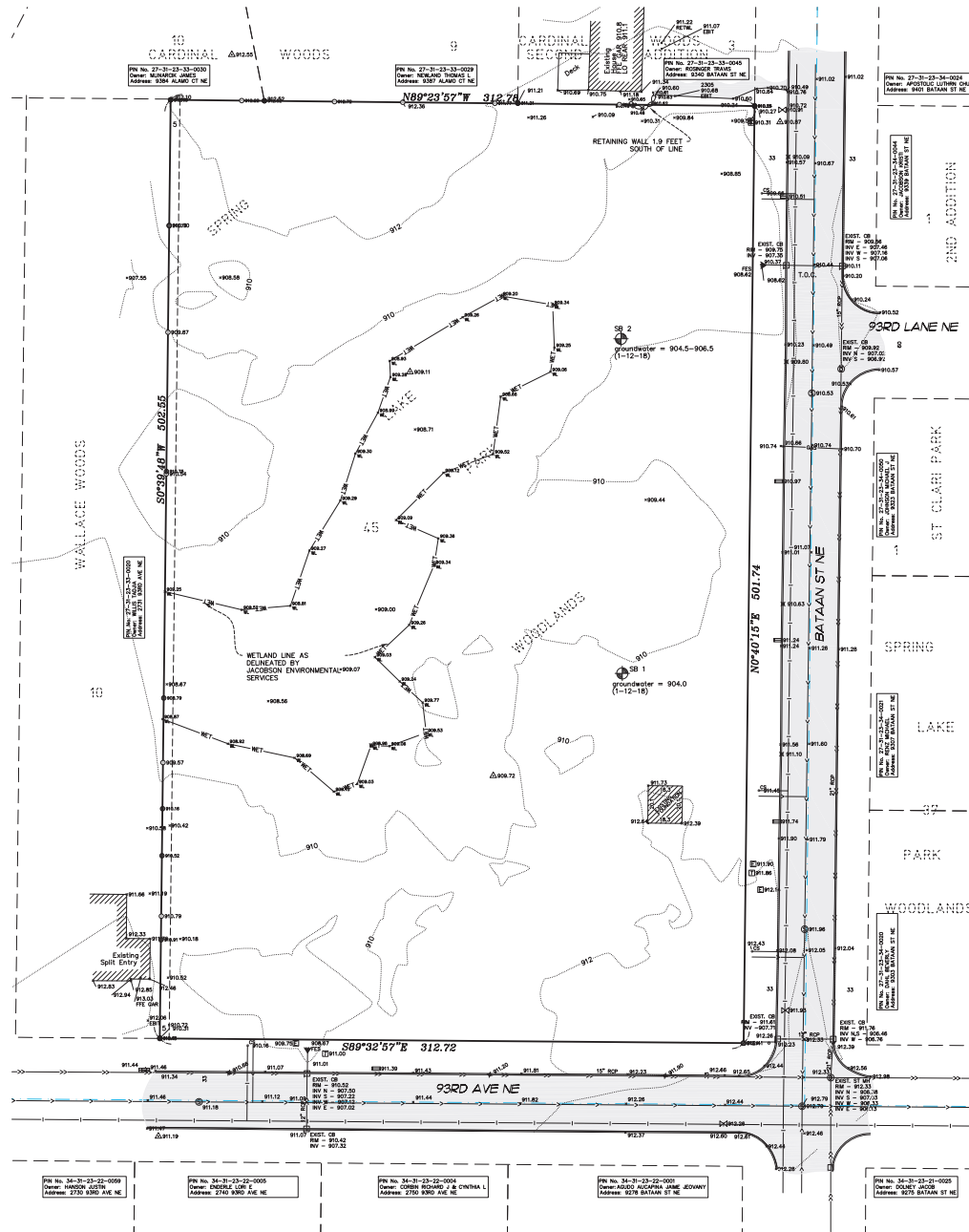
GRAPHIC SCALE



E.G. RUD & SONS, INC.
Professional Land Surveyors
6776 Lake Drive NE, Suite 110
Lino Lakes, MN 55014
Tel. (651) 361-8200 Fax (651) 361-8701

BENCHMARK

BENCHMARK: MNDOT "CRACK"
unpublished point.
ELEVATION = 929.62 (NAVD 88)



LEGEND

- DENOTES IRON MONUMENT FOUND AS LABELED
- DENOTES IRON MONUMENT SET, MARKED RLS# 41578
- DENOTES SOIL BORING BY HAUGO GEO TECHNICAL
- DENOTES BRACE POLE OR GUY POLE
- DENOTES CATCH BASIN
- DENOTES CATCH BASIN MANHOLE
- DENOTES CABLE PEDESTAL
- DENOTES CURB STOP
- DENOTES ELECTRICAL BOX
- DENOTES EXISTING SPOT ELEVATION
- DENOTES FIBER OPTIC BOX
- DENOTES GAS METER
- DENOTES GAS VALVE
- DENOTES GUY WIRE
- DENOTES HYDRANT
- DENOTES LIGHT POLE
- DENOTES MAILBOX
- DENOTES MISCELLANEOUS MANHOLE
- DENOTES POWER POLE
- DENOTES SANITARY SEWER MANHOLE
- DENOTES SIGN
- DENOTES STORM SEWER APRON
- DENOTES STORM SEWER MANHOLE
- DENOTES TELEPHONE PEDESTAL
- DENOTES WATER VALVE
- DENOTES WELL
- DENOTES WET LAND
- DENOTES RETAINING WALL
- DENOTES EXISTING CONTOURS
- DENOTES EXISTING SANITARY SEWER
- DENOTES EXISTING STORM SEWER
- DENOTES EXISTING WATER MAIN
- DENOTES ADJACENT PARCEL OWNER INFORMATION (PER ANOKA COUNTY TAX INFORMATION)

AREA COMPUTATIONS

TOTAL AREA SITE AREA: 3.61± ACRES

ZONING AND SETBACKS

CURRENT ZONING IS SINGLE FAMILY RESIDENTIAL R-1
PROPOSED ZONING SINGLE FAMILY RESIDENTIAL R-1

FRONT SETBACK	30 FEET
HOUSE SIDE SETBACK (INTERIOR)	10 FEET
GARAGE SIDE SETBACK	5 FEET
REAR SETBACK	30 FEET
CORNER SIDE YARD SETBACK	20 FEET

DEVELOPMENT REQUIREMENTS FOR ZONE R1

MINIMUM LOT AREA 10,000 S.F.
MINIMUM LOT WIDTH 80 FEET AT SETBACK LINE
MINIMUM LOT DEPTH 125 FEET

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

JASON E. RUD
Date: 01/26/2026 License No. 41578

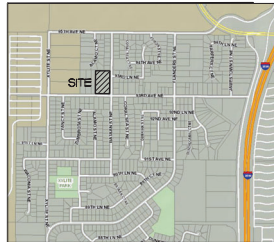
DRAWN BY: MMD	JOB NO: 17557PP	DATE: 10/27/18
CHECK BY: JER	SCANNED	
1	04/26/19	CITY SUBMITTAL
2	04/26/19	CITY COMMENTS
3	01/21/26	CITY RESUBMITTAL
4	01/26/26	CITY COMMENTS
NO.	DATE	DESCRIPTION

PRELIMINARY PLAT

~for~ ELIZABETH MARIE ESTATES
~for~ DAN HENNUM
10209 JACKSON STREET NE
BLAINE, MN 55434
(763) 464-3139

VICINITY MAP

PART OF SEC. 27, TWP. 34, RING. 23



ANOKA COUNTY, MINNESOTA
(NO SCALE)

PROPERTY DESCRIPTION:

Lot Forty-five (45), Spring Lake Park Woodland, according to the plat thereof on file in the office of the Registrar of Titles, Anoka County, Minnesota.

Subject to a five (5) foot strip easement along the rear line for public utility use such as setting poles, stringing of wires, trimming or removing trees, if necessary, for line clearance and laying of underground conduits.

(Torrens Property Certificate of Title No. 404449)

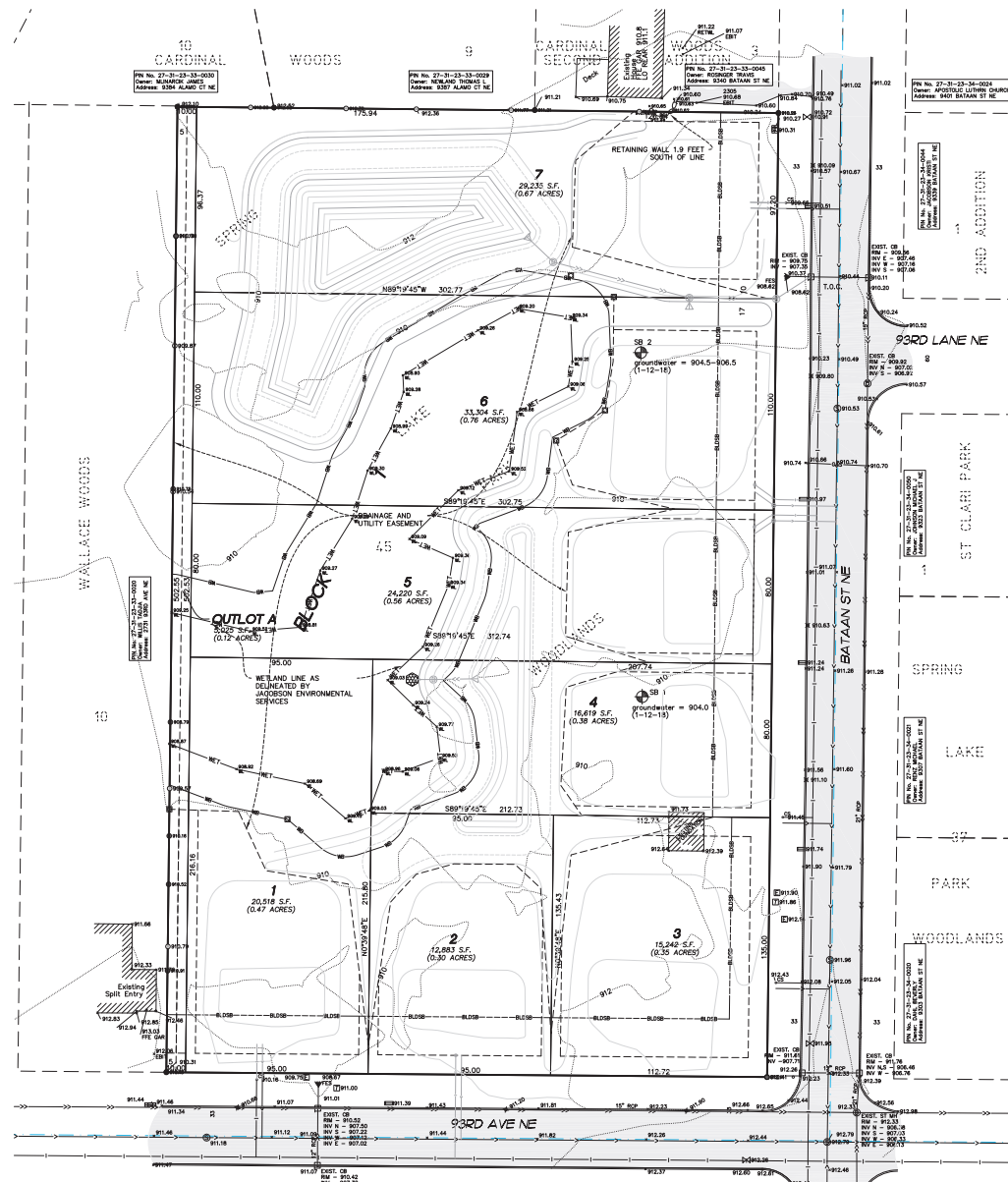
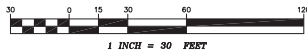
NOTES

- Property address is 2791 93rd Ave NE, Blaine, MN 55449.
- Property Pin No. 27-31-23-33-0008.
- Field survey was completed by E.G. Rud and Sons, Inc. on 12/2017.
- Bearings shown are on the Anoka County Coordinate System.
- Curb shots are taken at the top and back of curb.
- Utilities shown hereon are observed and from various utility plans. Excavations were not made during the process of this survey to locate underground utilities and/or structures. The location of underground utilities and/or structures may vary from locations shown hereon and additional underground utilities and/or structures may be encountered. Contact Gopher State One Call Notification Center at (651) 454-0002 for verification of utility type and field location, prior to excavation.
- See Preliminary Tree Inventory and Tree Removal Plan for tree size and species.

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:

BEING 5 FEET IN WIDTH AND ADJOINING SIDE LOT LINES
AND 10 FEET IN WIDTH AND ADJOINING STREET LINES AND
REAR LOT LINES, UNLESS OTHERWISE SHOWN ON THIS PLAT.

GRAPHIC SCALE



AREA COMPUTATIONS

TOTAL AREA SITE AREA: 3.612 ACRES
OUTLOT AREA 0.124 ACRES
7 PROPOSED SINGLE FAMILY LOTS
DENSITY: 2.012 UNITS/ ACRE

ZONING AND SETBACKS

CURRENT ZONING IS SINGLE FAMILY RESIDENTIAL R-1
PROPOSED ZONING SINGLE FAMILY RESIDENTIAL R-1

FRONT SETBACK 30 FEET
HOUSE SIDE SETBACK (INTERIOR) 10 FEET
GARAGE SIDE SETBACK 5 FEET
REAR SETBACK 30 FEET
CORNER SIDE YARD SETBACK 20 FEET
WETLAND BUFFER 20 FEET

DEVELOPMENT REQUIREMENTS FOR ZONE R1
MINIMUM LOT AREA 10,000 S.F.
MINIMUM LOT WIDTH 80 FEET AT SETBACK LINE
MINIMUM LOT DEPTH 125 FEET

LEGEND

- DENOTES IRON MONUMENT FOUND AS LABELED
- DENOTES IRON MONUMENT SET, MARKED RLS# 41578
- DENOTES SOIL BORING BY HAUGO GEO TECHNICAL
- DENOTES BRACE POLE OR GUY POLE
- DENOTES CATCH BASIN
- DENOTES CATCH BASIN MANHOLE
- DENOTES CABLE PEDESTAL
- DENOTES CURB STOP
- DENOTES ELECTRICAL BOX
- DENOTES EXISTING SPOT ELEVATION
- DENOTES FIBER OPTIC BOX
- DENOTES GAS METER
- DENOTES GAS VALVE
- DENOTES GUY WIRE
- DENOTES HYDRANT
- DENOTES LIGHT POLE
- DENOTES MAILBOX
- DENOTES MISCELLANEOUS MANHOLE
- DENOTES POWER POLE
- DENOTES SANITARY SEWER MANHOLE
- DENOTES SIGN
- DENOTES STORM SEWER APRON
- DENOTES STORM SEWER MANHOLE
- DENOTES TELEPHONE PEDESTAL
- DENOTES WATER VALVE
- DENOTES WELL
- DENOTES WET LAND
- DENOTES WETLAND BUFFER SIGN
- DENOTES RETAINING WALL
- DENOTES EXISTING CONTOURS
- DENOTES EXISTING SANITARY SEWER
- DENOTES EXISTING STORM SEWER
- DENOTES EXISTING WATER MAIN
- DENOTES BUILDING SETBACK LINE
- DENOTES WETLAND BUFFER LINE
- DENOTES ADJACENT PARCEL OWNER INFORMATION (PER ANOKA COUNTY TAX INFORMATION)

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

JASON E. RUD
Date: 01/26/2026 License No. 41578

BENCHMARK

BENCHMARK: MNDOT "CRACK"
unpublished point.
ELEVATION = 929.62 (NAVD 88)

DATE	DESCRIPTION	BY
04/08/19	CITY SUBMITTAL	MMD
04/26/19	CITY COMMENTS	MMD
05/13/19	CITY COMMENTS/OUTLOT	MMD
05/23/20	CITY RESUBMITTAL	MMD
01/26/26	CITY COMMENTS	MMD

E.G. RUD & SONS, INC.
Professional Land Surveyors
6776 Lake Drive NE, Suite 110
Lino Lakes, MN 55014
Tel. (651) 361-8200 Fax (651) 361-8701

~for~ ELIZABETH MARIE ESTATES
~for~ DAN HENNUM
10209 JACKSON STREET NE
BLAINE, MN 55434
(763) 464-3139

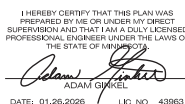
- Property address is 2791 93rd Ave NE, Blaine, MN 55449.
- Property Pin No. 27-31-23-33-0008.
- Field survey was completed by E.G. Rud and Sons, Inc. on 12/07/17.
- Bearings shown are on the Anoka County Coordinate System.
- Curve shots are taken at the top and back of curve.
- Utilities shown hereon are from various utility plans. Excavations were not made during the process of this survey to locate underground utilities and/or structures. The location of underground utilities and/or structures may vary from locations shown hereon and additional underground utilities and/or structures may be encountered.
- Contact Gopher State One Call Notification Center at (651) 454-0002 for verification of utility type and field location.
- See Preliminary Tree Inventory and Removal Plan for tree size and species.

