



# City of Blaine

## City Council

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March 2, 2026 | 7:00 PM  
Blaine City Hall  
10801 Town Square Drive NE  
Blaine, MN 55449

### AGENDA

**1. Call to Order by the Mayor**

**2. Pledge of Allegiance**

**3. Roll Call**

**4. Awards - Presentations - Organizational Business**

**5. Open Forum**

Open Forum is an opportunity for the public to share comments, concerns, or input on other items. While Open Forum is not intended to provide responses or discussion during the meeting, city staff will contact the speaker(s) after the meeting if follow-up is needed. Each speaker is limited to three minutes, with a maximum of 15 minutes set aside for Open Forum.

**6. Communications**

**7. Approval of Consent Agenda:**

All items listed under the "Consent Agenda" are considered to be routine by the City Council and will be enacted by one motion. There will be no separate discussion of these items unless a Councilmember so requests, in which event the item will be removed from the Consent Agenda and considered in its normal sequence on the agenda.

**7.1.** 2026-59      Schedule of Bills Paid  
*Sponsors: Jason Zimmerman, Finance Director*

**7.2.** 2026-60      Approval of Minutes  
*Sponsors: Cathy Sorensen, City Clerk*

**7.3.** 2026-61      Adopt the Administrative Penalty Schedule  
*Sponsors: Cathy Sorensen, City Clerk*

**7.4.** 2026-62      Approve Temporary Nursery Sales License for Cub Foods Greenhouse located at 12595 Central Avenue NE  
*Sponsors: Cathy Sorensen, City Clerk*

- 7.5. RES 26-29 Resolution Granting Final Plat Approval to Subdivide 8.36 Acres into 1 Lot and 2 Outlots to be Known as North Meadows Third Addition at the Corner of Lexington Avenue and 109th Avenue NE. Wellington Management Inc. (Case File No. 26-0008/SLK)  
*Sponsors: Sheila Sellman, Community Development Director*
- 7.6. RES 26-40 Resolution to Approve Joint Powers Agreement No. C0011856 with Anoka County for the Gate Valve and Hydrant Improvements along CSAH 32 (85th Avenue) from CSAH 17 (Lexington Avenue) to Rendova Street NW, Improvement Project T2609 (26-09) and Associated Transfers and Budget Amendments  
*Sponsors: Daniel Schluender, Director of Engineering*
- 7.7. 2026-63 Motion Authorizing North Metro TV as Broadband Franchise Operator  
*Sponsors: Erik Thorvig, City Manager*

**8. 7:00 PM - Public Hearing and Items Published for a Certain Time**

- 8.1. ORD 26-2603 First Reading  
Ordinance Approving the Sale of a Portion of Outlot A Club West 9th Addition to MNDOT for the Highway 65 Project  
*Sponsors: Sheila Sellman, Community Development Director*

**9. Development Business**

- 9.1. RES 26-31 Resolution Granting a Conditional Use Permit to Construct a Bank with a Zero Lot Line (North Property Line) in a Development Flex (DF) Zoning District at 10903 Austin Street NE. Magnifi Financial (Case File No. 26-0001/ACK)  
*Sponsors: Sheila Sellman, Community Development Director*
- 9.2. ORD 26-2602 First Reading  
Ordinance Approving a Rezoning from Farm Residential (FR) to Development Flex (DF) at 3700 and 3900 125th Avenue NE. Pulte Group (Ravenwood) (Case File No. 25-0056/SLK)  
*Sponsors: Sheila Sellman, Community Development Director*
- 9.3. ORD 26-2601 First Reading  
Ordinance Approving Amendments to Residential Sections and Performance Standards of the City of Blaine Zoning Ordinance Regulating Accessory Dwelling Units. City of Blaine (Case File No. 26-0003/SAS)  
*Sponsors: Sheila Sellman, Community Development Director*

**10. Administration**

- 10.1.** ORD 26-2600 First Reading  
Amending Chapter 90 - Vegetation Article III.- Shade Tree Management, Sec. 90-57. - Declaration of Nuisance and Sec. 90-62. Abatement Methods; Protection of Healthy Trees During Abatement  
*Sponsors: Kristofer Paulseth, City Forester*
- 10.2.** RES 26-41 Resolution Authorizing Submittal of LCCMR Grant Application for the Blaine Wetland Sanctuary (BWS) Trail, Improvement Project No. P2405 (25-08)  
*Sponsors: Daniel Schluender, Director of Engineering*
- 10.3.** 2026-64 Motion to Approve a Term Sheet for West Parking Structure as Part of the 105th Redevelopment Project  
*Sponsors: Erik Thorvig, City Manager*
- 10.4.** 2026-65 2026 Board and Commission Mayoral Appointments  
*Sponsors: Cathy Sorensen, City Clerk*

**11. Other Business**

**12. Adjournment**

**CITY OF BLAINE**

**SCHEDULE OF BILLS PAID**

**APPROVED ON 03/02/2026 FOR PAYMENTS THE WEEK OF 02/06/2026**

<b>Vendor Name</b>	<b>Description</b>	<b>Amount</b>
AMAZON CAPITAL SERVICES	Gearlight S1000 LED Flashlight 2 pack - Sean C. - Inspections	\$ 23.74
AMAZON CAPITAL SERVICES	Red Pens; Mechanic Shop	\$ 11.32
AMAZON CAPITAL SERVICES	Wellness Room Equipment - Barbell Squat Pad	\$ 9.99
AMAZON CAPITAL SERVICES	Replacement 65W Laptop Charger - Sean B. Inspections	\$ 15.99
AMAZON CAPITAL SERVICES	2026 calendar	\$ 8.45
AMAZON CAPITAL SERVICES	Scanner, label maker, report covers, batteries	\$ 1,230.63
AMAZON CAPITAL SERVICES	Storm water supplies: key tags/carabiners/markers	\$ 316.79
ANOKA COUNTY LICENSE BUREAU	Duplicate Plate Request - #3422 (Nick Fleischhacker)	\$ 23.00
ANOKA COUNTY LICENSE BUREAU	Registration: Unit #2460 / PARKS Enclosed Trailer	\$ 417.00
ANOKA COUNTY LICENSE BUREAU	Duplicate Plate/Tab Request - #5304 (Orin Christensen)	\$ 35.75
ANOKA COUNTY LICENSE BUREAU	Duplicate Plate Request - #1247	\$ 23.00
APPLE FORD WHITE BEAR LAKE	Engine Replacement; Truck 4603	\$ 12,582.04
ASPEN MILLS INC	Patrol Clothing and Uniforms	\$ 1,704.12
ASPEN MILLS INC	Patrol Clothing and Uniforms	\$ 75.99
ASPEN MILLS INC	Patrol Clothing and Uniforms	\$ 209.95
ASPEN MILLS INC	Patrol Clothing and Uniforms	\$ 243.94
ASPEN MILLS INC	Patrol Clothing and Uniforms	\$ 63.90
ASPEN MILLS INC	Patrol Clothing and Uniforms	\$ 63.90
ASPEN MILLS INC	Patrol Clothing and Uniforms	\$ 56.99
ASPEN MILLS INC	Patrol Clothing and Uniforms	\$ 772.11
ASPEN MILLS INC	Patrol Clothing and Uniforms	\$ 1,754.12
ASPEN MILLS INC	Patrol Clothing and Uniforms	\$ 44.95
ASPEN MILLS INC	Patrol Clothing and Uniforms	\$ 422.58
ASPEN MILLS INC	Patrol Clothing and Uniforms	\$ 574.98
ASPEN MILLS INC	Patrol Clothing and Uniforms	\$ 64.95
ASPEN MILLS INC	Patrol Clothing and Uniforms	\$ 91.25
ASPEN MILLS INC	Patrol Clothing and Uniforms	\$ 18.80
ASPEN MILLS INC	Patrol Clothing and Uniforms	\$ 370.00
BARR ENGINEERING COMPANY	Well Interference Response Plan, I/P 23-22	\$ 329.50
BLAINE BROTHERS INC	DOT Inspection: Trailer 2418	\$ 1,011.02
BLAINE BROTHERS INC	Plow Mirrors: PW Stock	\$ 226.43
BLAINE BROTHERS INC	1" Heater Hose : Unit 1241 (Hook Truck)	\$ 121.50
BLAINE BROTHERS INC	Front Springs : Unit 1235 (Hook Truck)	\$ 5,391.47
BROWNELL THOMAS	Duty Holster	\$ 185.11
CENTERPOINT ENERGY	January 2026 Gas Service	\$ 25,756.38
CHRISTENSEN ORIN	Reimbursement for travel to Emerging Tech Conference	\$ 888.66
CINTAS CORPORATION	CH mats/rugs	\$ 204.27
CINTAS CORPORATION	2026 Uniform/Rug Towel Rentals	\$ 400.06
CINTAS CORPORATION	MAYC Mats/Rugs	\$ 38.42
CINTAS CORPORATION	MAYC medical cabinet supplies	\$ 39.82
CINTAS CORPORATION	MAYC medical cabinet supplies	\$ 7.53
CINTAS CORPORATION	MAYC medical cabinet supplies	\$ 7.53
CINTAS CORPORATION	MAYC medical cabinet supplies	\$ 58.59
CINTAS CORPORATION	MAYC medical cabinet supplies	\$ 7.53

CINTAS CORPORATION	Cold storage first aid cabinet supplies	\$ 34.40
CINTAS CORPORATION	PD first aid cabinet supplies	\$ 163.79
CITY OF LEXINGTON	Sewer System Usage Agreement - City of Lexington	\$ 7,622.29
CITY OF LEXINGTON	Sewer System Usage Agreement - City of Lexington	\$ 7,622.29
CRYSTEEL TRUCK EQUIPMENT	Hydraulic Pump repair; Plow 1201	\$ 7,217.14
ELECTRIC PUMP INC	LS #17 p#2 replace and sent for repairs	\$ 810.00
ELECTRIC PUMP INC	LS#8 : P1 Electrical Issues	\$ 630.00
ENVIRONMENTAL EQUIPMENT & SERVICES	Rebuild/service: Sweeper 1277	\$ 4,963.67
ENVIRONMENTAL EQUIPMENT & SERVICES	Rebuild/Winter service: Sweeper 1308	\$ 4,906.64
FACTORY MOTOR PARTS COMPANY	Brake Rotors; Truck 1297	\$ 374.00
FERGUSON WATERWORKS #2518	Water main repair supplies	\$ 584.66
GLOBAL MUSIC RIGHTS LLC	2026 Music license	\$ 850.00
GRAINGER	Faucet 1st floor mens restroom	\$ 551.19
HAMMER SPORTS LLC	Refs for Adult Basketball 1/18/2026	\$ 420.00
HAWKINS INC	2026 Water Treatment Chemicals	\$ 1,563.29
HAWKINS INC	2026 Water Treatment Chemicals	\$ 9,419.23
HOTSY MINNESOTA	Pressure washer repair: PW Shop	\$ 2,431.94
INDELCO PLASTICS CORPORATION	Replacement Probes: Plants 1-3	\$ 890.77
INDELCO PLASTICS CORPORATION	Chlorine Sensor; WTP 1-3	\$ 1,148.80
INDELCO PLASTICS CORPORATION	Chlorine Sensor; WTP 1-3	\$ 1,847.32
INNOVATIVE OFFICE SOLUTIONS	Copy Paper: PW	\$ 229.95
INSIGHT PUBLIC SECTOR INC	2026 computer equipment	\$ 26,335.57
JEFF BELZER'S ROSEVILLE AUTO INC	Oil leak/Brakes: Vehicle 5347	\$ 960.00
LAMETTRY'S COLLISION INC	Repairs for squad 5031	\$ 6,882.56
LANDS' END BUSINESS OUTFITTERS	Records Clothing and Uniforms	\$ 61.85
LANDS' END BUSINESS OUTFITTERS	Records Clothing and Uniforms	\$ 61.85
LANDS' END BUSINESS OUTFITTERS	Records Clothing and Uniforms	\$ 276.49
LANDS' END BUSINESS OUTFITTERS	Records Clothing and Uniforms	\$ 61.85
LANDS' END BUSINESS OUTFITTERS	Community Outreach Uniforms	\$ 61.85
LANDS' END BUSINESS OUTFITTERS	Community Outreach Uniforms	\$ 61.85
LANDS' END BUSINESS OUTFITTERS	Community Outreach Uniforms	\$ 61.85
LANDS' END BUSINESS OUTFITTERS	Property Room Clothing and Uniforms	\$ 155.65
LAWSON PRODUCTS INC	Shop Supplies/ Cutter Set, Nipples, Couplers	\$ 110.49
LAWSON PRODUCTS INC	1-14" Saw Blade	\$ 229.83
LAWSON PRODUCTS INC	Shop Supplies/ Cutter Set, Nipples, Couplers	\$ 551.98
LAWSON PRODUCTS INC	Mechanic shop supplies; B/O fittings	\$ 215.76
MANSFIELD OIL COMPANY	Fuel Delivery - January	\$ 6,349.87
MANSFIELD OIL COMPANY	Fuel Delivery - January	\$ 2,750.24
MARSDEN CENTRAL LLC	PW - January janitorial services	\$ 2,652.69
MCDONOUGH K9	K9 Decoy Training- 2 Officers	\$ 1,700.00
MENARDS - BLAINE	Shovel, drill bits, batteries, wire	\$ 78.80
MENARDS - BLAINE	Paint brushes/tarp; Well 1 graffiti removal	\$ 161.17
MENARDS - BLAINE	Propane Heater	\$ 289.42
MENARDS - BLAINE	Brass elbow, barb tee, coupling	\$ 64.67
MENARDS - BLAINE	Misc Small tools: Sign Shop	\$ 370.59
MENARDS - BLAINE	Brass ball valve, air filter, air hose, rocker switch	\$ 49.73
MIDWAY FORD COMPANY	Brakes : Unit 3423 (Truck)	\$ 608.14
MN DEPT OF LABOR AND INDUSTRY	December 2025 State Surcharge	\$ 6,871.28
MN DEPT OF LABOR AND INDUSTRY	January 2026 State Surcharge	\$ 1,381.10
MN DEPT OF LABOR AND INDUSTRY	November 2025 State Surcharge	\$ 2,936.34
MN METRO NORTH TOURISM	November Lodging Tax	\$ 13,828.50