1. PRIOR TO ROUGH GRADING, INSTALL SILT STOP FENCE IN LOCATIONS SHOWN. ADDITIONAL SILT STOP FENCE WILL BE REQUIRED WHERE LOCAL CONDITIONS REQUIRE. INSTALL TREE PROTECTION AS DEEMED NECESSARY BY THE CITY FORESTER PRIOR TO ANY GRADING.
2. ANY GRADING SHALL PROCEED ON AN AREA BY AREA BASIS TO MINIMIZE UNCOMPLETED AREAS.
3. AS EACH AREA OUTSIDE THE STREET IS GRADED, PROVIDE NATIVE TOPSOIL, SEED, AND MULCH ANCHORED WITH A STRAIGHT SET DISC WITHIN SEVEN DAYS AFTER ROUGH GRADING.
4. MAINTAIN AND REPAIR SILT STOP FENCES (INCLUDING REPAIRS TO SLOTTED END) UNTIL VEGETATION IS ESTABLISHED.
5. SEE "STORM WATER POLLUTION PREVENTION PLAN" FOR ADDITIONAL EROSION CONTROL, NOTES AND SITE SEQUENCING.
6. RESTORE DISTURBED BUFFER AREAS WITH NATIVE SEED MIX.

Diagram illustrating a finished grade building footprint with various elevation and drainage annotations:

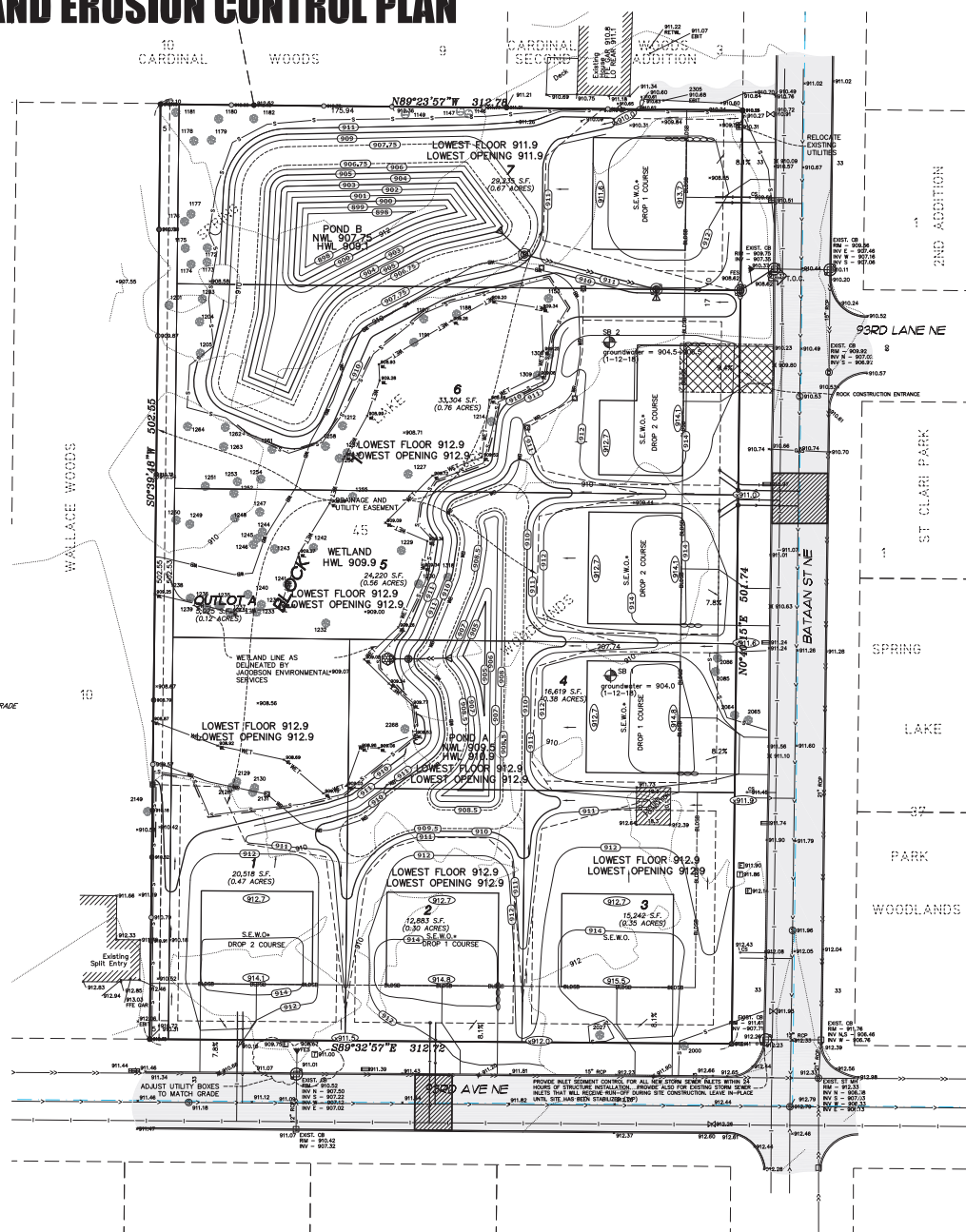
- FINISHED GRADE**: Indicated by a dashed line above the building footprint.
- FINISHED GROUND ELEVATION**: Indicated by a dashed line below the building footprint.
- ELEV. OF STREET AT CENTERLINE**: Indicated by a dashed line at the bottom of the diagram.
- STREET**: Labeled at the bottom left corner.
- NOTE: * DENOTES DROPPED GARAGE**: A note pointing to a dashed line labeled "DROPPED GARAGE" on the right side of the building footprint.
- NOTE: LOW FLOOR 0.3' ABOVE FINISHED GRADE BUILDING TYPE**: A note pointing to the building footprint.
- NOTE: 5' COURSE & COURSE SPLIT ENTRY WALKOUT**: A note pointing to the building footprint.
- NOTE: DIRECTION OF SURFACE DRAINAGE**: Indicated by arrows pointing away from the building footprint.
- NOTE: TYP. DRAINAGE & UTILITY CASE**: Indicated by arrows pointing away from the building footprint.
- Annotations on the building footprint**:
 - S.F. for 10' level**: Located on the left side of the building footprint.
 - S.E.W.O.**: Located inside the building footprint.
 - 900.0**: Located at the bottom left corner of the building footprint.
 - 900.0**: Located at the bottom right corner of the building footprint.
 - 900.0**: Located at the bottom left corner of the street.

NOTE: INSTALL FOOTING AT EXTRA DEPTH AND EXPOSE FOUNDATION TO HEALTH INSPECTOR



I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

Date: 01/26/2026 License No. 41578



- DENOTES IRON MONUMENT FOUND AS LABELED
- DENOTES IRON MONUMENT SET, MARKED RLS# 41578
- ⊕ DENOTES SOIL BORING BY HAUGO GEO TECHNICAL
- ⊕ DENOTES BRACE POLE OR GUY POLE
- DENOTES CATCH BASIN
- DENOTES CATCH BASIN MANHOLE
- DENOTES CABLE PEDESTAL
- ⊕ DENOTES CURB STOP
- ⊕ DENOTES ELECTRICAL BOX
- ⊕ DENOTES EXISTING SPOUT ELEVATION
- ⊕ DENOTES FIBER OPTIC BOX
- ⊕ DENOTES GAS METER
- ⊕ DENOTES GAS VALVE
- ⊕ DENOTES GUY WIRE
- ⊕ DENOTES HYDRANT
- ⊕ DENOTES LIGHT POLE
- ⊕ DENOTES MAILBOX
- ⊕ DENOTES MISCELLANEOUS MANHOLE
- ⊕ DENOTES POWER POLE
- ⊕ DENOTES SANITARY SEWER MANHOLE
- ⊕ DENOTES SIGN
- ⊕ DENOTES STORM SEWER APRON
- ⊕ DENOTES STORM SEWER MANHOLE
- ⊕ DENOTES TELEPHONE PEDESTAL
- ⊕ DENOTES WATER VALVE
- ⊕ DENOTES WELL
- ⊕ DENOTES WET LAND
- ⊕ DENOTES WETLAND BUFFER SIGN
- ⊕ DENOTES RETAINING WALL
- ⊕ DENOTES EXISTING CONTOURS
- ⊕ DENOTES EXISTING SANITARY SEWER
- ⊕ DENOTES EXISTING STORM SEWER
- ⊕ DENOTES EXISTING WATER MAIN
- ⊕ DENOTES BUILDING SETBACK LINE
- ⊕ DENOTES WETLAND BUFFER LINE
- ⊕ DENOTES PROPOSED CONTOURS
- ⊕ DENOTES SILT FENCE
- ⊕ DENOTES BIO ROLL TO BE INSTALLED
- ⊕ INSIDE SILT FENCE ADJACENT TO WETLAND
- ⊕ DENOTES DRAGGAL ARROW
- ⊕ DENOTES PROPOSED SPOUT ELEVATION
- ⊕ DENOTES OVERFLOW ELEVATION

BENCHMARK: MNDOT "CRACK"
unpublished point.
ELEVATION = 929.62 (NAVD 88)

1 INCH = 30 FEET

DRAWN BY: MMD		JOB NO: 17557PP		DATE: 10/27/18	
CHECK BY: JER		SCANNED ☐			
1	04/08/19	CITY SUBMITTAL			MMD
2	04/30/19	CITY COMMENTS			MMD
3	09/13/19	CITY COMMENTS/OUTLOT			MMD
4	01/21/26	CITY RESUBMITTAL			MMD
5	01/26/26	CITY COMMENTS			MMD
NO.	DATE	DESCRIPTION			BY

PRELIMINARY TREE INVENTORY AND REMOVAL PLAN

~for~ ELIZABETH MARIE ESTATES
~for~ DAN HENNUM
10209 JACKSON STREET NE
BLAINE, MN 55434
(763) 464-3139

TREE COUNT

TOTAL OVERSTORY DECIDUOUS SHADE TREES - 404
TOTAL CONIFEROUS TREES - 0
TREES TO BE REMOVED - 331
TREES TO REMAIN - 73

LEGEND

- 1227 DENOTES TREE TO REMAIN
(SEE SHEET 5 FOR SPECIES AND SIZE)
- 1274 DENOTES TREE TO BE REMOVED
(SEE SHEET 5 FOR SPECIES AND SIZE)

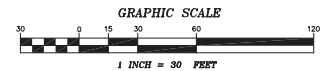
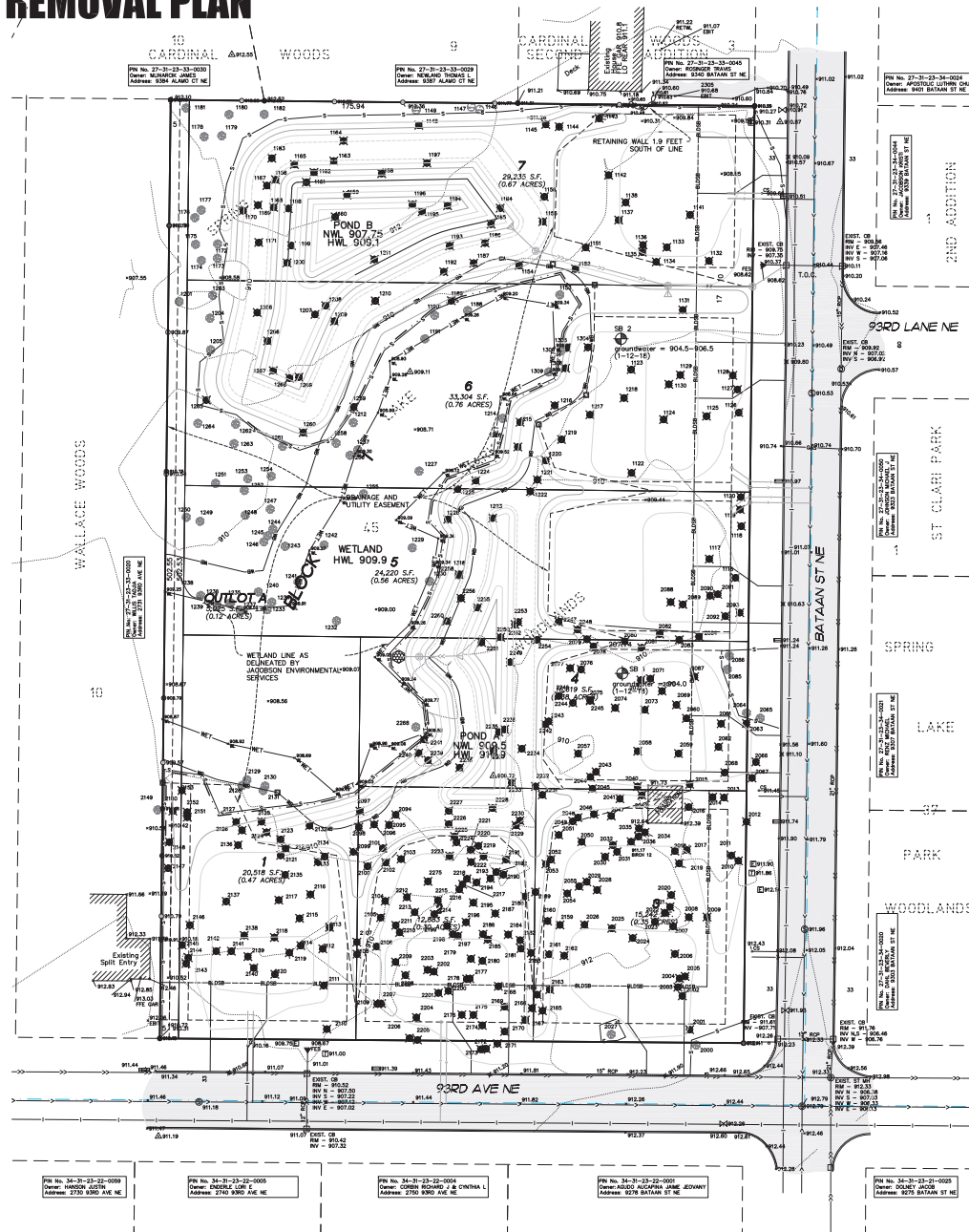
NOTES

- Property address is 2791 93rd Ave NE, Blaine, MN 55449.
- Property Pin No. 27-31-23-33-0008.
- Field survey was completed by E.G. Rud and Sons, Inc. on 12/2017.
- Bearings shown are on the Anoka County Coordinate System.
- Curb shots are taken at the top and back of curb.
- Utilities shown hereon are observed and from various utility plans. Excavations were not made during the process of this survey to locate underground utilities and/or structures. The location of underground utilities and/or structures may vary from locations shown hereon and additional underground utilities and/or structures may be encountered.
- Contact Gopher State One Call Notification Center at (651) 454-0002 for verification of utility type and field location, prior to excavation.