MTI DISTRIBUTING INC	Misc Repair Parts: Mower 2431	\$	982.84
O'REILLY AUTOMOTIVE INC	AntiGel/Filters: PW Stock	\$	179.88
O'REILLY AUTOMOTIVE INC	Front brake pads: Vehicle 5347	\$	119.74
O'REILLY AUTOMOTIVE INC	AntiGel/Filters: PW Stock	\$	84.12
O'REILLY AUTOMOTIVE INC	Car Fogger; PW stock	\$	68.94
PEERLESS NETWORK INC	Telephone Service	\$	1,910.70
R&R SPECIALTIES OF WISCONSIN INC	Motor/Seal Kit: Zamboni 2436	\$	1,149.75
REDPATH AND COMPANY LLC	Progress billing on 2025 financial audit and FS Changes	\$	6,400.00
RINKANYA GEORGE	Reimburse late fee; IMS incorrectly added	\$	180.00
SAINT NORDIC CUSTOM AUTOWORKS	Squad equipment install	\$	515.68
SCHINDLER ELEVATOR CORPORATION	CH elevator repair	\$	685.36
SCHMIDT ROBERT	Heat Tape Installation Mobile Homes	\$	1,650.00
SCHMIDT ROBERT	Heat Tape Installation Mobile Homes	\$	1,500.00
SCHMIDT ROBERT	Heat Tape Installation Mobile Homes	\$	1,500.00
SCHMIDT ROBERT	Heat Tape Installation Mobile Homes	\$	3,635.00
SCHMIDT ROBERT	Heat Tape Installation Mobile Homes	\$	490.00
SCHMIDT ROBERT	Heat Tape Installation Mobile Homes	\$	1,500.00
SHERWIN-WILLIAMS COMPANY	PD paint for interview room	\$	107.37
SOCIOS CONSULTING INC	MH Repair Replacement Sep 2025 - Jan 2026	\$	1,500.00
ST CLOUD STATE UNIVERSITY	2026 MCFOA Conference	\$	395.00
TRANSWEST FORD OF MINNEAPOLIS	Seal: Plow 1211	\$	12.88
TRANSWEST TRUCK ST. MICHAEL	HVAC Controller; Plow 1211	\$	517.04
TRANSWEST TRUCK ST. MICHAEL	alternator/Pump: Plow 1241/1203	\$	176.01
TRANSWEST TRUCK ST. MICHAEL	alternator/Pump: Plow 1241/1203	\$	31.99
TREVIPAY	Misc Street Tools: Impact Wrench/Stool	\$	587.06
TWIN CITIES TRANSPORT & RECOVERY INC	Tow for Squad 5307	\$	125.00
TWIN CITIES TRANSPORT & RECOVERY INC	Tow for Squad 5241	\$	125.00
ULINE	Respirator Masks/Ice Melt/Chair	\$	3,608.46
ULINE	Shelving/Storage bins: Storm water	\$	1,931.38
ULINE	Credit	\$	(2,277.00)
USA BLUEBOOK (#657220)	Chemical Testing Supplies: Water	\$	32.82
VILLEGAS WESLEY	Tuition Reimbursement	\$	605.68
WRIGHT MONROE	Recreation Entertainment for Bday Lunch	\$	150.00
			\$ 216,548.09

**CITY OF BLAINE**

**SUBSET OF PAYMENTS BETWEEN \$20,000 AND \$50,000 FROM THE SCHEDULE OF BILLS PAID  
APPROVED ON 03/02/2026 FOR PAYMENTS THE WEEK OF 02/06/2026**

<b>Vendor Name</b>	<b>Description</b>	<b>Amount</b>
CENTERPOINT ENERGY	January 2026 Gas Service	\$ 25,756.38
INSIGHT PUBLIC SECTOR INC	2026 computer equipment	\$ 26,335.57

**CITY OF BLAINE**

**SCHEDULE OF BILLS PAID**

**APPROVED ON 03/02/2026 FOR PAYMENTS THE WEEK OF 02/13/2026**

<b>Vendor Name</b>	<b>Description</b>	<b>Amount</b>
ALLEGRA PRINT & IMAGING	Blaine Police Community Alliance Nametags	\$ 300.00
ALLINA HEALTH SYSTEM	2026 1st Quarter Continuing Education	\$ 1,000.00
AMAZON CAPITAL SERVICES	Credit	\$ (13.99)
AMAZON CAPITAL SERVICES	Youth Sports equipment	\$ 688.45
AMAZON CAPITAL SERVICES	Ethernet Cable	\$ 20.29
AMAZON CAPITAL SERVICES	Scanner, label maker, report covers, batteries	\$ 28.95
AMAZON CAPITAL SERVICES	Credit	\$ (83.72)
AMAZON CAPITAL SERVICES	Toughbook Charging Cords for Squads	\$ 354.10
AMAZON CAPITAL SERVICES	Replacement 65W Laptop Charger Inspections	\$ 13.99
AMAZON CAPITAL SERVICES	Supplies for MAYC	\$ 80.15
AMAZON CAPITAL SERVICES	Supplies for snow day at Wargo- sponsorship	\$ 115.20
AMAZON CAPITAL SERVICES	Hole Marker Pens	\$ 83.72
AMAZON CAPITAL SERVICES	Batteries/ Repair kit: Unit 2276 (Sprayer)	\$ 146.54
AMAZON CAPITAL SERVICES	Replacement 65W Laptop Charger - Sean B. Inspections	\$ 13.99
AMAZON CAPITAL SERVICES	Keyboard/mouse: Mechanic Shop	\$ 226.24
AMAZON CAPITAL SERVICES	10' HDMI Cable	\$ 6.99
AMERICAN PUMP COMPANY	4" Dewatering system: Water Dept	\$ 14,833.66
APPLIED CONCEPTS	(2) Squad radar units, antennas, hardware	\$ 6,870.00
AUTOMATIC SYSTEMS COMPANY	2024 Capital; Water Altitude Valve Parts - Tower 1	\$ 34,271.00
AUTOWASH SYSTEMS INC	Car Wash Chemicals & Check 1/22/26	\$ 591.94
BARR ENGINEERING COMPANY	Well Interference Response Plan, I/P 23-22	\$ 3,683.50
BLAINE 2022 LLC	Full escrow refund, PC24-0007 Preserve at Lexington Waters	\$ 5,100.00
BLAINE AREA PET HOSPITAL PA	Vet services for K9 Andy	\$ 267.48
BLAINE BROTHERS INC	Seals/Caps: Mower 4633 & DOT Insp: Trailer 2391	\$ 1,827.10
BLAINE BROTHERS INC	Brake Assy/seals: Trailer 4636	\$ 725.76
BLAINE BROTHERS INC	Brake Assy/seals: Trailer 4636	\$ 138.00
BLAINE BROTHERS INC	Seals/Caps: Mower 4633 & DOT Insp: Trailer 2391	\$ 17.88
BLAINE CUSTOM APPAREL & AWARDS	Summer Sports participant Shirts	\$ 1,498.00
BLAINE LOCK & SAFE INC	Keys for supervisors	\$ 17.00
BLAINE LOCK & SAFE INC	Keys; Zamboni Room	\$ 28.50
BOLTON & MENK INC	Design & Construction Services for I/P 24-04	\$ 8,874.00
BOLTON & MENK INC	Design & Construction Services - 2025 SW Area, I/P 25-06	\$ 8,118.00
BOLTON & MENK INC	Prelim Design & Feasibility Report, I/P 26-04 (T2604)	\$ 20,199.50
BOLTON & MENK INC	Lead Service Line Inventory, I/P 24-20	\$ 5,916.00
BOLTON & MENK INC	Lift Station 13 Force Main-Phase 2 Construction Svsc, I/P 23-30	\$ 9,910.50
BOLTON & MENK INC	Construction Services-Ulysses/117th Roundabout, I/P 23-09	\$ 1,376.00
BOLTON & MENK INC	Construction Services for Water Tower 2 Rehab, I/P U2315 (24-21)	\$ 1,886.00
CENTURYLINK	911 Service	\$ 80.52
CINTAS CORPORATION	CH mats/rugs	\$ 204.27
CINTAS CORPORATION	CH mats/rugs	\$ 204.27
CINTAS CORPORATION	2026 Uniform/Rug Towel Rentals	\$ 170.77
CINTAS CORPORATION	MAYC Mats/Rugs	\$ 38.42
CIVICPLUS, LLC	SeeClickFix Resident Request Tool with Cartegraph Integration	\$ 26,112.75
CIVICPLUS, LLC	Social Media Archiving System - Records Retention	\$ 5,542.71
CIVICPLUS, LLC	CivicReady Emergency Notification System Annual Renewal	\$ 18,615.94
COMCAST	PW Cable TV	\$ 21.04
COMCAST	Internet for Public Wi-Fi	\$ 297.89

COMPLEMENTOR LLC	Staff Training 02/05/2026	\$	1,662.50
CONNEXUS ENERGY-UTILITY PAYMENTS	951 124th LN NE - Electric	\$	4,051.03
CONNEXUS ENERGY-UTILITY PAYMENTS	10801 Town Square DR NE - Electric	\$	7,533.89
DAVE PERKINS CONTRACTING INC	Dig at 12225 Oak Park Blvd - Saturday Repair	\$	14,745.00
DAVE PERKINS CONTRACTING INC	Dig at 12225 Oak Park Blvd - Saturday Repair	\$	6,640.00
ECM PUBLISHERS INC	2026 Public Hearing Notices	\$	110.00
EGAN COMPANY	CH semi annual boiler services	\$	2,903.50
ELECTRIC PUMP INC	Hatch Hasps	\$	348.00
ELECTRIC PUMP INC	Liftstation 16; Vega Pump	\$	990.00
ESCAPE FIRE	Cold storage Annual sprinkler inspection	\$	290.00
ESCAPE FIRE	Fire station #5 Annual sprinkler inspection	\$	290.00
ESCAPE FIRE	Annual fire sprinkler inspection	\$	385.00
FACTORY MOTOR PARTS COMPANY	Filters; PW Stock	\$	18.86
FRIENDLY CHEVROLET INC	Brakes : Unit 5342 - PD	\$	1,089.59
FRIENDLY CHEVROLET INC	Seals: Vehicle 5318	\$	12.90
GRAINGER	Drinking fountain water filter	\$	239.72
GRAINGER	Screws for jail lights	\$	12.26
HAMMER SPORTS LLC	Refs for Adult Basketball 1/25/2025	\$	420.00
HAWKINS INC	2026 Water Treatment Chemicals	\$	2,059.40
HAWKINS INC	SO2 Regulator: WTP 4	\$	2,945.79
HEALTHSOURCE SOLUTIONS LLC	2026 Employee Wellness Plan Platform	\$	838.35
INSIGHT PUBLIC SECTOR INC	2026 Panasonic Toughbooks	\$	34,788.50
IUOE LOCAL 49 FRINGE BENEFIT FUNDS	49ers Training Facility Fee; December	\$	881.55
J H LARSON COMPANY	Electrical Panel Lock Well #9	\$	40.52
J. R. STELZER CO	Water Tower 2 Reconditioning, I/P 24-21 (U2315)	\$	997.50
JOHNSON LITHO GRAPHICS	February MAYC Newsletter	\$	1,554.74
LAWSON PRODUCTS INC	Mechanic shop supplies; Cutoff Wheel/Sorbent pad/couplers	\$	1,735.87
LAWSON PRODUCTS INC	Mechanic shop supplies; Cutoff Wheel/Sorbent pad/couplers	\$	52.60
LAWSON PRODUCTS INC	Mechanic shop supplies; Cutoff Wheel/Sorbent pad/couplers	\$	325.34
M/I HOMES	Full escrow refund, PC21-0015 Groveland Village	\$	135,981.00
MC TOOL & SAFETY SALES	Ice Cleats/Safety Supplies; Water	\$	379.30
MENARDS - BLAINE	Supplies: water call-outs	\$	43.83
MENARDS - BLAINE	Fittings/Supplies: Water Dept	\$	42.29
MENARDS - BLAINE	Supplies: water call-outs	\$	17.34
MENARDS - BLAINE	Fittings/Supplies: Water Dept	\$	24.23
MENARDS - BLAINE	PW repair heaters for salt	\$	76.67
MENARDS - BLAINE	AntiGel Supp/Rakes: Sewer Supplies	\$	201.62
MENARDS - BLAINE	Heating Thermostats	\$	127.42
MENARDS - BLAINE	Degreaser/Ext Cords/Epoxy	\$	112.98
MENARDS - BLAINE	Pry Bar - Small Tools	\$	48.76
METRO SALES INCORPORATED	Copier Maintenance and Support	\$	5,108.00
METRO SALES INCORPORATED	Copier Maintenance and Support	\$	559.98
METRO SALES INCORPORATED	Copier Maintenance and Support	\$	625.67
METRO SALES INCORPORATED	Copier Maintenance and Support	\$	415.35
METROPOLITAN COUNCIL	MCES Wastewater Services	\$	477,884.43
METROPOLITAN COUNCIL	January 2026 SAC Fees Due Less 1% Discount for Prompt Payment	\$	24,601.50
MIDWAY FORD COMPANY	Wheel Bearing Replacement (Dealership Service) Unit 3407	\$	1,228.75
MIDWAY FORD COMPANY	Brakes : Unit 3418 (Inspections)	\$	730.20
MIDWAY FORD COMPANY	Power steering Lines : 4621 (truck)	\$	163.61
MIDWAY FORD COMPANY	Credit	\$	(362.78)
MIDWAY FORD COMPANY	Credit	\$	(90.14)
MINGER CONSTRUCTION CO INC	Lift Station 13 Force Main-Phase 2, I/P 23-30 (U2330)	\$	274,762.92
MINNEAPOLIS SAW COMPANY INC	Throw Weights/line: Tree cutting	\$	133.99
MINNESOTA EQUIPMENT - ROGERS	Credit	\$	(14.01)