E.G. RUD & SONS, INC.
Professional Land Surveyors
6776 Lake Drive NE, Suite 110
Lino Lakes, MN 55014
Tel. (651) 361-8200 Fax (651) 361-8701

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

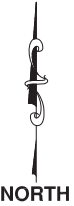
JASON E. RUD
Date: 01/26/2026 License No. 41578



NO.	DATE	DESCRIPTION	BY
1	04/08/19	CITY SUBMITTAL	MMD
2	04/20/19	CITY COMMENTS/OUTLET	MMD
3	09/13/19	CITY COMMENTS/OUTLET	MMD
4	01/23/20	CITY RESUBMITTAL	MMD
5	01/26/20	CITY COMMENTS	MMD

PRELIMINARY TREE INVENTORY CHART

~for~ ELIZABETH MARIE ESTATES
~for~ DAN HENNUM
10209 JACKSON STREET NE
BLAINE, MN 55434
(763) 464-3139



TREE TABLE		TREE TABLE		TREE TABLE		TREE TABLE		TREE TABLE		TREE TABLE		TREE TABLE		TREE TABLE		TREE TABLE	
TREE #	DESC.	TREE #	DESC.	TREE #	DESC.	TREE #	DESC.	TREE #	DESC.	TREE #	DESC.	TREE #	DESC.	TREE #	DESC.	TREE #	DESC.
1116	QAK 8	1172	QAK 8	1225	POPL 8	2001	QAK 14	2005	POPL 8	2107	BOXELDER 10	2163	QAK 6	2214	POPL 6		
1117	POPL 8	1173	QAK 6	1226	POPL 9	2002	QAK 16	2007	QAK 20	2109	COTTON 24 X2	2164	QAK 18	2215	POPL 6		
1118	POPL 8	1174	QAK 8	1227	POPL 8	2003	QAK 12	2008	CHERRY 14	2109	POPL 10	2165	QAK 12	2216	POPL 6		
1119	ELM 6	1175	QAK 12	1228	POPL 6	2004	QAK 12 X2	2009	QAK 14	2110	BOXELDER 16 X2	2166	QAK 10	2217	POPL 6		
1120	POPL 8	1176	QAK 12	1229	POPL 6	2005	QAK 16	2010	POPL 8	2111	POPL 6	2167	POPL 8	2218	POPL 6		
1121	POPL 3-8	1177	QAK 10	1230	POPL 6	2006	QAK 12	2011	QAK 12	2112	POPL 6	2168	QAK 6	2219	POPL 6		
1123	POPL 6	1178	QAK 14	1232	POPL 6	2007	QAK 14	2012	QAK 12	2113	POPL 12	2169	QAK 14	2220	POPL 6		
1124	QAK 8	1179	QAK 14	1233	POPL 6	2008	POPL 8	2013	QAK 14	2114	POPL 8	2170	QAK 8	2221	POPL 6		
1125	QAK 6	1180	QAK 14	1234	POPL 6	2009	QAK 14	2014	QAK 18	2115	BOXELDER 6	2171	QAK 12	2222	POPL 6		
1126	QAK 26	1181	QAK 10	1235	POPL 6	2010	POPL 10	2015	QAK 22	2116	POPL 12	2172	QAK 20	2223	POPL 6		
1127	QAK 2-14	1182	QAK 2-6	1236	POPL 6	2011	POPL 10	2016	QAK 12 X2	2117	ASH 10	2173	QAK 6	2224	POPL 6		
1128	QAK 2-14	1183	QAK 10	1237	POPL 6	2012	POPL 6	2017	QAK 16	2118	POPL 12	2174	CHERRY 6	2225	POPL 6		
1129	QAK 14	1184	CHERRY 8	1238	POPL 6	2013	POPL 6	2018	POPL 6	2119	ASH 12	2175	CHERRY 6	2226	POPL 6		
1130	POPL 8	1185	QAK 14	1239	POPL 6	2014	POPL 10	2019	POPL 8	2120	POPL 8	2176	QAK 24	2227	POPL 6		
1131	POPL 4-8	1186	QAK 14	1240	POPL 6	2015	MAPLE 14	2020	QAK 18	2121	POPL 12	2177	POPL 8	2228	POPL 8		
1132	ELM 26	1187	QAK 8	1241	POPL 6	2016	COTTON 24	2021	POPL 8	2122	ASH 6	2178	POPL 6	2229	POPL 8		
1133	POPL 8	1188	POPL 6	1242	POPL 6	2017	MAPLE 6	2022	QAK 10	2123	POPL 10	2179	POPL 6	2230	POPL 6		
1134	POPL 8	1189	POPL 6	1243	POPL 6	2018	BOXELDER 6	2023	POPL 6	2124	POPL 8	2180	MAPLE 12	2231	POPL 6		
1135	POPL 6	1190	POPL 6	1244	POPL 6	2019	MAPLE 12 34	2024	QAK 36	2125	POPL 14	2181	POPL 6	2232	POPL 10		
1136	POPL 6	1191	POPL 6	1245	POPL 6	2020	QAK 10	2025	QAK 12	2126	POPL 8	2182	POPL 6	2233	POPL 6		
1137	POPL 6	1192	QAK 8	1246	POPL 6	2021	QAK 10	2026	QAK 10	2127	POPL 8	2183	POPL 6	2234	POPL 10		
1138	POPL 6	1193	QAK 6	1247	POPL 6	2022	QAK 12	2027	POPL 10	2128	POPL 12	2184	POPL 6	2235	POPL 14		
1141	POPL 6	1194	QAK 6	1248	POPL 6	2023	CHERRY 6	2028	POPL 6	2129	POPL 10	2185	POPL 6	2236	POPL 12		
1142	POPL 6	1195	QAK 10	1249	POPL 6	2024	POPL 6	2029	POPL 6	2130	POPL 10	2186	POPL 6	2237	POPL 6		
1143	LOCUST 16	1196	QAK 10	1250	POPL 6	2025	POPL 6	2030	POPL 14	2131	POPL 12	2187	POPL 6	2238	POPL 10		
1144	ELM 16	1197	QAK 8	1251	POPL 6	2026	QAK 20	2031	POPL 10	2132	POPL 12	2188	QAK 8	2239	POPL 8		
1145	QAK 12	1198	QAK 3-8	1252	QAK 6	2027	QAK 8	2032	POPL 10	2133	POPL 12	2189	QAK 22	2240	POPL 12		
1146	CHERRY 8	1199	QAK 14	1253	QAK 6	2028	POPL 8	2033	POPL 10	2134	POPL 12	2190	POPL 6	2241	POPL 8		
1147	CHERRY 12	1200	QAK 14	1254	POPL 6	2029	POPL 6	2034	POPL 10	2135	BOXELDER 6	2191	POPL 6	2242	CHERRY 6		
1148	QAK 14	1201	POPL 8	1255	POPL 6	2030	POPL 6	2035	QAK 26	2136	BOXELDER 6	2192	POPL 6	2243	CHERRY 10		
1149	ELM 6	1203	QAK 10	1256	POPL 6	2031	POPL 6	2036	QAK 18	2137	CHERRY 6	2193	POPL 6	2244	QAK 12		
1151	POPL 6	1204	QAK 16	1257	POPL 6	2032	QAK 22	2037	POPL 8	2138	POPL 12	2194	POPL 6	2245	QAK 12		
1152	POPL 6	1205	POPL 14	1258	POPL 6	2033	BROCH 12	2038	POPL 8	2139	POPL 6	2195	POPL 6	2246	QAK 22		
1153	POPL 6	1206	QAK 6	1259	POPL 6	2034	MAPLE 9 X2	2039	POPL 8	2140	POPL 6	2196	POPL 6	2247	POPL 6		
1154	POPL 6	1207	QAK 2-12	1260	POPL 8	2035	COTTON 12	2040	POPL 6	2141	POPL 12	2197	POPL 6	2248	POPL 14		
1155	QAK 6	1208	QAK 12	1261	POPL 6	2036	QAK 6	2041	POPL 6	2142	POPL 10	2198	POPL 6	2249	POPL 10		
1156	QAK 10	1209	QAK 10	1262	QAK 6	2040	ELM 12	2042	POPL 10	2143	BOXELDER 10	2199	POPL 6	2250	POPL 6		
1158	QAK 2-14	1210	QAK 6	1263	POPL 6	2041	POPL 12	2043	POPL 7	2144	QAK 6	2200	POPL 6	2251	POPL 6		
1159	QAK 2-10	1211	QAK 26	1264	QAK 14	2042	BOXELDER 6	2044	POPL 8	2145	POPL 6	2201	POPL 6	2252	POPL 6		
1160	QAK 2-10	1212	POPL 6	1265	POPL 6	2043	POPL 6	2045	POPL 10 X2	2146	POPL 6	2202	POPL 6	2253	POPL 6		
1161	CHERRY 2-10	1214	POPL 8	1266	CHERRY 6	2044	POPL 6	2046	POPL 10	2147	QAK 28	2203	POPL 6	2254	POPL 8		
1162	QAK 10	1215	POPL 8	1267	POPL 8	2045	POPL 6	2047	POPL 6	2148	POPL 6	2204	POPL 12	2255	POPL 6		
1163	QAK 10	1216	POPL 8	1268	POPL 8	2046	POPL 8	2048	POPL 10	2149	QAK 8	2205	POPL 6	2256	POPL 6		
1164	QAK 12	1217	POPL 10	1269	POPL 6	2047	POPL 12	2049	BOXELDER 8	2150	QAK 14	2206	POPL 6	2258	POPL 6		
1165	QAK 2-10	1218	POPL 4	1269	QAK 12	2048	POPL 6	2050	POPL 6	2151	QAK 6	2207	POPL 8	2259	POPL 8		
1166	QAK 10	1219	POPL 10	1270	POPL 6	2049	POPL 6	2101	POPL 10 X2	2152	QAK 8	2208	POPL 16	2268	POPL 8 X2		
1167	QAK 6	1220	POPL 8	1271	POPL 6	2050	POPL 6	2102	POPL 6	2153	POPL 6	2209	POPL 16	2275	POPL 6		
1168	COTTON 12	1221	POPL 8	1272	POPL 6	2051	QAK 12	2103	POPL 6	2154	QAK 6	2210	POPL 6				
1169	COTTON 12	1222	POPL 8	1273	QAK 6	2052	POPL 6	2104	POPL 6	2155	QAK 6	2211	QAK 6				
1170	COTTON 10	1223	POPL 6	1274	POPL 6	2053	POPL 6	2105	POPL 6	2156	QAK 6	2212	POPL 6				
1171	CHERRY 12	1224	POPL 6	1275	QAK 10	2054	POPL 6	2106	POPL 6	2157	QAK 6	2213	POPL 6				

TREE COUNT

TOTAL OVERSTORY DECIDUOUS SHADE TREES - 404
TOTAL CONIFEROUS TREES - 0
TREES TO BE REMOVED - 351
TREES TO REMAIN - 73

LEGEND

10 = TREE SIZE (inches)
X 2 = NUMBER OF TREES

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

JASON E. RUD

Date: 01/26/2025 License No. 41578

E. G. RUD & SONS, INC.
Professional Land Surveyors
6776 Lake Drive NE, Suite 110
Lino Lakes, MN 55014
Tel. (651) 361-8200 Fax (651) 361-8701

DRAWN BY: MMD	JOB NO: 17557PP	DATE: 10/27/18
CHECK BY: JER	SCANNED []	
1	04/06/19	CITY SUBMITTAL
2	04/06/19	CITY COMMENTS
3	01/21/26	CITY RESUBMITTAL
4	01/26/26	CITY COMMENTS
NO.	DATE	DESCRIPTION
BY		

THE INFORMATION SHOWN ON THESE DRAWINGS CONSIDERING TYPE AND LOCATION OF EXISTING UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO TYPE, LOCATION AND DEPTHS OF UTILITIES IS NECESSARY TO AVOID DAMAGE TO THESE UTILITIES.

2. CALL GORPER STATE ONE CALL AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION OR DISTURBANCE OF EXISTING UTILITIES.

3. THE CONTRACTOR SHALL FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING UTILITIES AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF EXCAVATION.

4. ALL UTILITY AND STREET INSTALLATIONS SHALL CONFORM TO THE CITY STANDARD SPECIFICATIONS.

5. ALL WORK SHALL BE PERFORMED DURING CITY APPROVED WORKING HOURS. PARKING, EQUIPMENT STORAGE OR MATERIAL STORAGE SHALL NOT BE ALLOWED ON SPECIFIED WORK AREAS.

6. THE CONTRACTOR SHALL BE REQUIRED TO MAINTAIN ADEQUATE WARNING AND NOTIFY CITY A MINIMUM OF 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

7. ALL TELEPHONE, AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.

8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL, SUCH AS BARRIERS, WARNING SIGNS, DIRECTIONAL SIGNS, CONE TRAFFIC CONTROL, AND OTHER NECESSARY TRAFFIC CONTROL MEASURES.

1. SANITARY SEWER MATERIALS SHALL BE:
 - 1.1. SERVICES: 4" PVC SCHEDULE 40
2. FIELD VERIFY SIZE, ELEVATION AND LOCATION OF EXISTING SANITARY SEWER AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY INSTALLATIONS.
3. CONTRACTOR TO CONTACT CITY ENGINEERING DEPARTMENT AT LEAST 48 HOURS PRIOR TO CONNECTION TO EXISTING PUBLIC SANITARY SEWER.

1. WATERMAIN MATERIALS SHALL BE:
 - 1.1. SERVICES: 1" HOPE ASTM D2339, PE 4710-250 PSW, SDR 7 "ENDPOPE" BY ENDOT INDUSTRIES, TRACER WIRE REQUIRED. DIAMETER MEASUREMENT IS MINIMUM FOR INSIDE DIAMETER.
2. FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING WATERMAIN AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY INSTALLATIONS.
3. MAINTAIN A MINIMUM OF 7.5 FEET OF COVER OVER ALL WATERMAIN PIPE.
4. PROVIDE PREFORMED INSULATION, PPG FOAMGLASS, OR APPROVED EQUAL WHERE SANITARY SEWER OR STORM SEWER CROSSES WITHIN 24" OF WATERMAIN.
5. WATERMAIN SURVEY REQUIRED FOR 48 HOUR NOTICE TO CITY ENGINEERING DEPARTMENT AND ALL AFFECTED PROPERTY OWNERS.

3. STAKE AND/OR MARK ALL PLANT PLACING LOCATIONS PRIOR TO INSTALLATION. OWNER TO APPROVE ALL LOCATIONS PRIOR TO INSTALLATION.

4. MULCH SHALL BE FREE OF WEEDS, FREE OF PESTS AND DISEASE AND BE CONTAINER GROWN OR BALLETS AND BURLAPS AS INDICATED IN THE LANDSCAPE LEGEND.

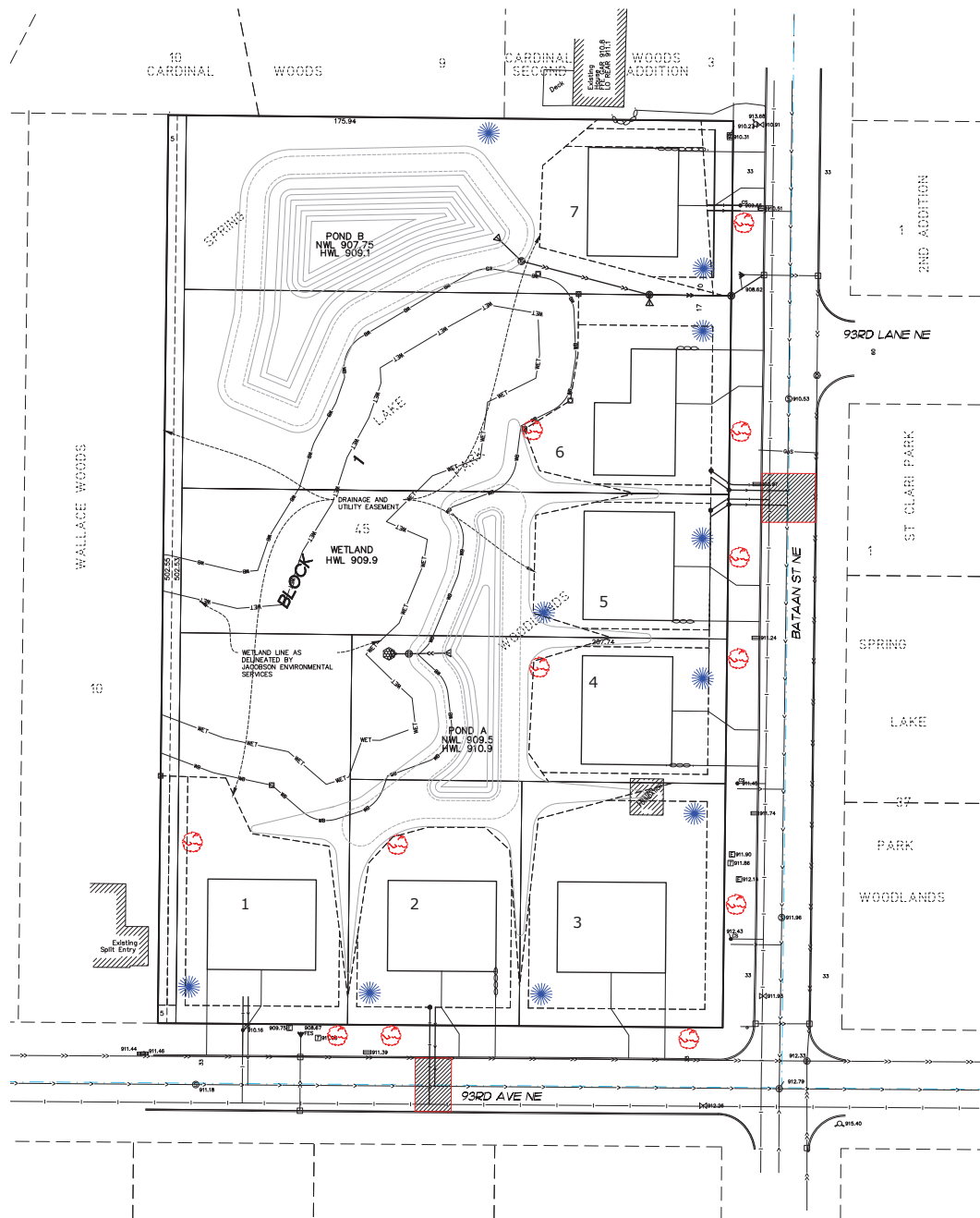
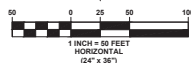
5. MULCH SHALL BE SPECIFIED AS FOLLOWS:

- 5.1. ALL MATERIAL QUANTITIES, SHAPES OF BEDS AND LOCATIONS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT THE TIME OF INSTALLATION.
- 5.2. MULCH: SHREDED HARDWOOD MULCH, CLEAN AND FREE OF NOXIOUS WEEDS OR OTHER DELETERIOUS MATERIAL. ALL PLANTING BEDS SHALL BE MULCHED. SLOPES, UNLESS INDICATED OTHERWISE, SHALL BE MULCHING 4" FOR PLANTING BEDS, AND 2" FOR AREAS AROUND COVER BEDS, UNLESS OTHERWISE DIRECTED.
- 5.3. MULCH SHALL BE APPLIED IN ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND PERMITS GOVERNING THE WORK.
- 5.4. MULCH SHALL BE APPLIED TO THE ENTIRE PORTION OF THE WORK IS IN PLACE.
- 5.5. PLANT MATERIAL SHALL BE PROTECTED AND MAINTAINED UNTIL THE INSTALLATION OF THE PLANT MATERIAL IS COMPLETE.
- 5.6. MAINTENANCE SHALL INCLUDE WATERING, CULTIVATING, MULCHING, REMOVAL OF WEEDS, AND REPAIRS TO THE PLANTING BEDS AND MULCHING. MAINTENANCE SHALL BE PERFORMED AT THE CONTRACTOR'S EXPENSE AND AT THE CONTRACTOR'S REGULAR MAINTENANCE POSITIONS. AFTER ACCEPTANCE, THE OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES.
- 5.7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE TREES AND PLANTS PLUMB THROUGHOUT THE GUARANTEE PERIOD.
- 5.8. WATERING: MAINTAIN A WATERING SCHEDULE WHICH WILL THOROUGHLY WATER ALL PLANTS EXCEPT PLANTS SPECIFICALLY NOTED TO BE DROUGHT TOLERANT.
- 5.9. INDICATIONS OF HEAT STRESS such as WILTING LEAVES, CHECK MOISTURE UNDER MULCH AND WATER AS NEEDED.
- 5.10. ALL PLANTS SHALL BE WATERED AS NEEDED TO PREVENT DROUGHT STRESS. ARRANGEMENTS FOR WATER.
- 5.11. ALL PLANTS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR BEGINNING AT TIME OF ACCEPTANCE.
- 5.12. ALL MATERIALS SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSEMEN.
- 5.13. ALL PLANTS SHALL BE GUARANTEED TO BE FREE OF DISEASE AND NOT TO CREATE ANY HAZARDS OR UNSIGHTLY OBSTACLES. ALL WINES SHALL BE ENCASED IN HOSE TO PREVENT THE

	EXISTING TELEPHONE PEDESTAL		PROPOSED WATER PIPE
	EXISTING ELECTRICAL PEDESTAL		PROPOSED SANITARY SEWER PIPE
	EXISTING CABLE PEDESTAL		PROPOSED STORM SEWER PIPE
	EXISTING UTILITY POLE		PROPOSED STORM MANHOLE
	EXISTING STORM SEWER		PROPOSED FLARED-END SECTION
	EXISTING WATER MAIN		PROPOSED WATER SERVICE W/ CURB
	EXISTING SANITARY SEWER		PROPOSED SANITARY SEWER SERVICE
	EXISTING STORM MANHOLE		
	EXISTING CATCH BASIN		
	EXISTING FLARED-END SECTION		
	EXISTING GATE VALVE		
	EXISTING HYDRANT		
	EXISTING SANITARY SEWER MANHOLE		
	EXISTING DELINEATED WETLAND LINE		
	WETLAND BUFFER		

DECIDUOUS TREES					
SYMBOL	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	ROOT
	12	BASSWOOD	<i>Tilia americana</i>	2.5-IN CALIP.	8 & 8
		BLACK WALNUT	<i>Juglans nigra</i>		
		NORTHERN RED OAK	<i>Quercus rubra</i>		
		RED MAPLE	<i>Acer rubrum</i>		
		SUGAR MAPLE	<i>Acer saccharum</i>		
		SWAMP WHITE OAK	<i>Quercus bicolor</i>		
CONIFEROUS TREES					
SYMBOL	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	ROOT
	10	AUSTRALIAN PINE	<i>Pinus nigra</i>	6-FT HEIGHT	8 & 8
		BALSAM FIR	<i>Abies balsamea</i>		
		BLACK SPRUCE	<i>Picea mariana</i>		
		WHITE SPRUCE	<i>Picea glauca</i>		
TOTAL	22				

1. EXAMPLE SPECIES SHOWN - VERIFY SPECIES REQUIREMENTS WITH CITY'S FORESTER PRIOR TO ANY INSTALLATIONS
2. VERIFY LANDSCAPE LOCATIONS AND SPECIES WITH OWNER



PLOWE
ENGINEERING, INC.
6778 LAKE DRIVE
SUITE 110
LINO LAKE, MN 55014

PHONE: (651) 361-8210
FAX: (651) 361-8701

 SITE PLANNING
& ENGINEERING

[illegible]

BETH MARIE ESTATES
BLAINE, MN
LANDSCAPE PLAN
PREPARED FOR: PD&H Properties, LLC

SHEET
L1.1

PROJECT NARRATIVE
ELIZABETH MARIE ESTATES

01/20/2026

The applicant is requesting Preliminary Plat approval on the enclosed 3.61 acre parcel. The applicant had previously been granted Preliminary and Final Plat approval on the project in 2019. The Preliminary Plat approval and watershed approval has expired on the site. This year a new wetland delineation was done on site and approved by Rice Creek Watershed. The applicant has submitted the project to Rice Creek Watershed for stormwater approval. The Project consists of 7 single family lots and an Outlot.

Tree Impact Narrative

Given the nature of the site (site drains from back of curb INTO the property), it is difficult to save trees, make the site drain, and meet stormwater management requirements. A stand of oak trees, ranging from DBH of 6 inches to 14 inches, was saved along the west side of Pond B. Additional trees were intended to be saved along the west side of Lot 1; however, initial engineering comments stated that there should be no front yard storm sewer, making it necessary to take down more trees for drainage.

Trees were removed only for pad and stormwater construction. Because of stormwater management requirements, all runoff needed to be sent to ponding, thereby precluding the ability to save front and side yard trees.

From: [Kristi Jacobson](#)
To: [Planning](#)
Cc: [Alan Goracke](#); [Jason Halpern](#); [Jacob Geiselhart](#); [Jonathan Gorzycki](#); [Jasen Howard](#); [Maisa Olson](#); [Nichole Swanson](#)
Subject: Public Comment Prior to March 10, 2026 Hearing – Case 26-0004 (Elizabeth Marie Estates)
Date: Sunday, March 1, 2026 2:43:02 PM

Dear Members of the Blaine Planning Commission,

I am writing to provide public comment in advance of the March 10, 2026 public hearing regarding **Case 26-0004**, submitted by petitioner **Dan Hennum**, requesting preliminary plat approval to subdivide a 3.61-acre parcel into seven single-family lots to be known as *Elizabeth Marie Estates*.

As a nearby resident who will be directly affected by this proposed development, I respectfully ask the Commission to carefully consider the following concerns before taking action.

1. Loss of a Wooded Wetland and Natural Habitat

The proposed development is planned on a wooded wetland area that is currently filled with native plants and wildlife. This natural space provides meaningful environmental value to our neighborhood and contributes to the character and value of surrounding homes. The removal and development of this wetland would permanently eliminate a unique natural resource that benefits both residents and local ecosystems.

2. Tree Removal, Drainage, and Increased Flood Risk

According to the submitted plans, **331 of the 404 trees on the property - approximately 82% - are proposed to be removed**, reportedly due to drainage concerns if the trees were to remain intact. Our neighborhood already has a **very high water table**, and this wetland area currently serves as a natural retention basin for excess water.

The addition of seven homes, seven garages, and seven driveways will significantly increase impervious surface area, reducing the land's ability to absorb rainfall. This will inevitably displace stormwater into surrounding properties - both existing and newly constructed - thereby increasing the risk of flooding throughout the neighborhood. Removing the very trees and vegetation that currently help manage water retention appears counterproductive and raises serious concerns about long-term drainage impacts.

3. Loss of Sound and Visual Buffer from the Regional Airport

This 3.5-acre wooded property also functions as a critical **sound and visual buffer** between

existing homes and the regional airport. The substantial loss of tree cover will significantly reduce noise mitigation and visual screening, negatively impacting residents' quality of life and property values.

Process and Public Confidence

Mr. Hennum is well known in the area for purchasing and developing natural lots. While development itself is not inherently objectionable, it is essential that each proposal be evaluated on its individual merits and impacts.

I would also like to express the importance of ensuring that this public hearing process is conducted in a manner that fully considers resident input. During a prior public hearing on **May 14, 2019**, when a similar development request was filed under the applicant's son's name, many neighbors attended and shared concerns similar to those outlined above. At that time, residents were advised that the applicant had met all permitting requirements and that there was little the Commission could do to influence the outcome.

Regardless of permitting status, public hearings exist to ensure that community perspectives, environmental impacts, and neighborhood consequences are meaningfully considered. I respectfully ask that the Commission ensure that this hearing is conducted with transparency, impartiality, and full consideration of the concerns raised by those who will be directly affected.

I appreciate your service to the City of Blaine and your willingness to consider the long-term impacts of development decisions on existing neighborhoods. I hope the Commission will carefully weigh the environmental, drainage, and quality-of-life implications of this proposal before moving forward.

Thank you for your time and consideration.

Sincerely,

Kristi Jacobson

Blaine Resident since 2004

--

Kristi Jacobson (she/her)
m: 612.889.0051

kjacobson2017@gmail.com

"Don't ask what the world needs. Ask what makes you come alive, and go do it. Because what the world needs is people who have come alive."

- Howard Thurman

From: [Kristi Jacobson](#)
To: [Jason Halpern](#)
Cc: [Alan Goracke](#); [Jacob Geiselhart](#); [Jonathan Gorzycki](#); [Jasen Howard](#); [Maisa Olson](#); [Nichole Swanson](#); [Planning](#)
Subject: Re: Public Comment Prior to March 10, 2026 Hearing – Case 26-0004 (Elizabeth Marie Estates)
Date: Thursday, March 5, 2026 4:38:09 PM

Dear Commissioner Halpern and Blaine Planning Commission,

Thank you for reaching out and for inviting recommendations from those of us who live in close proximity to the proposed development site. I really appreciate your willingness to consider neighborhood perspectives as part of this process.

While I am **not opposed to additional housing in our community**, many of us feel strongly that **this particular property, a wooded wetland with a high water table, is not well-suited for development**. The land currently provides natural stormwater retention, wildlife habitat, and important sound and visual buffering from the airport.

From a neighborhood standpoint, our primary recommendation is that this area **remain preserved as natural space or conservation land**, rather than be developed. The proposed level of tree removal raises concerns about increased flood risk, loss of buffering, and impacts to quality of life and surrounding home values.

If residential development is pursued, we would encourage it to be **directed to more appropriate sites**, or for the proposal to be significantly redesigned to avoid the wetland core and preserve meaningful tree cover.

Thank you again for your outreach and for your thoughtful consideration of these concerns. I appreciate the Commission's role in balancing growth in Blaine with long-term neighborhood and environmental impacts and I look forward to meeting with you next Tuesday.

Sincerely,
Kristi Jacobson

On Thu, Mar 5, 2026 at 10:28 AM Jason Halpern <jhalpern@blainemn.gov> wrote:

Thanks Kristi, could you share with the email group any recommendations of the neighborhood on the points you made?

That might be helpful.
Jason Halpern

Get [Outlook for iOS](#)

From: Kristi Jacobson <kjacobson2017@gmail.com>
Sent: Sunday, March 1, 2026 3:42:39 PM

To: Planning <planning@blainemn.gov>

Cc: Alan Goracke <agoracke@blainemn.gov>; Jason Halpern <jhalpern@blainemn.gov>; Jacob Geiselhart <jgeiselhart@blainemn.gov>; Jonathan Gorzycki <jgorzycki@blainemn.gov>; Jasen Howard <jhoward@blainemn.gov>; Maisa Olson <molson@blainemn.gov>; Nichole Swanson <nswanson@blainemn.gov>

Subject: Public Comment Prior to March 10, 2026 Hearing – Case 26-0004 (Elizabeth Marie Estates)

Dear Members of the Blaine Planning Commission,

I am writing to provide public comment in advance of the March 10, 2026 public hearing regarding **Case 26-0004**, submitted by petitioner **Dan Hennum**, requesting preliminary plat approval to subdivide a 3.61-acre parcel into seven single-family lots to be known as *Elizabeth Marie Estates*.

As a nearby resident who will be directly affected by this proposed development, I respectfully ask the Commission to carefully consider the following concerns before taking action.

1. Loss of a Wooded Wetland and Natural Habitat

The proposed development is planned on a wooded wetland area that is currently filled with native plants and wildlife. This natural space provides meaningful environmental value to our neighborhood and contributes to the character and value of surrounding homes. The removal and development of this wetland would permanently eliminate a unique natural resource that benefits both residents and local ecosystems.

2. Tree Removal, Drainage, and Increased Flood Risk

According to the submitted plans, **331 of the 404 trees on the property - approximately 82% - are proposed to be removed**, reportedly due to drainage concerns if the trees were to remain intact. Our neighborhood already has a **very high water table**, and this wetland area currently serves as a natural retention basin for excess water.

The addition of seven homes, seven garages, and seven driveways will significantly increase impervious surface area, reducing the land's ability to absorb rainfall. This will inevitably displace stormwater into surrounding properties - both existing and newly constructed - thereby increasing the risk of flooding throughout the neighborhood. Removing the very trees and vegetation that currently help manage water retention appears counterproductive and raises serious concerns about long-term drainage impacts.

3. Loss of Sound and Visual Buffer from the Regional Airport

This 3.5-acre wooded property also functions as a critical **sound and visual buffer** between existing homes and the regional airport. The substantial loss of tree cover will significantly reduce noise mitigation and visual screening, negatively impacting residents' quality of life and property values.

Process and Public Confidence

Mr. Hennum is well known in the area for purchasing and developing natural lots. While development itself is not inherently objectionable, it is essential that each proposal be evaluated on its individual merits and impacts.

I would also like to express the importance of ensuring that this public hearing process is conducted in a manner that fully considers resident input. During a prior public hearing on **May 14, 2019**, when a similar development request was filed under the applicant's son's name, many neighbors attended and shared concerns similar to those outlined above. At that time, residents were advised that the applicant had met all permitting requirements and that there was little the Commission could do to influence the outcome.

Regardless of permitting status, public hearings exist to ensure that community perspectives, environmental impacts, and neighborhood consequences are meaningfully considered. I respectfully ask that the Commission ensure that this hearing is conducted with transparency, impartiality, and full consideration of the concerns raised by those who will be directly affected.

I appreciate your service to the City of Blaine and your willingness to consider the long-term impacts of development decisions on existing neighborhoods. I hope the Commission will carefully weigh the environmental, drainage, and quality-of-life implications of this proposal before moving forward.

Thank you for your time and consideration.

Sincerely,

Kristi Jacobson

Blaine Resident since 2004

--

Kristi Jacobson (she/her)
m: 612.889.0051
kjacobson2017@gmail.com

"Don't ask what the world needs. Ask what makes you come alive, and go do it. Because what the world needs is people who have come alive."

- Howard Thurman

--

Kristi Jacobson (she/her)
m: 612.889.0051
kjacobson2017@gmail.com

"Don't ask what the world needs. Ask what makes you come alive, and go do it. Because what the world needs is people who have come alive."

- Howard Thurman

From: [Mike](#)
To: [Planning](#)
Cc: [Alan Goracke](#); [Jacob Geiselhart](#); [Jonathan Gorzycki](#); [Jasen Howard](#); [Maisa Olson](#); [Nichole Swanson](#)
Subject: Public Comment Prior to March 10, 2026 Hearing – Case 26-0004 (Elizabeth Marie Estates)
Date: Monday, March 9, 2026 12:01:31 PM

Dear Blaine Planning Commission,

We received a letter from you this past week regarding the proposed development across the street from our house, we live in 9307 Bataan St. NE. We appreciate the transparency and invitation to provide feedback on this matter.