MINNESOTA EQUIPMENT - ROGERS	Gear Box: Unit 2434-2 (Broom)	\$	1,466.75
MINNESOTA EQUIPMENT - ROGERS	Credit	\$	(673.03)
MINNESOTA UI	Unemployment insurance bill Q3	\$	32.69
MINUTE MAKER SECRETARIAL	2026 City Council & EDA Minutes	\$	219.50
MINUTE MAKER SECRETARIAL	2026 Planning Commission Minutes	\$	219.50
MTI DISTRIBUTING INC	Filters: PW Stock	\$	278.72
MTI DISTRIBUTING INC	Bushing-casters/belts/ball joints: Mower 2390	\$	1,421.21
MTI DISTRIBUTING INC	Bushing-casters/belts/ball joints: Mower 2390	\$	299.82
NUSS TRUCK & EQUIPMENT	Coolant Pipe/ O-Ring : Unit 1305 (Plow Truck)	\$	2,131.91
NUSS TRUCK & EQUIPMENT	Credit	\$	(7.50)
NUSS TRUCK & EQUIPMENT	B/O Level Sensor : Plow 1278	\$	508.21
NUSS TRUCK & EQUIPMENT	Credit	\$	(449.01)
NUSS TRUCK & EQUIPMENT	Valve Kit: Plow 1278	\$	1,169.66
NUSS TRUCK & EQUIPMENT	Coolant Pipe/ O-Ring : Unit 1305 (Plow Truck)	\$	19.34
O'REILLY AUTOMOTIVE INC	Power Steering Fluid : PW Stock	\$	68.28
O'REILLY AUTOMOTIVE INC	Battery : Unit 5261 PD	\$	218.99
O'REILLY AUTOMOTIVE INC	Brake pads/Calipers: Truck 2329/2343	\$	101.20
O'REILLY AUTOMOTIVE INC	Brake pads/Calipers: Truck 2329/2343	\$	89.77
O'REILLY AUTOMOTIVE INC	Filters: PW & PD Stock	\$	61.60
O'REILLY AUTOMOTIVE INC	Tie Rods; Vehicle 5261	\$	91.82
O'REILLY AUTOMOTIVE INC	Filters: PW & PD Stock	\$	150.58
O'REILLY AUTOMOTIVE INC	Brake pads/rotors: Vehicle 5261	\$	184.99
PRECISE MRM LLC	2025 PW GPS Management	\$	1,660.00
RIEKE ELISE	Mailbox plow damage reimbursement; Streets	\$	50.00
ROADKILL ANIMAL CONTROL	2026 Disposal of Dead Deer; January	\$	645.00
SCHMIDT ROBERT	Heat Tape Installation MH	\$	1,500.00
SELLMAN SHEILA	Mileage & Expense Report - Sellman 1/5-1/27-26	\$	86.81
SHORT ELLIOTT HENDRICKSON INC	PW Fuel Station Reconstruction Design Services-I/P 25-01 (F2501)	\$	7,069.13
SLIPSTREAM GROUP INC	MH Replacement - August 2025	\$	8,096.50
SLIPSTREAM GROUP INC	MH Replacement - October 2025	\$	832.50
SLIPSTREAM GROUP INC	MH Replacement - August 2025	\$	(1,156.25)
SNAP-ON INDUSTRIAL	Hose clamps: Storm Water	\$	420.73
STATE OF MINNESOTA DEED	DEED Loan #CDAP-17-0064-H-FY18, February Loan Repayment	\$	1,568.24
STERICYCLE INC	Jan 2026 shred	\$	148.51
STREICHER'S	Weapon Holster Equipment	\$	29.99
SUBURBAN TIRE WHOLESALE INC	Tires: Mower 2390/Trailer 4633	\$	1,287.72
SUN LIFE FINANCIAL	Long Term Disability Insurance	\$	4,464.95
SUN LIFE FINANCIAL	Long Term Disability Insurance	\$	4,464.95
SYMBOLARTS, LLC	Patrol Badges	\$	1,393.00
TEAMSTER JOINT COUNCIL 32	Police Dental Premiums	\$	6,789.00
TEAMSTER JOINT COUNCIL 32	Police Dental Premiums	\$	6,789.00
THE LINCOLN NATIONAL LIFE INSURANCE	Life Insurance	\$	7,457.45
THE LINCOLN NATIONAL LIFE INSURANCE	Life Insurance	\$	7,369.95
TRAUT COMPANIES	Construction of Monitoring Wells, I/P 25-44 (U2412)	\$	59,625.00
TRI-STATE BOBCAT INC	2023 Capital; Remaining Storm Bond Proceeds: Pallet Fork	\$	1,535.00
TRI-STATE BOBCAT INC	Filters : PW Stock	\$	180.30
UNITED RENTALS INC	Portable Lights for JPC Hockey Rink	\$	1,324.00
VOLUNTEERS OF AMERICA	Cook Supplemental Wages	\$	11.02
VOLUNTEERS OF AMERICA	Cook Supplemental Wages	\$	109.64
WINTER EQUIPMENT COMPANY INC	Curb Klocker Parts : Plow Trucks	\$	1,006.98
WM CORPORATE SERVICES INC	2025 Fall Street Sweepings; Storm	\$	10,202.82
WSB & ASSOCIATES INC	Design & Construction Svcs-2024 NW Area Street Recon, I/P 24-05	\$	454.50
XCEL ENERGY	4125 109th Ave NE - Signal	\$	66.26
ZAYO GROUP LLC	Telephone Service	\$	1,463.51

ZHAO XING	Refund License Fee - Incorrect License Applied For	\$	150.00
ZIEGLER INC	Credit	\$	(19,745.00)
ZIEGLER INC	Credit	\$	(9,995.00)
ZIEGLER INC	Credit	\$	(21,495.00)
ZIEGLER INC	Paint: Excavator 1219	\$	47.31
ZIEGLER INC	Cutting edges/bolts; Loader 1294	\$	953.77
ZIEGLER INC	ARC flash study: Water Dept	\$	19,745.00
ZIEGLER INC	ARC flash inspection	\$	9,995.00
ZIEGLER INC	ARC flash assessment: Lift 33	\$	21,495.00
		\$	1,336,886.91