First off, I would like to say that we LOVE where we live and being part of the Blaine community. We moved into our home in July 2020 and one of the biggest things that drew us to the property was the woods across the street. I understand that Blaine is the fastest growing suburb in MN, but at the same time I believe there is a good balance to having responsible growth.

My recommendation would be that it remain preserved as is. We love having this space across the street with all of the animals and nature. I believe Bataan is already too busy and that is my biggest concern.

Sincerely,
Mike & Melissa Renz



City of Blaine Staff Report

File Number: 2026-64

Agenda Date	Status
March 10, 2026	
In Control	File Type
Planning Commission	Report

Public Hearing - Alex Koberoski, Assistant Planner

Agenda Item # 4.2

Case File No. 26-0006 // Kenjoh Outdoor Advertising // 8500 Naples Street NE

The applicant is requesting a conditional use permit for a billboard up to 65 feet in height in a Heavy Industrial (I-2A) zoning district.

Background

Zoning	Heavy Industrial (I-2A)
Land Use	Planned Industrial/Planned Commercial (PI/PC)
Area	19.81 Acres
Applicable Regulations	Sections 101-4 and 133-8
Attachments	Zoning and Location Map Narrative Graphic Line of Sight Study - 50-feet Line of Sight Study - 65-feet Renderings Landscape Plan
Schedule	Planning Commission: 03/10/26 City Council: 04/06/26

Staff report prepared by Alex Koberoski, Assistant Planner, and Teresa Barnes, Project Engineer

Evaluation of Request

Planning Analysis

Zoning

The property is zoned Heavy Industrial (I-2A).

Surrounding Zoning and Uses

Properties to the east are zoned I-2A and consist of manufacturing and truck repair. A manufactured

home park is located to the north, and the property to the west is zoned Light Industrial (I-1), consisting of a trucking sales facility. The City of Shoreview is located directly south of the subject property.

Comprehensive Land Use

The property is guided Planned Industrial/Planned Commercial (PI/PC).

Existing Conditions

The property is currently occupied by a freight facility. The billboard to the west, on the opposite side of the bridge, measures 62-feet in height and received Conditional Use Permit (CUP) approval in 2014.

History

There are no resolutions on file for this property. A building permit for a 50-foot-tall billboard on this property was issued in January of this year to allow for construction of a base that would support the proposed 65-foot-tall billboard.

Code Requirement

Billboards up to 50 feet are allowed without city council approval on properties with commercial and industrial zoning designations adjacent to 35W and Highway 10, subject to design requirements. A CUP is required for billboards up to 65 feet in height so they can be seen over MnDOT sound walls or bridges.

The following standards apply to billboard locations:

- (1) The minimum lineal distance between billboards on the same side of the highway shall be five hundred fifty (550) feet. There are no billboards within 550 feet of the subject property in either direction on the east side of the freeway. The applicant has provided a map showing the locations of the nearest billboards.
- (2) The minimum setback from any property line shall be twenty (20) feet. The proposed billboard is located 20 feet from the west and south property lines.
- (3) The minimum setback at any intersection shall be one hundred (100) feet. The proposed billboard is over 150 feet from the nearest intersection.
- (4) No billboard or structure shall be located within one hundred (100) feet of a residential district. The nearest residential district is over 1/4 mile away.

A 65-foot-tall dynamic display billboard is proposed on the southwest corner of the property.

Landscaping and Tree Preservation

The applicant has stated that no significant trees will be removed from the property to accommodate the billboard. A proposed landscaping plan has been submitted, showing the installment of 7 evergreen shrubs around the base of the billboard.

Engineering Analysis

Grading/Storm Drainage

The proposed project will include some minor dirt work, however, the proposed grading does not include any alterations to the existing grading or storm water drainage patterns on the property.

Utilities

No city utilities are necessary for the construction of a billboard.

Wetlands/Watershed/FEMA

The proposed location of the base of the billboard does not affect the existing FEMA flood plain nor any wetland area that might be on the property. A Coon Creek Watershed District review is not required.

Access/Street Design/Sidewalks/Trails

The development will utilize the existing access points to the existing parking area. No new access point will be granted. No additional street design, sidewalks or trails will be required.

Easements/Right-of-way/Permits

The developer will need to obtain any and all required permits to construct the proposed project. A copy of all permits will need to be submitted to the City prior to any site work.

Conditional Use Permit

A city exercises “quasi-judicial” authority when considering a CUP application. This means the city’s role is limited to applying the standards in the ordinance to the facts presented by the application. The city acts like a judge in evaluating the facts against the standards.

Section 27.04 Criteria for granting conditional use permits:

The Blaine City Council shall consider the advice and recommendations of the Planning Commission and the effect of the proposed use on the comprehensive plan and upon the health, safety, and general welfare of occupants of surrounding lands. Among other things, the Council shall consider the following findings where applicable. (Ord. No. 20-2447, 7-20-2020)

1. The use shall not create an excessive burden on existing parks, schools, streets and other public facilities and utilities which serve or are proposed to serve the area.
 - o The increase in height of the billboard (65 feet) would not create an excessive burden on parks, schools, or other facilities and utilities.
2. The use will be located, designed, maintained, and operated to be compatible with adjoining properties and the existing or intended character of the zoning district.
 - o A 65-foot-tall billboard, including masonry on the support structure, is compatible with adjoining properties.
3. The use shall have an appearance that will not have an adverse effect upon adjacent properties.
 - o The billboard is proposed to meet the design requirements for billboards, including the concealment of sign supports with stone.
4. The use, in the opinion of the City Council, shall be reasonably related to the overall needs of the City and to the existing land use.
5. The use shall be consistent with the purposes of the zoning code and purposes of the zoning district in which the applicant intends to locate the proposed use.
 - o A 65 -foot-tall billboard is generally consistent with the purpose of the zoning district and zoning code.
6. The use shall not be in conflict with the comprehensive plan of the City.
 - o The additional height of the billboard (up to 65 feet) is consistent with the comprehensive plan.
7. The use will not cause traffic hazards or congestion.
 - o The proposed use will not generate any additional traffic hazard or congestion.
8. The use shall have adequate utilities, access roads, drainage, and necessary facilities.

- The existing structure is served with the required utility services, adequate roadway infrastructure and necessary drainage facilities to service the proposed uses.

Recommendation

In Planning Case File No. 26-0006, it is recommended that the Planning Commission recommend approval of conditional use permit for a billboard up to 65 Feet in height in a Heavy Industrial (I-2A) zoning district with the following conditions:

1. The installation of the support for the proposed billboard will not alter existing drainage patterns.
2. Conformance with the standards under 133-8 of the zoning code shall be demonstrated prior to issuance of a permit for the 65-foot tall billboard.

Attachment List

1. Attachments

Kenjoh Outdoor Advertising LLC,
2801 E. Camelback Rd Suite 450
Phoenix AZ 85016
Tel: 937-935-4125
Dan@KenjohOutdoor.com
www.kenjohoutdoor.com

To: Blaine MN – CUP Application
From: Dan Nielsen (cell 937-935-4125)
dan@kenjohoutdoor.com

Kenjoh has received sign permit PL25-0054. Our current permit is for a 50 foot tall sign. However under code Sec 133-8 (c) 2 we can apply a CUP if our sign view would be blocked by MNDOT artificial structures. We feel our current location would indeed be blocked by the bridge (see image). Kenjoh is kindly requesting the height to be approved to 65 feet. For reference the similar sign across I-35 is 65 feet tall. Please see images and site line study below for reference.

The billboard shall have a maximum height of 50 feet above the elevation grade of the road to be read to, except that a sign between 50 feet and 65 feet in height may be allowed by conditional use permit, to enable the proposed sign to be fully seen over artificial structures, such as MnDOT sound walls, bridges, etc.

Thank you,

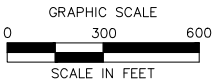
Dan Nielsen

NOTES

- 1. THIS CONCEPT PLAN IS BASED ON LIMITED DATA. TOPOGRAPHIC DATA, WETLANDS, WATERCOURSES, FLOOD ZONES, NATURAL RESOURCES, AND/OR ENDANGERED SPECIES TO BE UPDATED UPON PREPARATION OF A DETAILED SURVEY.
- 2. ALL PROPERTY LINES ARE APPROXIMATE AND BASED ON PUBLICLY AVAILABLE INFORMATION AT THE TIME OF THE EXHIBIT. PROPERTY LINES TO BE UPDATED UPON PREPARATION OF A BOUNDARY SURVEY.
- 3. THIS EXHIBIT IS TO BE USED FOR THE APPROXIMATE LOCATION OF THE BILLBOARD FACE AND FOUNDATION SUPPORT. DETAILED PLANS FOR STRUCTURE AND EXACT PLACEMENT BY OTHERS.
- 4. DETAILED UTILITY, DRAINAGE, AND CULVERT INFORMATION HAS NOT BEEN ESTABLISHED. ALL UTILITY INFORMATION TO BE FIELD VERIFIED.
- 5. INVESTIGATION INTO ALL LOCAL ZONING REGULATIONS WILL BE REQUIRED.
- 6. THE CONTRACTOR SHALL ABIDE BY ALL OSHA, FEDERAL, STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOM, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. UTILITY COMPANY FEES SHALL BE PAID FOR BY THE CONTRACTOR.
- 7. THE ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ENGINEER HAS NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
- 8. THE CONTRACTOR SHALL COMPLY WITH CFR 29 PART 1926 FOR EXCAVATION, TRENCHING, AND TRENCH PROTECTION REQUIREMENTS.
- 9. BASE ELEVATIONS FROM GOOGLE EARTH ON 05/29/2025.
- 10. BEFORE CONSTRUCTION, CONTRACTOR TO CONFIRM UTILITY LOCATIONS WITH MN ONE CALL.



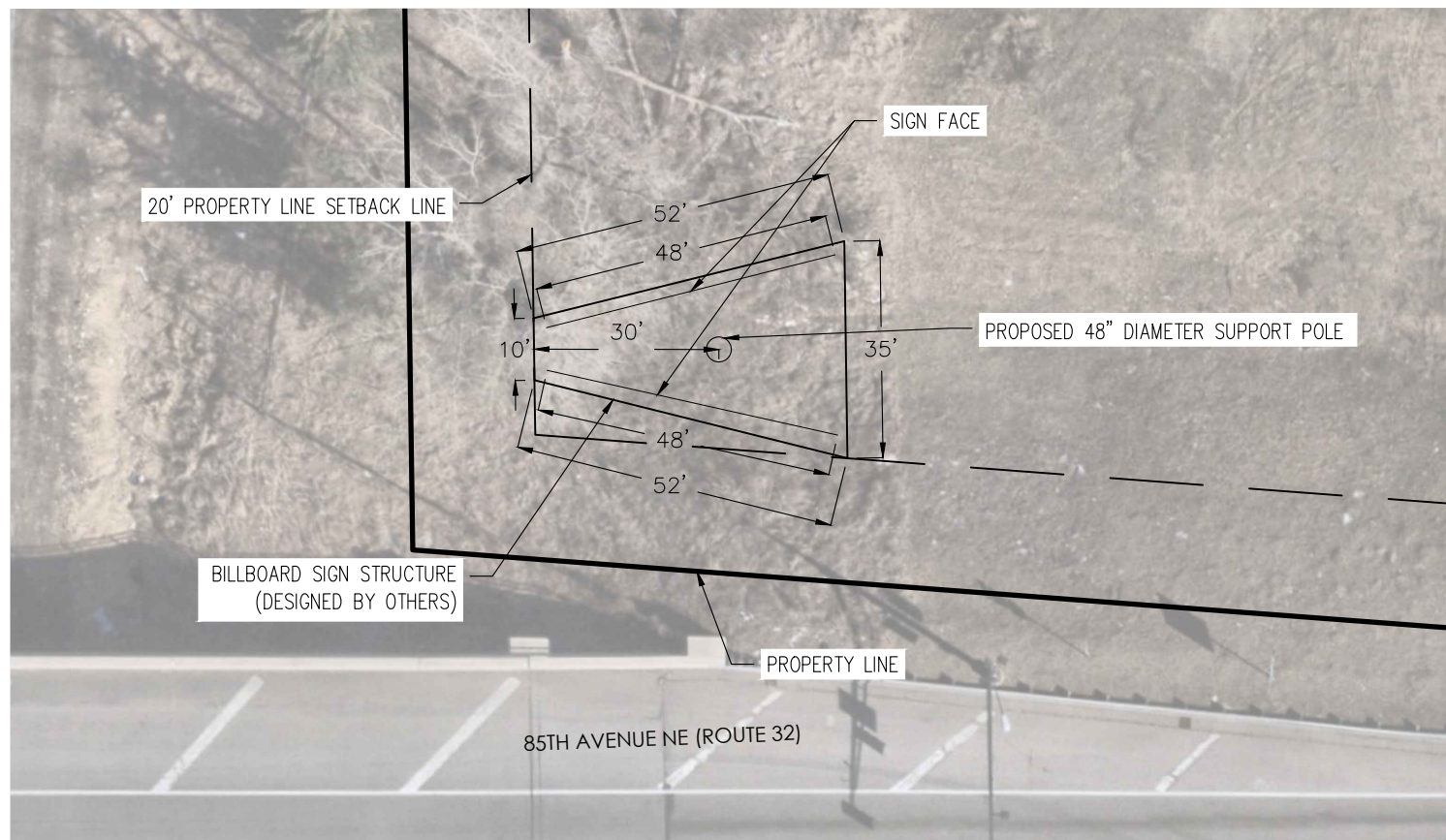
FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION



PROPOSED BILLBOARD
8500 NAPLES ST NE
BLAINE, MN 55449

REVISIONS		Desc.	
No.	Date	CLIENT REQUESTED CHANGES	
1	10/16/2025		
Designed		G.C.	
Drawn		G.C.	
Reviewed		S.M.K.	
Scale		1"=600'	
Project No.		2501477	
Date		06/02/2025	
CAD File: EXH250147701			
Title			
VICINITY MAP			
Sheet No.			
FXH-1			

1. THIS CONCEPT PLAN IS BASED ON LIMITED DATA. TOPOGRAPHIC DATA, WETLANDS, WATERCOURSES, FLOOD ZONES, NATURAL RESOURCES, AND/OR ENDANGERED SPECIES TO BE UPDATED UPON PREPARATION OF A DETAILED SURVEY.
2. ALL PROPERTY LINES ARE APPROXIMATE AND BASED ON PUBLICLY AVAILABLE INFORMATION AT THE TIME OF THE EXHIBIT. PROPERTY LINES TO BE UPDATED UPON PREPARATION OF A BOUNDARY SURVEY.
3. THIS EXHIBIT IS TO BE USED FOR THE APPROXIMATE LOCATION OF THE BILLBOARD FACE AND FOUNDATION SUPPORT. DETAILED PLANS FOR STRUCTURE AND EXACT PLACEMENT BY OTHERS.
4. DETAILED UTILITY, DRAINAGE, AND CULVERT INFORMATION HAS NOT BEEN ESTABLISHED. ALL UTILITY INFORMATION TO BE FIELD VERIFIED.
5. INVESTIGATION INTO ALL LOCAL ZONING REGULATIONS WILL BE REQUIRED.
6. THE CONTRACTOR SHALL ABIDE BY ALL OSHA, FEDERAL, STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOM, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. UTILITY COMPANY FEES SHALL BE PAID FOR BY THE CONTRACTOR.
7. THE ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ENGINEER HAS NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
8. THE CONTRACTOR SHALL COMPLY WITH CFR 29 PART 1926 FOR EXCAVATION, TRENCHING, AND TRENCH PROTECTION REQUIREMENTS.
9. BASE ELEVATIONS FROM GOOGLE EARTH ON 05/29/2025.
10. BEFORE CONSTRUCTION, CONTRACTOR TO CONFIRM UTILITY LOCATIONS WITH MN ONE CALL.