**CITY OF BLAINE**

**SUBSET OF PAYMENTS BETWEEN \$20,000 AND \$50,000 FROM THE SCHEDULE OF BILLS PAID  
APPROVED ON 03/02/2026 FOR PAYMENTS THE WEEK OF 02/13/2026**

<b>Vendor Name</b>	<b>Description</b>	<b>Amount</b>
BOLTON & MENK INC	Prelim Design & Feasibility Report, I/P 26-04 (T2604)	\$ 20,199.50
ZIEGLER INC	ARC flash assessment: Lift 33	\$ 21,495.00
METROPOLITAN COUNCIL	January 2026 SAC Fees Due Less 1% Discount for Prompt Payment	\$ 24,601.50
CIVICPLUS, LLC	SeeClickFix Resident Request Tool with Cartegraph Integration	\$ 26,112.75
AUTOMATIC SYSTEMS COMPANY	2024 Capital; Water Altitude Valve Parts - Tower 1	\$ 34,271.00
INSIGHT PUBLIC SECTOR INC	2026 Panasonic Toughbook's	\$ 34,788.50



# City of Blaine

## City Council Workshop

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February 18, 2026 | 5:30 PM  
Blaine City Hall  
10801 Town Square Drive NE  
Blaine, MN 55449

### MINUTES

#### NOTICE OF WORKSHOP MEETING

In accordance with the provisions of Section 3.01 of the Blaine City Charter, a Council Workshop meeting is scheduled for the following purpose:

#### 1. Call to Order

The meeting was called to order by Mayor Sanders at 5:30PM.

#### 2. Roll Call

**PRESENT:** Mayor Tim Sanders, Councilmembers Terra Fleming, Chris Ford, Leslie Larson, Chris Massoglia, Tom Newland, and Jess Robertson.

**ABSENT:** None.

Quorum Present.

**ALSO PRESENT:** City Manager Erik Thorvig; Community Development Director Sheila Sellman; Safety Services Director/Police Chief Brian Podany; Finance Director Jason Zimmerman; Director of Administrative Services Scott Johnson; Director of Engineering Dan Schluender; City Attorney Eric Larson; Communications Manager Ben Hayle; and City Clerk Catherine Sorensen.

#### 3. New Business

- 3.1. 2026-50      Community Engagement in Blaine  
*Sponsors: Ben Hayle, Communications Manager*

Communications Manager Hayle stated community engagement is a core function of the City's communications and outreach efforts and supports transparency, trust, and informed participation in City activities and decision-making. The city currently engages residents through a variety of methods, including informational communications, two-way feedback opportunities, and in-person and virtual engagement activities. As community expectations

continue to evolve, it is important for council and staff to periodically align on what effective community engagement looks like for Blaine and identify opportunities to strengthen future efforts. He said the workshop discussion is intended to provide a shared understanding of current engagement activities, allow council to discuss perspectives on engagement expectations, and identify strategic opportunities for future community engagement. Mr. Hayle requested council feedback to inform future engagement approaches and will report back with options or recommendations as appropriate.

Councilmember Fleming said she believed successful community engagement should include communication to the community one topic at a time in order to create better understanding.

Councilmember Larson stated being present and available was important.

Councilmember Robertson appreciated how the community attended specific city-hosted events as well as the adopt a park and special programs hosted by the city.

Councilmember Newland explained it was important for the city to try as many avenues as possible to reach the residents in Blaine as often as the city can.

Councilmember Ford said he believed the city should be listening to all voices, not just the loudest voice, and pay special attention to the underrepresented voices.

Councilmember Massoglia stated he believed the city was doing a good job communicating with the public.

Mayor Sanders indicated it was important that the city was providing accurate information with the public.

Mr. Hayle described how the city was currently informing the public and asked the council how the city what resources were best informing the public at this time.

Councilmember Massoglia stated he believed the city's website and newsletters were the best resources for reaching the public.

Councilmember Larson indicated she believed she found the most information from the city on social media.

Mr. Hayle inquired how the city receives the most meaningful feedback.

Councilmember Robertson reported she believed this was most meaningful through direct contact with residents. She explained it was important to hear the issues at this level.

Councilmember Newland agreed direct communication with a resident was valuable.

Mr. Hayle asked how engaging with the community adds value to the city.

Councilmember Newland stated Night to Unite was a valuable community engagement event.

Councilmember Ford commented the park board surveys were valuable.

Councilmember Robertson explained she did not want Blaine to get too big or feel too big, that people did not have a place to engage with the city and said she appreciated all the ways in which the community can engage with the city.

Councilmember Larson reported she attended the citizens' academy last year and believed this was a great program.

Mr. Hayle questioned if the council believed the community was in a place where they could partner with the city.

Councilmember Fleming commented she believed the answer to this was no because there were residents that believed the council's mind was already made up on certain matters and the city did not appear open to partnering with the public.

Councilmember Massoglia spoke to how the city partnered with business owners through the EDA. He appreciated how there were individuals that lived in Blaine that wanted to invest in this community.

Mr. Hayle inquired if there were ways staff could be more intentional about engaging with the public.

Councilmember Larson believed staff was doing a great job on communicating with the public.

Mayor Sanders discussed how important it was for the public to understand the process that planning applications follow and be encouraged to speak at planning commission meetings. He noted once items get to the city council, he has already done his due diligence to understand the request and that council was ready to take action on the items. Mr. Hayle stated an upcoming newsletter article drafted by staff will speak to this point and help the public better understand city government processes.

Councilmember Robertson explained she appreciated how well the planning commission meetings were run by Chair Goracke and how he encouraged residents to speak with staff and city councilmembers.

Mr. Hayle asked that the councilmembers speak with their ward colleague and provide staff with comments on what issues staff could be directing their efforts on.

Councilmember Newland requested the city complete proactive outreach with the community on University Avenue in order to learn what was important along this corridor.

Councilmember Robertson stated it would be important for the city to learn how to better engage with the public that complains on the internet. She said she believed there needed to be collaboration between the council and staff when engaging with the public.

Councilmember Fleming suggested once or twice a month that the city consider hosting

coffee with a councilmember in order to allow the public to ask the council questions in a public setting.

Mayor Sanders indicated the city does not hear enough from the business community and suggested the city host round-table events with local business owners.

Mr. Hayle thanked the council for their feedback. He noted he would summarize the comments he received and would report back to the council at a future meeting.

**3.2.** 2026-51      Digital Accessibility Requirements  
*Sponsors: Ben Hayle, Communications Manager*

Mr. Hayle stated in April 2024, the U.S. Department of Justice issued a final rule under the Americans with Disabilities Act (ADA) Title II requiring state and local governments to make their digital content accessible to individuals with disabilities. The rule adopts the Web Content Accessibility Guidelines (WCAG) 2.1 Level AA as the required technical standard. For public entities serving populations of 50,000 or more, including the city of Blaine, the compliance deadline is April 24, 2026. Staff has been working diligently over the last year to achieve compliance and to put new systems in place to address accessibility on an ongoing basis. He outlined how the requirements would apply to a wide range of city digital content, including but not limited to city websites, PDF documents and council packets, online forms and applications, videos and live-streamed meetings, digital presentations, social media channels, and other electronic communications used to provide city services. Mr. Hayle provided further information on the federal mandate, explained what WCAG 2.1 means in practical terms, and outlined how these requirements may affect city council meetings, materials, staff presentations, and how content is presented to the community. He described how staff was preparing to meet these new standards to ensure the city's content would meet the proper standards for all digital spaces.

City Manager Thorvig commended Mr. Hayle and his team for being ahead of the curve when it comes to meeting the digital accessibility requirements.

**3.3.** 2026-66      2027 Budget Schedule  
*Sponsors: Erik Thorvig, City Manager*

Mr. Thorvig stated the staff budget team has been meeting to strategize preparation of the 2027 budget. In 2025, several processes and philosophical changes occurred both with the council and staff, which resulted in a collaborative budget outcome. A structured schedule sets expectations for council and staff as the 2027 budget is prepared. As has been done in previous years, small group council member meetings are scheduled to be held in March/April. These meetings are effective in allowing a platform for council members to ask specific questions and provide guidance on their opinions about the budget. Additionally, any guidance provided by council early in the process sets expectations for staff as preliminary budgets are prepared. Last year, key benchmarks/values were discussed early in the year with the council, which set expectations. Staff has also discussed whether there is an ability to reduce meetings by limiting presentation content and combining certain

funds/topics that in years past have not yielded extensive council discussion. By doing so, more focus can be had on the general fund levy, which is generally the most discussed. Retreats may be utilized for more in-depth discussion. Staff is also trying to avoid the need to schedule meetings on a 5th Monday. Lastly, the past two years resulted in budget reduction suggestions by council late in the process. Staff comments on key benchmarks within the schedule and requested feedback from Council on how to address these ideas earlier in the process (July/August timeframe) so suggestions can be vetted and potentially applied prior to adoption of the preliminary levy.

Councilmember Massoglia suggested a budget subcommittee be considered. Mr. Thorvig explained this could be further explored if the council supported pursuing a budget subcommittee.

Mayor Sanders explained the subcommittee was not pursued last year because the finance team was hiring new staff as well as a new city manager. He indicated he supported the council having a budget subcommittee with two or three councilmembers so long as the council was being mindful of the staff time that would be involved.

Councilmember Robertson inquired what policy-driven decisions should be made by the council to impact the budget. She indicated she wanted to respect staff's time and noted she greatly appreciated the new process that was followed in 2025. She explained she did not mind the longer, detailed staff presentations on the budget because they provided a great deal of information and answered many of her questions.

Mayor Sanders commented on how five councilmembers had decisions to make regarding running for council office this year and stated he did not want this process to impact the budget for the coming year.

Councilmember Newland indicated he liked how the budget began with small group meetings. He suggested these meetings still be held prior to the budget subcommittee working on the budget. He explained it was his goal the budget would pass on a 5-2 or better vote this year.

Councilmember Robertson hoped the city would work to spend less money in 2027 in order to gain full council approval of the budget and tax levy. She encouraged staff and the council to look at the budget and future funding with a wider lens.

Councilmember Ford explained the city would benefit by having a two-or three-year financial plan in order to reduce the levy over time.

Councilmember Fleming indicated the city had a five-year financial plan in place. Finance Director Zimmerman reported this was the case for key operating funds.

Councilmember Fleming explained she didn't want to hear that the city just needed to spend less but rather hear definitive and clear goals for moving the budget forward. Mr. Thorvig encouraged the council to bring their ideas forward when it comes to the budget sooner rather than later for staff analysis.

Councilmember Massoglia supported the council having a discussion on what policies

should be set in order to address the levy and tax rate.

**4. Other Business**

None.

**5. Adjournment**

The workshop adjourned at 6:59PM.



# City of Blaine

## City Council

February 18, 2026 | 7:00 PM  
Blaine City Hall  
10801 Town Square Drive NE  
Blaine, MN 55449

### MINUTES

#### 1. Call to Order by the Mayor

The meeting was called to order at 7:00PM by Mayor Sanders followed by the Pledge of Allegiance and the Roll Call.

#### 2. Pledge of Allegiance

#### 3. Roll Call

**PRESENT:** Mayor Tim Sanders, Councilmembers Terra Fleming, Chris Ford, Leslie Larson, Chris Massoglia, Tom Newland, and Jess Robertson.

**ABSENT:** None.

Quorum Present.

**ALSO PRESENT:** City Manager Erik Thorvig; Community Development Director Sheila Sellman; Safety Services Director/Police Chief Brian Podany; Finance Director Jason Zimmerman; Director of Administrative Services Scott Johnson; Director of Engineering Dan Schluender; City Attorney Eric Larson; Communications Manager Ben Hayle; and City Clerk Catherine Sorensen.

#### 4. Awards - Presentations - Organizational Business

- 4.1. 2026-52      Police Department Citizen Award Recognitions  
*Sponsors: Brian Podany, Safety Services Manager/Police Chief*

Police Chief Podany stated the police department would like to formally recognize and honor several distinguished community members for their extraordinary actions and life-saving efforts. These individuals are being awarded the Life Saving Award for demonstrating exceptional courage and composure during critical emergencies, where their immediate intervention directly resulted in the preservation of human life. This recognition serves to highlight the invaluable partnership between the Blaine Police Department and the

residents they serve, celebrating those who exemplify the highest standards of civic duty and heroism within the Blaine community. He presented awards to Jesse Fraser for assisting in saving a child from a pond and Eric Knight for performing life-saving measures on a fellow citizen.

Mayor Sanders thanked Jesse Fraser and Eric Knight for helping their neighbors and for being a tremendous member of the community. A round of applause was offered by all in attendance.

## **5. Open Forum**

Open Forum is an opportunity for the public to share comments, concerns, or input on other items. While open forum is not intended to provide for response or discussion opportunities, if follow-up is needed, city staff will work to contact the speaker(s) outside of the meeting to arrange for that follow-up. Each speaker will be limited to 3 minutes with a maximum of 15 minutes set aside for open forum.

Mayor Sanders opened the Open Forum at 7:20PM.

There being no input, Mayor Sanders closed the Open Forum at 7:20PM.

## **6. Communications**

Councilmember Larson encouraged the community to attend the Guns N' Hoses hockey game between Blaine police and fire personnel at the National Sports Center on February 20.

## **7. Approval of Consent Agenda:**

All items listed under the "Consent Agenda" are considered to be routine by the City Council and will be enacted by one motion. There will be no separate discussion of these items unless a Councilmember so requests, in which event the item will be removed from the Consent Agenda and considered in its normal sequence on the agenda.