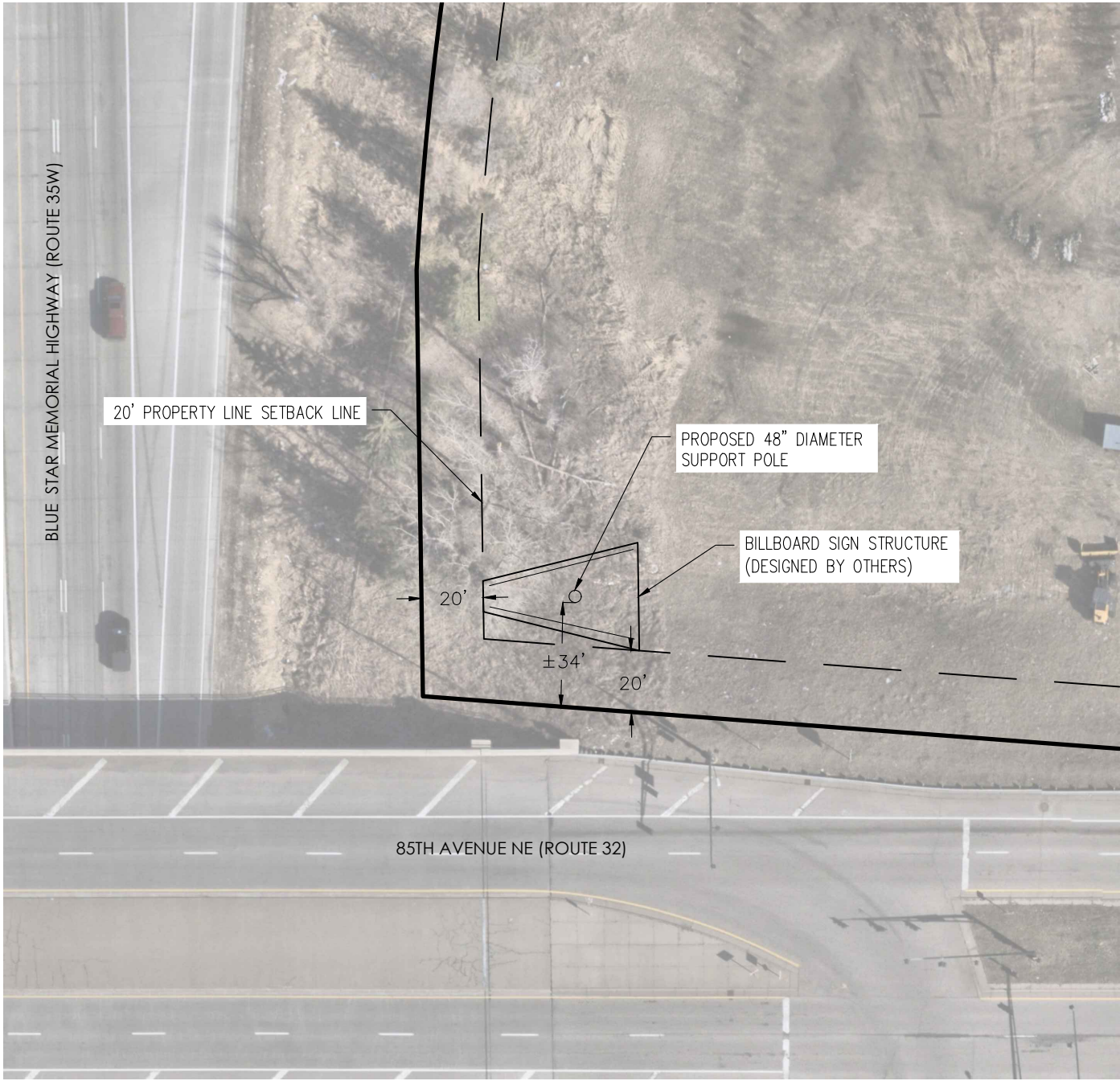
GRAPHIC SCALE

0 15 30

SCALE IN FEET

NOTES

- 1. THIS CONCEPT PLAN IS BASED ON LIMITED DATA. TOPOGRAPHIC DATA, WETLANDS, WATERCOURSES, FLOOD ZONES, NATURAL RESOURCES, AND/OR ENDANGERED SPECIES TO BE UPDATED UPON PREPARATION OF A DETAILED SURVEY.
- 2. ALL PROPERTY LINES ARE APPROXIMATE AND BASED ON PUBLICLY AVAILABLE INFORMATION AT THE TIME OF THE EXHIBIT. PROPERTY LINES TO BE UPDATED UPON PREPARATION OF A BOUNDARY SURVEY.
- 3. THIS EXHIBIT IS TO BE USED FOR THE APPROXIMATE LOCATION OF THE BILLBOARD FACE AND FOUNDATION SUPPORT. DETAILED PLANS FOR STRUCTURE AND EXACT PLACEMENT BY OTHERS.
- 4. DETAILED UTILITY, DRAINAGE, AND CULVERT INFORMATION HAS NOT BEEN ESTABLISHED. ALL UTILITY INFORMATION TO BE FIELD VERIFIED.
- 5. INVESTIGATION INTO ALL LOCAL ZONING REGULATIONS WILL BE REQUIRED.
- 6. THE CONTRACTOR SHALL ABIDE BY ALL OSHA, FEDERAL, STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOM, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. UTILITY COMPANY FEES SHALL BE PAID FOR BY THE CONTRACTOR.
- 7. THE ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ENGINEER HAS NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
- 8. THE CONTRACTOR SHALL COMPLY WITH CFR 29 PART 1926 FOR EXCAVATION, TRENCHING, AND TRENCH PROTECTION REQUIREMENTS.
- 9. BASE ELEVATIONS FROM GOOGLE EARTH ON 05/29/2025.
- 10. BEFORE CONSTRUCTION, CONTRACTOR TO CONFIRM UTILITY LOCATIONS WITH MN ONE CALL.



PROPOSED BILLBOARD
8500 NAPLES ST NE
BLAINE, MN 55449

REVISIONS	No.	Date	Desc.	CLIENT REQUESTED CHANGES
		10/16/2025		

Designed G.C.
Drawn G.C.
Reviewed S.M.K.
Scale 1"=50'
Project No. 2501477
Date 06/02/2025

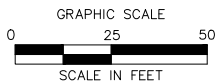
CAD File: EXH250147701

Title
SITE MAP

Sheet No.

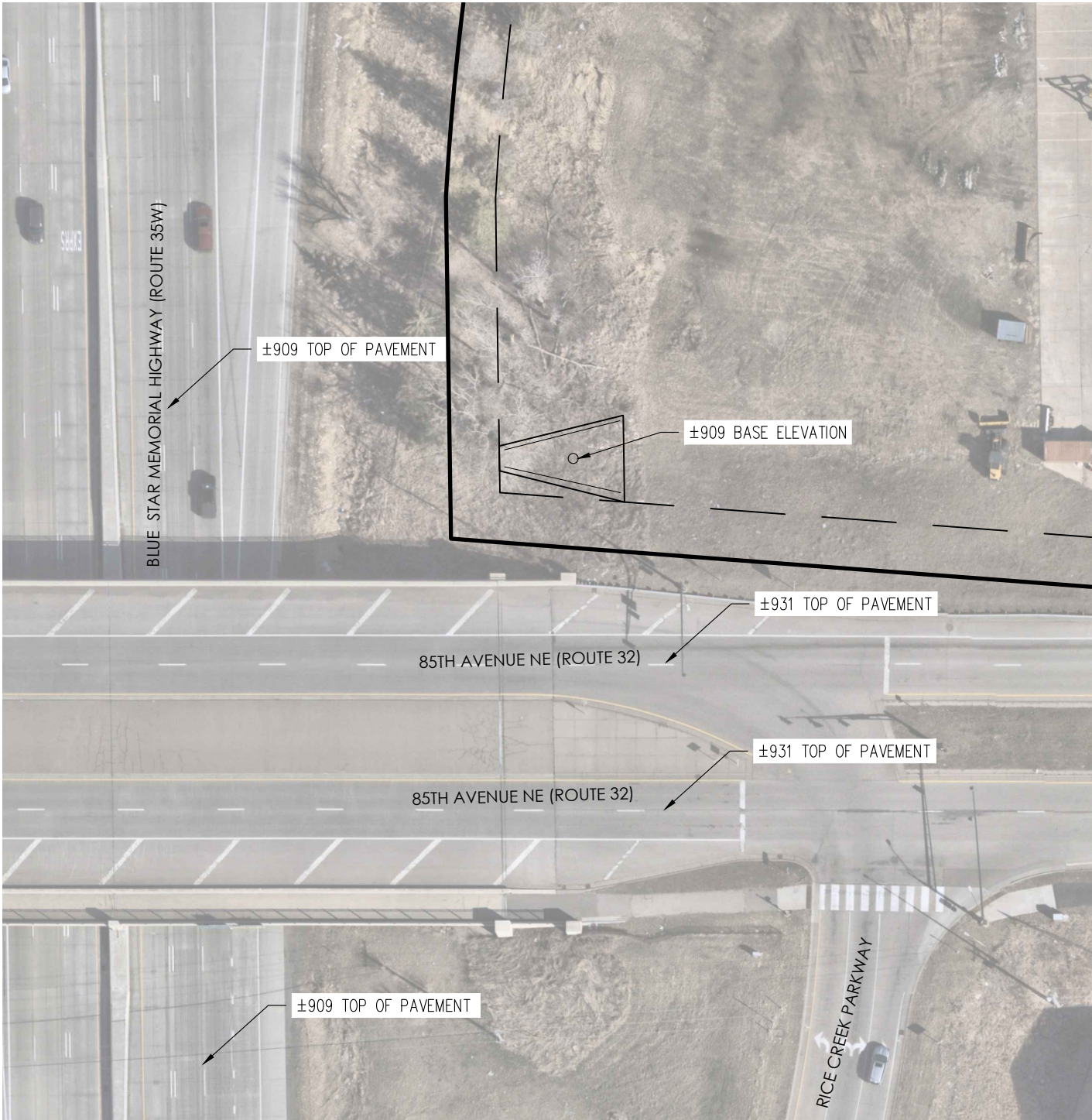
EXH-3

FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION

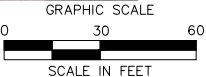


NOTES

- 1. THIS CONCEPT PLAN IS BASED ON LIMITED DATA. TOPOGRAPHIC DATA, WETLANDS, WATERCOURSES, FLOOD ZONES, NATURAL RESOURCES, AND/OR ENDANGERED SPECIES TO BE UPDATED UPON PREPARATION OF A DETAILED SURVEY.
- 2. ALL PROPERTY LINES ARE APPROXIMATE AND BASED ON PUBLICLY AVAILABLE INFORMATION AT THE TIME OF THE EXHIBIT. PROPERTY LINES TO BE UPDATED UPON PREPARATION OF A BOUNDARY SURVEY.
- 3. THIS EXHIBIT IS TO BE USED FOR THE APPROXIMATE LOCATION OF THE BILLBOARD FACE AND FOUNDATION SUPPORT. DETAILED PLANS FOR STRUCTURE AND EXACT PLACEMENT BY OTHERS.
- 4. DETAILED UTILITY, DRAINAGE, AND CULVERT INFORMATION HAS NOT BEEN ESTABLISHED. ALL UTILITY INFORMATION TO BE FIELD VERIFIED.
- 5. INVESTIGATION INTO ALL LOCAL ZONING REGULATIONS WILL BE REQUIRED.
- 6. THE CONTRACTOR SHALL ABIDE BY ALL OSHA, FEDERAL, STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOM, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. UTILITY COMPANY FEES SHALL BE PAID FOR BY THE CONTRACTOR.
- 7. THE ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ENGINEER HAS NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
- 8. THE CONTRACTOR SHALL COMPLY WITH CFR 29 PART 1926 FOR EXCAVATION, TRENCHING, AND TRENCH PROTECTION REQUIREMENTS.
- 9. BASE ELEVATIONS FROM GOOGLE EARTH ON 05/29/2025.
- 10. BEFORE CONSTRUCTION, CONTRACTOR TO CONFIRM UTILITY LOCATIONS WITH MN ONE CALL.



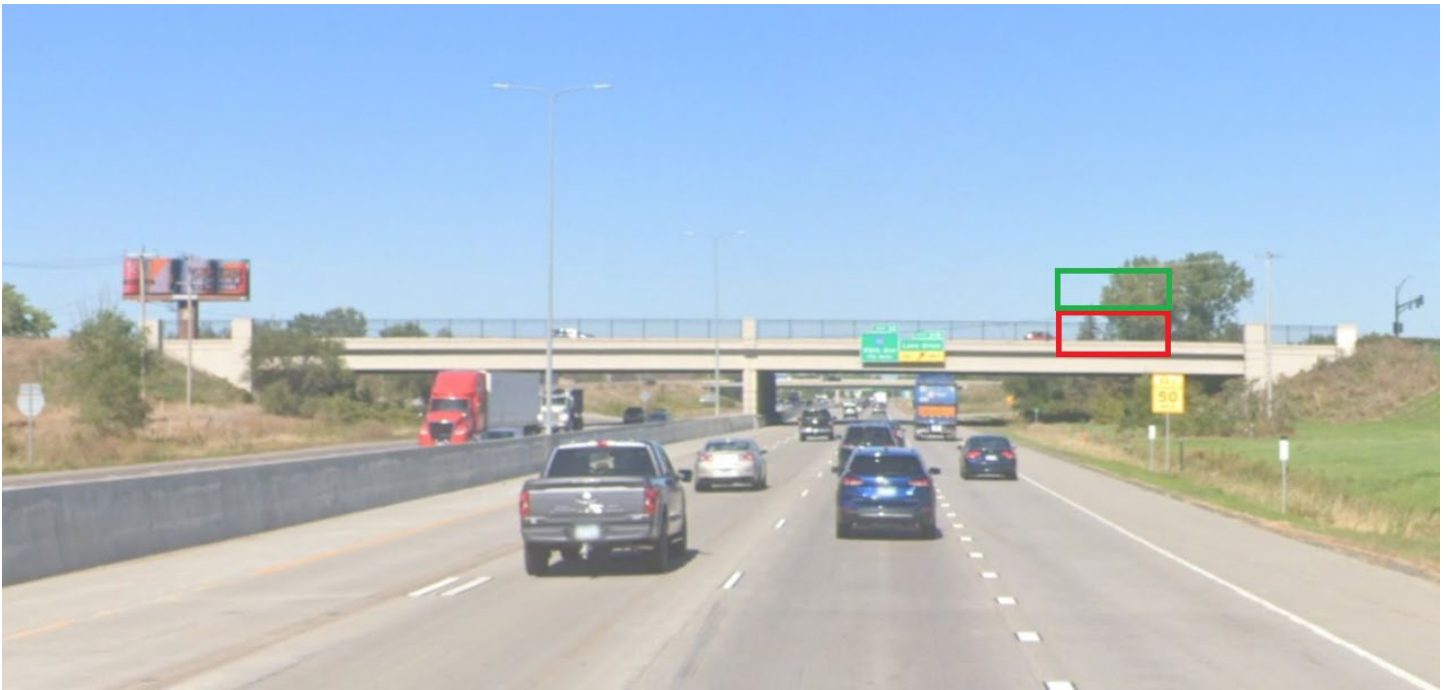
FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION

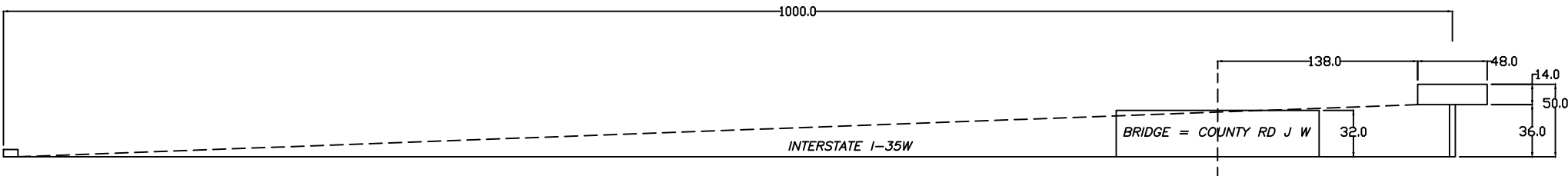


PROPOSED BILLBOARD
8500 NAPLES ST NE
BLAINE, MN 55449

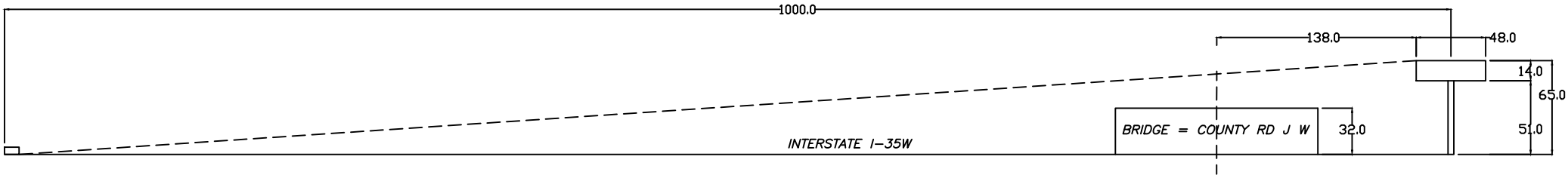
REVISIONS		Desc.	
No.	Date		
	10/16/2025	CLIENT REQUESTED CHANGES	
Designed		G.C.	
Drawn		G.C.	
Reviewed		S.M.K.	
Scale		1"=60'	
Project No.		2501477	
Date		06/02/2025	
CAD File: EXH250147701			
Title			
ELEVATION MAP			
Sheet No.			
EXH-4			

At a 50 foot height our sign would be similar to the red square graphic. At a 65 foot height our sign would be much more visible and comparable to the green square graphic.





DATE: 01/2026	SITE LINE STUDY PREPARED BY KENJOH OUTDOOR <i>BLAINE SITE LINE STUDY</i> BLAINE MIN	DWG NO. 55449-001
SCALE:		
DRAWN BY: DJN		
SHEET No. 1 OF 1		
	DAN@KENJOHOUTDOOR.COM	



DATE: 01/2026	SITE LINE STUDY PREPARED BY KENJOH OUTDOOR <i>BLAINE SITE LINE STUDY</i> BLAINE MIN	DWG NO. 55449-001
SCALE:		
DRAWN BY: DJN		
SHEET No. 1 OF 1		
	DAN@KENJOHOUTDOOR.COM	

City of Blaine

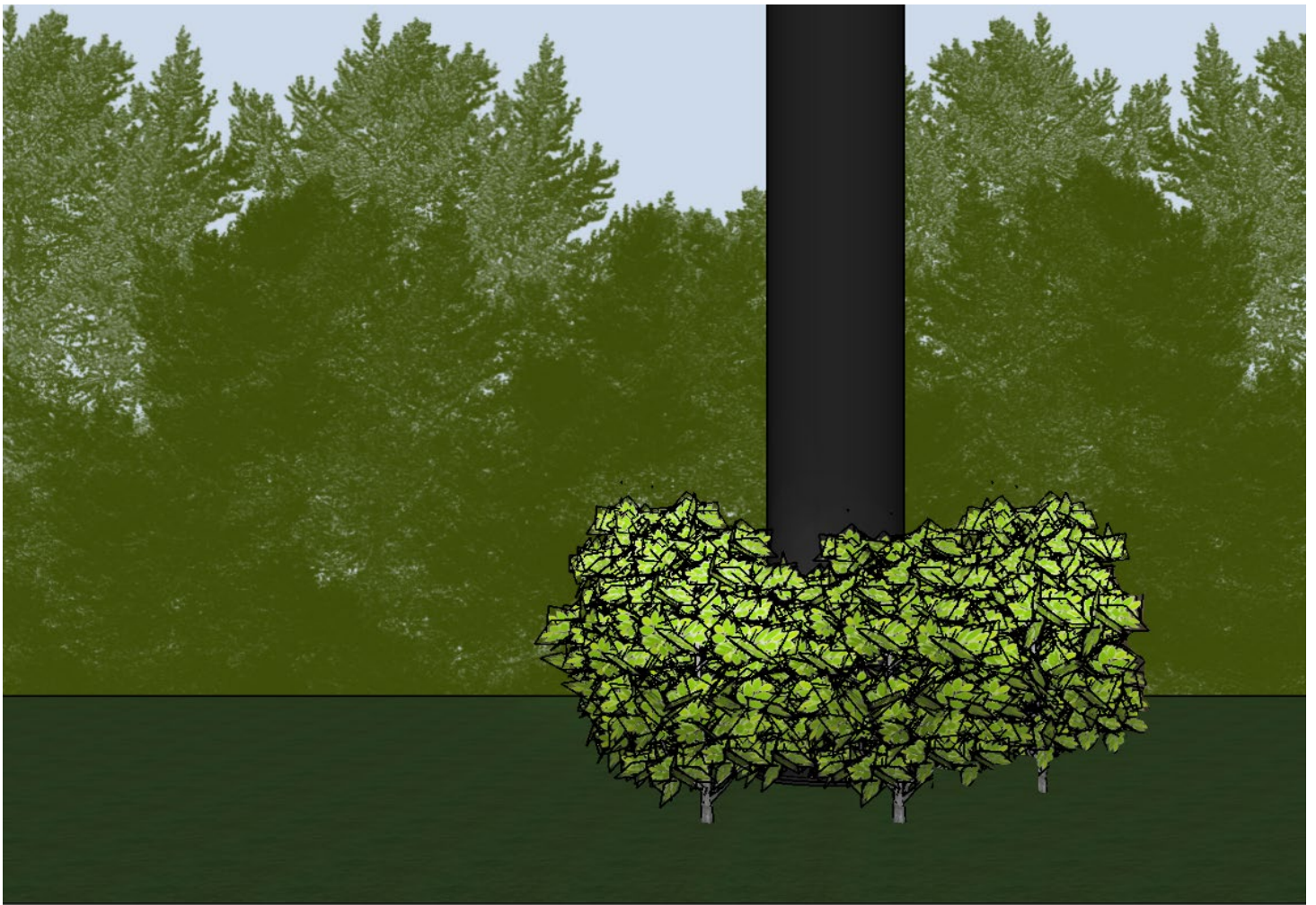
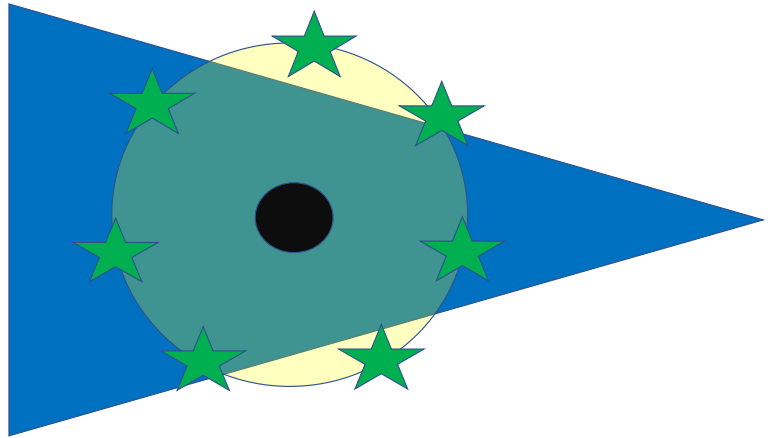


KENJOH



Landscaping Plan

- Evergreen Trees
- Circular pattern around sign
- Trees 4 Ft apart
- Maintained at 4ft Height





City of Blaine Staff Report

File Number: 2026-73

Agenda Date	Status
March 10, 2026	
In Control	File Type
Planning Commission	Report

Public Hearing - Shawn Kaye, Planner

Agenda Item # 4.3

Case File No. 26-0007 // Superior Molecular // 2161 107th Lane NE

The applicant is requesting a conditional use permit to operate a cannabis/hemp manufacturing facility in a Heavy Industrial (I-2) zoning district.

Background

Zoning	Heavy Industrial (I-2)
Land Use	Heavy Industrial (HI)
Area	Approximately 1 Acre
Applicable Regulations	Sec.101-4 and 121-100 (26)
Attachments	Zoning and Location Map Site Plan Floor Plan Narrative
Schedule	Planning Commission: 03/10/26 City Council: 04/06/26

Staff report prepared by Shawn Kaye, Planner, and Teresa Barnes, Project Engineer.

Executive Summary

The applicant is proposing to operate a cannabis manufacturing facility. The business will occupy an existing building on 107th Lane NE.

Planning Analysis

Zoning

The property is zoned Heavy Industrial (I-2), which requires a Conditional Use Permit (CUP) for cannabis manufacturing.

Surrounding Zoning and Uses

All surrounding properties are zoned I-2 with existing industrial buildings.

Existing Conditions

The property includes an existing warehouse/office 8,500 sf building and a detached storage building in the rear yard.

History

In 2025, the City Council approved a code amendment that allows cannabis manufacturing with a CUP in the I-2 zoning district.

No previous CUP approvals.

Site Plan

Superior Molecular formulates, blends, and packages lower potency hemp-derived products, including emulsions, beverages, and gummies for wholesale distribution to licensed businesses across Minnesota. Since 2019, the company has manufactured these products under Minnesota's hemp program and now seeks to transition to the adult-use market.

The applicant does not anticipate any exterior construction or structural modifications to the building. Any improvements will be limited to minor internal upgrades.

The facility employs five full-time staff, including production technicians, quality assurance personnel, and administrative staff. The company's core functions include:

- Receiving and securely storing cannabis raw materials and cannabinoid ingredients.
- Formulating and manufacturing cannabis emulsion ingredients for use in adult-use and lower-potency hemp edible.
- Manufacturing adult-use and lower-potency hemp edible products, including gummies and snack foods, under precise controls.
- Packaging and labeling finished goods for wholesale distribution to licensed lower-potency hemp edible wholesalers and retailers.

All operations are conducted in accordance with Minnesota OCM regulations governing Microbusinesses and Cannabis Product Manufacturing.

Superior Molecular operates during regular business hours, Monday through Friday, 8AM to 4PM.

The site will maintain a security and monitoring system consistent with OCM requirements and best practices for controlled manufacturing environments.

- High-definition cameras are installed throughout production, storage, and entry areas.
- Alarm systems with motion and access sensors are monitored 24/7 by a third-party security provider.
- Entry to production and storage areas is restricted to authorized personnel via keycode access.
- All materials and products are stored in secure, locked rooms when not in use.

- Security protocols are reviewed and updated regularly, and staff receive periodic training in facility safety, incident response, and product tracking procedures.

Parking

The applicant provided a parking needs analysis indicating that 5 spaces would be needed to meet his employees' parking needs and 15 stalls required by the Zoning Ordinance. The site has 18 parking spaces, which exceeds the amount needed for the warehousing, manufacturing and office needs on site.

Engineering Analysis

Grading/Storm Drainage

The proposed project does not include any alterations to the existing grading or storm water drainage patterns on the property.

Utilities

The proposed development will utilize the existing utilities into the building. No new connections are proposed.

Wetlands/Watershed/FEMA

There are no known wetland areas on the property. There are no FEMA flood plain on the property. A Coon Creek Watershed District review is not required.

Access/Street Design/Sidewalks/Trails

The development will utilize the existing access points to the existing parking area. No new access point will be granted. No additional street design, sidewalks or trails will be required.

Easements/Right-of-way/Permits

The developer will need to obtain any and all required permits to construct the proposed project. A copy of all permits will need to be submitted to the City prior to any site work.

Conditional Use Permit

A city exercises "quasi-judicial" authority when considering a CUP application. This means the city's role is limited to applying the standards in the ordinance to the facts presented by the application. The city acts like a judge in evaluating the facts against the standards.

Section 101-4 Criteria for granting conditional use permits:

The Blaine City Council shall consider the advice and recommendations of the Planning Commission and the effect of the proposed use on the comprehensive plan and upon the health, safety, and general welfare of occupants of surrounding lands. Among other things, the Council shall consider the following findings where applicable. (Ord. No. 20-2447, 7-20-2020)

1. The use shall not create an excessive burden on existing parks, schools, streets and other public facilities and utilities which serve or are proposed to serve the area.
 - The use will not create additional burden on public facilities or utilities. The business is situated in an area consisting of industrial and office-warehouse facilities.

2. The use will be located, designed, maintained, and operated to be compatible with adjoining properties and the existing or intended character of the zoning district. (Ord. No. 20-2447, 7-20-2020)
 - o The use is compatible with surrounding heavy industrial uses. The business is located in an existing and established industrial park occupied by industrial and office warehouse facilities. The exterior design of the building is not being changed.
3. The use shall have an appearance that will not have an adverse effect upon adjacent properties.
 - o The exterior appearance of the building and parking areas is not being changed and will not have an adverse effect upon adjacent properties.
4. The use, in the opinion of the City Council, shall be reasonably related to the overall needs of the City and to the existing land use.
5. The use shall be consistent with the purposes of the zoning code and purposes of the zoning district in which the applicant intends to locate the proposed use.
 - o The use is consistent with the purpose of the I-2 zoning district to allow heavy industrial uses ranging from small to large scale industry and related services, including outdoor uses and storage.
6. The use shall not be in conflict with the comprehensive plan of the City.
 - o The use is consistent with the HI land use designation.
7. The use will not cause traffic hazards or congestion.
 - o The proposed use will not generate any additional traffic hazard or congestion.
8. The use shall have adequate utilities, access roads, drainage and necessary facilities.
 - o The existing structure is served with the required utility services, adequate roadway infrastructure and necessary drainage facilities to service the proposed uses.

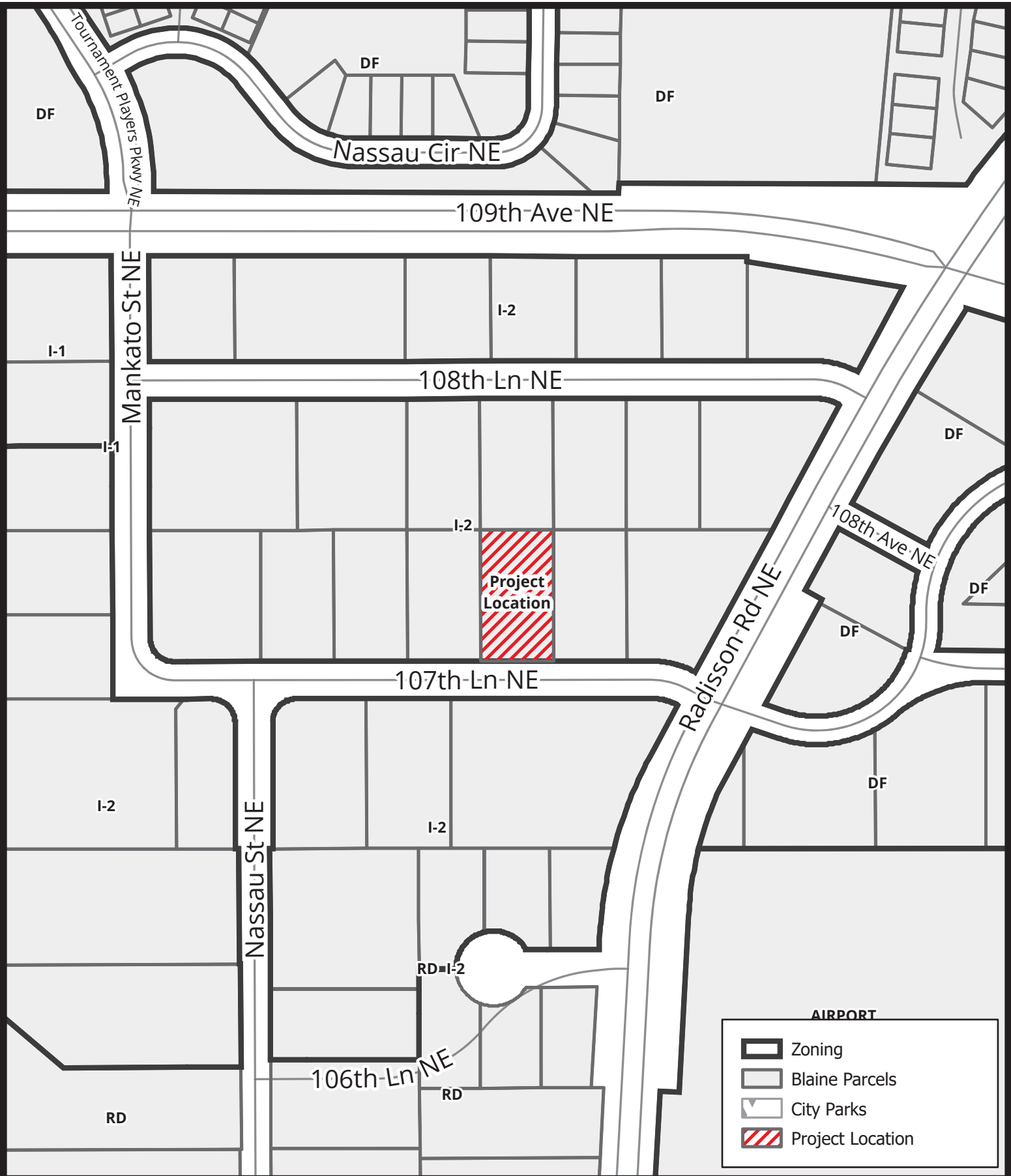
Recommendation

In Planning Case File No. 26-0007, it is recommended that the Planning Commission recommend approval of a conditional use permit to operate a cannabis manufacturing facility in a Heavy Industrial (I-2) zoning district with the following conditions:

1. A state license for cannabis manufacturing is required prior to occupying the site.
2. The retail sale of cannabis/hemp products is prohibited on site.
3. No outside storage is permitted on site without a Conditional Use Permit (CUP) amendment.
4. A building permit will be required prior to work on site.
5. The applicant must obtain a certificate of occupancy from the City prior to occupying the building.
6. If five (5) odor complaints are received by the City within any given calendar year, an odor mitigation plan must be submitted to the City within 30 days from written notice by the City. The mitigation plan must be approved by the City Council.

Attachment List

1. Attachments



BlaineMN.gov

Case File No. 26-0007 Superior Molecular

Blaine Planning Department / 10801 Town Square Dr NE / Blaine, MN 55449 / (763) 785-6180

0 0.02 0.04 0.07 Miles

Scale: 1:3,201



Rosa Architectural Group Inc.

1084 Sterling Street
St. Paul, Minnesota 55119
tel: 651-739-7968
fax: 651-739-3165

ADDITION TO
AGGRESSIVE
ENGINEERING

2161 107th LN NE
BLAINE, MN

CLASSIC
CONSTRUCTION

PH: 763-434-8870
18542 ULYSSES ST. NE
EAST BETHEL, MN

Larson Engineering
3524 Labore Road
White Bear Lake, MN 55110
651.481.8120 Fax: 651.481.9201
www.larsonengr.com

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRINT NAME _____
SIGNATURE _____
DATE _____ REG. NO. _____

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DAILY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

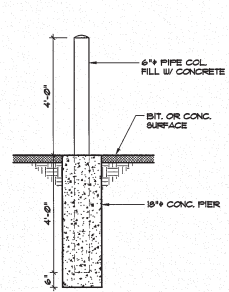
PRINT NAME: RUSSELL R. ROSA
DESIGNED: Rosa
DATE: 11/8/13 REG. NO. 18039

PROJECT NUMBER: 21333
DATE: NOVEMBER 8, 2013
DRAWN BY: KF
CHECKED BY: RR
REVISIONS:

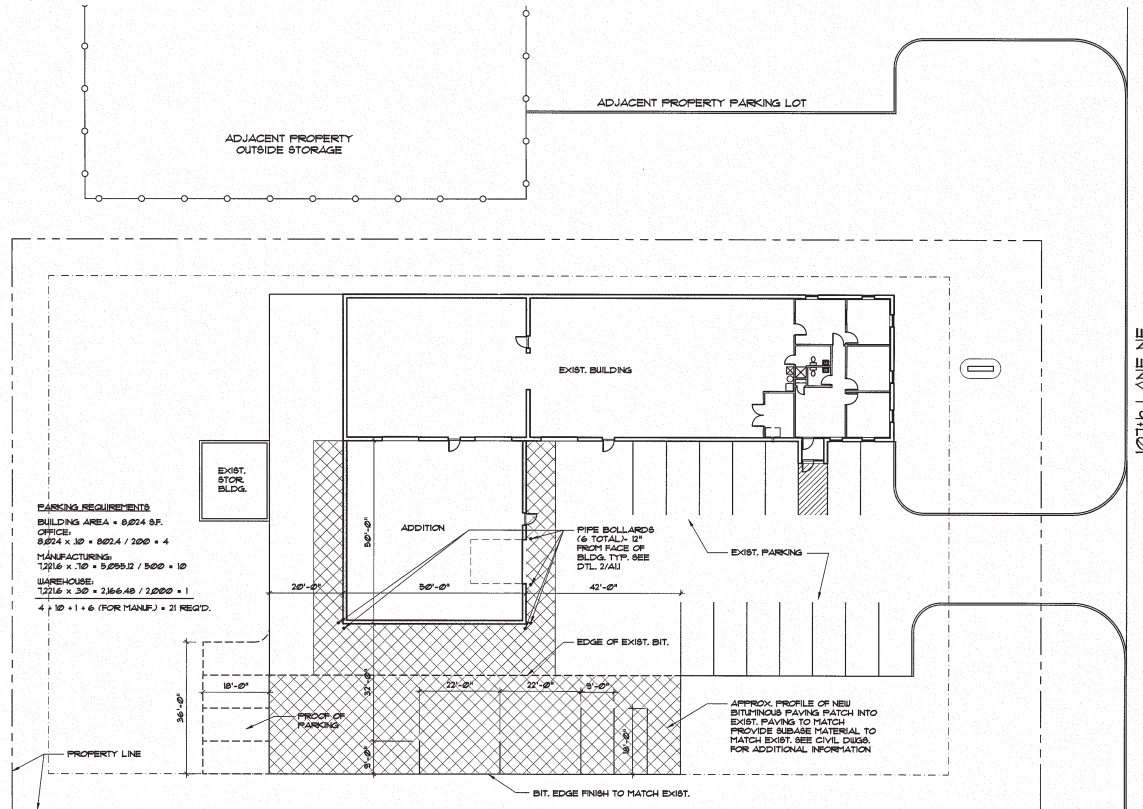
SITE PLAN

A1.1

© COPYRIGHT 2013 ROSA ARCHITECTURAL GROUP

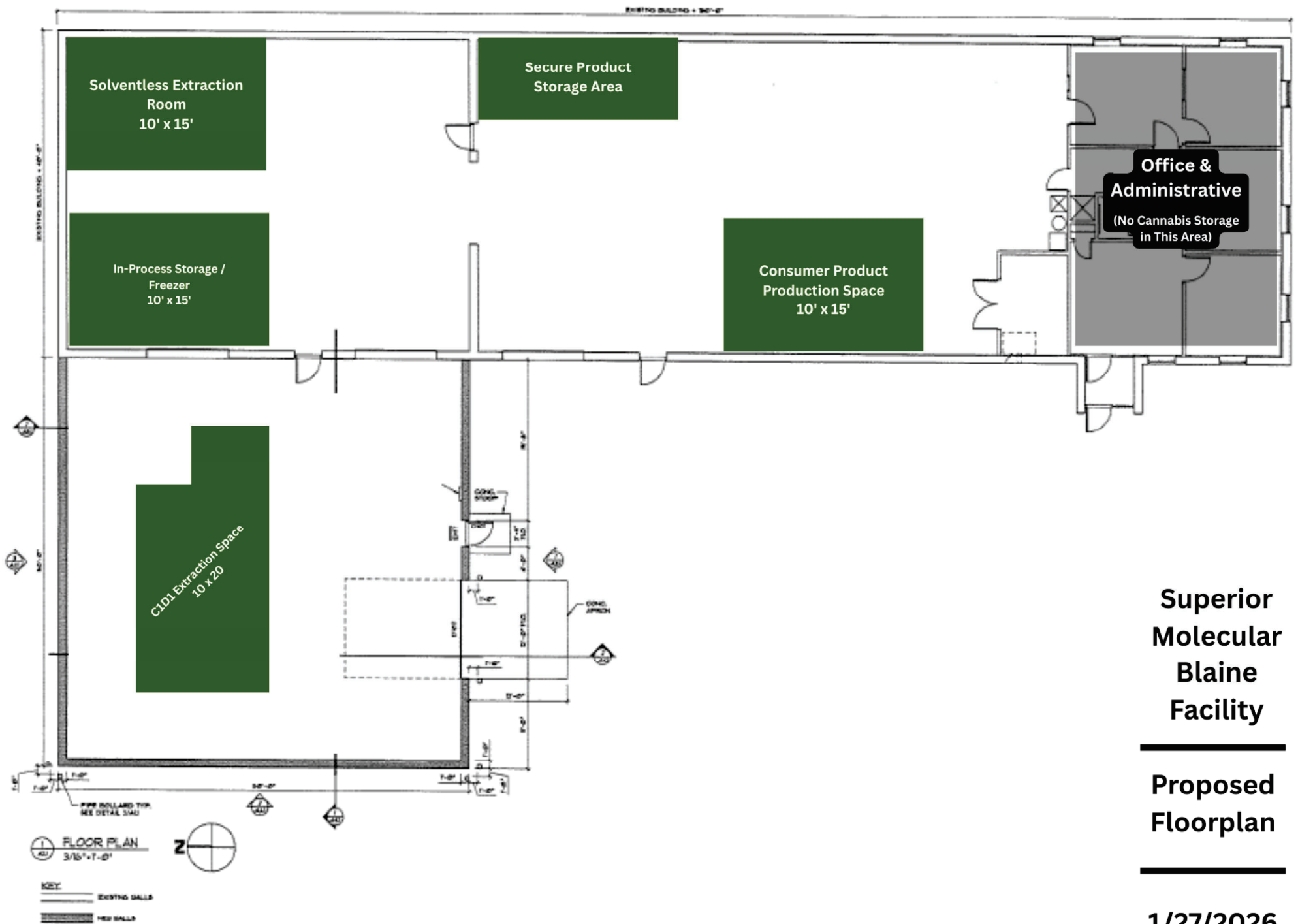


2 PIPE BOLLARD DETAIL
1/2" = 1'-0"



1 SITE PLAN
1/16" = 1'-0"

NOTE:
REPAIR ALL DAMAGED SOG
WITH NEW SOG OR SEED AS
NECESSARY



Superior Molecular Blaine Facility

Proposed Floorplan

1/27/2026

Conditional Use Permit Narrative

Superior Molecular, Inc.
4459 White Bear Parkway, White Bear Lake, MN 55110
Proposed New Location: 2161 107th Lane NE, Blaine, MN 55449
www.superiormolecular.com

Contents

Conditional Use Permit Narrative 1

1. Summary of Project..... 1

2. Existing Facility..... 2

3. Facility Build-Out..... 3

4. Parking 3

5. Business Operation 3

6. Manufacturing Operation 4

7. Environmental Plan 4

8. Conditional Use Permit Conditions 4

9. Security Management Plan 5

10. Floorplan of Superior Molecular..... 6

1. Summary of Project

Superior Molecular Inc., a Minnesota corporation (“Applicant”), respectfully submits this Conditional Use Permit Narrative in support of its application to operate a Cannabis Manufacturing Facility in the City of Blaine. The proposed use is consistent with state and local zoning requirements and will operate in compliance with all rules established by the Minnesota Office of Cannabis Management (OCM).

Superior Molecular formulates, blends, and packages lower potency hemp-derived products, including emulsions, beverages, and gummies for wholesale distribution to licensed businesses across Minnesota. Since 2019, the company has manufactured these products under Minnesota’s hemp program and now seeks to transition to the adult-use market.

The facility is located within an existing 8,500-square-foot industrial (I-2 Heavy Industrial) building. The site is well-suited for this use due to its prior and ongoing role as a research, development, and manufacturing facility.

Applicant requests a Conditional Use Permit to operate a Cannabis Manufacturing Facility on land owned by Applicant, described below:

The property is roughly 1 acre and is zoned I-2 Heavy Industrial. The APN/Parcel ID is 21-31-23-21-0012. Legal description available upon request.

This location was selected due to its existing build-out as an existing manufacturing facility, owned and leased from JTKRE, LLC. No retail sales or customer traffic will occur on site. The operation is strictly business-to-business manufacturing.

2. Existing Facility

The Applicant's facility is located within an existing heavy-industrial single-tenant building at 2161 107th Lane NE, owned and managed by the JTKRE, LLC. The surrounding area includes light manufacturing, fabrication, warehousing, contracting trades, and other low-impact commercial uses.

The building totals approximately 8,500 square feet, contains adequate loading, ventilation, and electrical capacity, and is designed for clean, controlled manufacturing environments.

The building was constructed in two phases (1985 and 2014) and totals approximately 8,500 square feet. It includes office, research, production, and warehouse with adequate loading, ventilation, and electrical capacity. It is designed for clean, controlled manufacturing environments.

This facility meets all life-safety requirements, including sprinklers, egress paths, and ADA-accessible amenities. This suite includes a secure cannabis storage area in a locked, restricted-access inventory room.



3. Facility Build-Out

As an established operation, Superior Molecular does not anticipate any exterior construction or structural modifications to the building. Any improvements will be limited to minor internal upgrades, which will include: non-structural interior partitions, NSF-rated equipment installation, and minor electrical improvements to support production equipment.

Importantly, no exterior construction is required, and aside from minor security updates, no structural changes will be made. No changes to the building footprint or site layout will occur.

All improvements will comply with Blaine building permits, fire code, and OCM microbusiness facility standards.

4. Parking

The property currently provides ample parking consistent with zoning requirements, offering approximately ample parking spaces. Superior Molecular operates with five (5) full-time employees and does not expect increased traffic beyond existing levels.

Because the company conducts wholesale manufacturing only, the facility does not serve retail customers, and all shipments are coordinated with licensed business partners via scheduled deliveries. As such, no additional parking or traffic control measures are necessary.

5. Business Operation

Superior Molecular operates during regular business hours, Monday through Friday, 8:00 a.m. to 4:00 p.m.

The facility employs five full-time staff, including production technicians, quality assurance personnel, and administrative staff. The company's core functions include:

- Receiving and securely storing cannabis raw materials and cannabinoid ingredients;
- Formulating and manufacturing cannabis emulsion ingredients for use in adult-use and lower-potency hemp edibles;
- Manufacturing adult-use and lower-potency hemp edible products, including gummies and snack foods, under precise controls; and,
- Packaging and labeling finished goods for wholesale distribution to licensed lower-potency hemp edible wholesalers and retailers.

All operations are conducted in accordance with Minnesota OCM regulations governing Microbusinesses and Cannabis Product Manufacturing. Superior Molecular is committed to maintaining the highest standards of product quality, consistency, and consumer safety.

6. Manufacturing Operation

Superior Molecular's manufacturing operation will include the production of adult-use cannabis concentrates, vaporizable oils, and infused edible products, utilizing both non-volatile and volatile extraction methods in full compliance with Minnesota OCM regulations, state fire code, and all applicable local building and safety requirements.

- Vaporizable Products: filled and capped vape cartridges, high-terpene extract blends, rosins, and distillate-based vaporizer formulations.
- Water-Soluble Cannabinoid Emulsion Ingredients: concentrated cannabinoid formulations designed for beverage and edible manufacturing partners.
- Lower-Potency Hemp Edibles: consistent, small-batch products that comply with OCM limits for THC content and serving size.

All production activities are conducted in closed, food-safe systems using good manufacturing practices. Each batch is tracked from raw material receipt through finished product testing using a documented batch tracking system.

7. Environmental Plan

Superior Molecular prioritizes environmental stewardship and sustainable operation.

Water and Waste Management: The facility will utilize efficient systems and closed-loop water processes where possible to minimize waste. All wastewater is disposed of in accordance with municipal regulations. Non-hazardous waste, such as packaging materials, is recycled whenever possible.

Energy Efficiency: The company employs LED lighting, programmable thermostats, and energy-efficient manufacturing equipment.

Chemical Handling and Safety: The facility maintains a Hazardous Materials Management Plan that includes secure storage of cleaning and sanitation supplies, staff training on Safety Data Sheets (SDS), and periodic internal audits to ensure environmental compliance.

This manufacturing operation has no negative environmental impact beyond typical light-industrial food production.

8. Conditional Use Permit Conditions

Superior Molecular believes its proposed use satisfies all relevant conditional use standards under Chapter 27.04 – Conditional Use Permit.

Consistency with Comprehensive Plan: The City's 2040 Comprehensive Plan promotes diverse business opportunities, local employment, and sustainable economic growth. Superior Molecular's operations align with these goals by supporting Minnesota's regulated cannabis economy and providing stable, skilled employment in Blaine.

Compatibility with Existing and Future Land Uses: The business is situated within an I-2: Heavy Industrial area and complements nearby operations. No exterior changes are proposed, and activities are consistent with the existing character of the Blaine heavy industrial area.

Public Services and Infrastructure: The operation requires no additional public services or infrastructure upgrades. Utility usage will remain consistent with current levels.

Traffic and Parking: Traffic impacts will be minimal. Deliveries are scheduled during business hours, and no retail sales occur on site. Existing parking accommodates all staff and occasional visitors.

Property Values: The proposed use will not negatively affect surrounding property values. The business maintains a clean, professional facility and has established a strong reputation as one of the oldest cannabis companies in Minnesota for safety, compliance, and innovation.

9. Security Management Plan

Superior Molecular maintains a robust security and monitoring system consistent with OCM requirements and best practices for controlled manufacturing environments.

- High-definition cameras are installed throughout production, storage, and entry areas.
- Alarm systems with motion and access sensors are monitored 24/7 by a third-party security provider.
- Entry to production and storage areas is restricted to authorized personnel via keycode access.
- All materials and products are stored in secure, locked rooms when not in use.
- Security protocols are reviewed and updated regularly, and staff receive periodic training in facility safety, incident response, and product tracking procedures.

Through these measures, Superior Molecular ensures that its operations remain safe, compliant, and respectful of community standards.

For the reasons described above, Superior Molecular Inc. respectfully requests approval of its Conditional Use Permit to begin operating as a Cannabis Manufacturing Facility at 2161 107th Lane Northeast. The business aligns with the City's comprehensive land-use goals, strengthens local economic activity, and operates with professionalism, safety, and environmental care.