Moved by Councilmember Robertson, seconded by Councilmember Newland, that the following items on the Consent Agenda be approved.

Councilmember Massoglia requested the removal of consent agenda Item 7.7 for further discussion.

Councilmember Newland explained he would be abstaining from voting on Item 7.1 due to a potential conflict of interest.

Motion adopted 6-0-1 (Councilmember Newland abstained).

**7.1.** 2026-53      Schedule of Bills Paid  
*Sponsors: Jason Zimmerman, Finance Director*

- 7.2.** 2026-54 Approval of Minutes  
*Sponsors: Cathy Sorensen, City Clerk*
  
- 7.3.** RES 26-36 Resolution Approving an Amendment to the 2026 Engineering Budget to Provide for Hiring a Part-Time Engineering Intern  
*Sponsors: Daniel Schluender, Director of Engineering*
  
- 7.4.** RES 26-37 Resolution to Commit to the Trunk Highway 65 Segment #2 Draft Initial Financial Plan  
*Sponsors: Daniel Schluender, Director of Engineering*
  
- 7.5.** RES 26-27 Resolution Approving 2025 Fund Balance Designation and 2025-2026 Budget Amendments  
*Sponsors: Jason Zimmerman, Finance Director*
  
- 7.6.** 2026-55 Motion to Approve Payment to Core & Main for Sensus Analytics and RNI SAAS Annual License Renewal  
*Sponsors: Jason Zimmerman, Finance Director*
  
- 7.7.** RES 26-28 Resolution Authorizing Interfund Transfers and Associated Budget Amendments related to the Purchase of a New Printer to be Located Within the Sign Shop at Public Works  
*Sponsors: Jason Zimmerman, Finance Director*

Councilmember Massoglia asked questions regarding the need for an additional printer when the public works building already had two printers and why this was being brought forward for council approval as the purchase amount was quite low. City Manager Thorvig reported he would speak with the Public Works Director and report back to the council with further information regarding the printer purchase. Finance Director Zimmerman explained the council is required to approve transactions between funds, which was the reason this request came before the city council on the consent agenda.

Councilmember Newland suggested action on this item be tabled to March 2 to allow staff to report back to council with additional information regarding this purchase.

Moved by Councilmember Massoglia, seconded by Councilmember Newland, to table action on Item 7.7 to the March 2, 2026, meeting.

Motion adopted 6-1 (Councilmember Ford opposed).

## 8. 7:00 PM - Public Hearing and Items Published for a Certain Time

- 8.1. RES 26-26 Resolution Granting an Interim Use Permit to Operate a Contractors' Yard for Concrete Crushing in the I-2 (Heavy Industrial) Zoning District at 10101 Naples Street NE. Park Construction Company (Carlson Group LLC) (Case File No. 26-0002/EES)  
*Sponsors: Sheila Sellman, Community Development Director*

Community Development Director Sellman stated the applicant received an Interim Use Permit (IUP) in 2023 for concrete crushing for a three year period. The applicant is requesting renewal of that IUP to allow for continued operations. No changes to the site or operation are proposed.

Mayor Sanders opened the public hearing at 7:30PM.

There being no public input, Mayor Sanders closed the public hearing at 7:30PM.

Moved by Councilmember Larson, seconded by Councilmember Newland, to adopt a Resolution granting an Interim Use Permit to Operate a Contractors' Yard for Concrete Crushing in the I-2 (Heavy Industrial) Zoning District at 10101 Naples Street NE.

Motion adopted unanimously.

- 8.2. RES 26-25 Resolution Granting a Conditional Use Permit to Allow a Fitness Center in a Heavy Industrial (I-2) Zoning District at 1630 101st Avenue NE #100. Elevate Strength & Nutrition (Case File No. 26-0005/ACK)  
*Sponsors: Sheila Sellman, Community Development Director*

Ms. Sellman stated the applicant is requesting a Conditional Use Permit (CUP) to operate a fitness center in a Heavy Industrial (I-2) zoning district.

Mayor Sanders opened the public hearing at 7:32PM.

There being no public input, Mayor Sanders closed the public hearing at 7:32PM.

Moved by Councilmember Newland, seconded by Councilmember Larson, to adopt a Resolution granting a Conditional Use Permit to Allow a Fitness Center in a Heavy Industrial (I-2) Zoning District at 1630 101st Avenue NE #100.

Councilmember Larson stated she appreciated how this gym would work to empower women navigating menopause and help clients build strength and vitality.

Motion adopted unanimously.

## 9. Development Business

- 9.1.** ORD 26-2598 Second Reading  
Ordinance Approving a Rezoning from Single Family Residential (R-1) to Development Flex (DF) on the NE Corner of Lexington Avenue and Flowerfield Road NE. Fenway Land Company (Flowerfield) (Case File No. 25-0052/SLK)  
*Sponsors: Sheila Sellman, Community Development Director*

Ms. Sellman stated the applicant is requesting a rezoning from Single Family (R-1) to Development Flex (DF) to construct 32 single family homes. Staff commented further on the request and reported the planning commission recommended approval of the request. It was noted the city received a petition from the residents that currently live along Flowerfield Road.

Director of Engineering Schluender commented on the petition that was received from the residents that currently live along Flowerfield Road. He explained Flowerfield Road has capacity for the existing traffic as well as the new traffic that would be generated by the proposed plat. He reported Flowerfield Road was improved in 2015 when the plat to the south was constructed. He indicated this was a rural section of road. He stated staff met with several boardmembers from the homeowners association, along with Councilmember Newland and Councilmember Ford. He explained staff did compiled concept drawings for Flowerfield Road that addressed traffic volume, speed and included pedestrian access. He noted these plans were presented to the homeowners, which led to a petition being presented to the city. He indicated the recommendation from staff was to further discuss this petition on April 14.

Moved by Councilmember Newland, seconded by Councilmember Ford, to adopt Second Reading of Ordinance No. 26-2598, an Ordinance Approving a Rezoning from Single Family Residential (R-1) to Development Flex (DF) on the NE Corner of Lexington Avenue and Flowerfield Road NE.

Motion adopted unanimously.

- 9.2.** RES 26-15 Resolution Granting Preliminary Plat Approval to Subdivide 31.92 Acres into 32 Single Family Lots and 4 Outlots to be Known as Flowerfield on the NE Corner of Lexington Avenue and Flowerfield Road NE. Fenway Land Company (Case File No. 25-0052/SLK)  
*Sponsors: Sheila Sellman, Community Development Director*

Ms. Sellman stated the applicant is requesting a preliminary plat to develop the site into 32 single family lots and four outlots for future development, wetlands and ponding.

Moved by Councilmember Newland, seconded by Councilmember Ford, to adopt a Resolution granting Preliminary Plat Approval to Subdivide 31.92 Acres into 32 Single Family Lots and 4 Outlots to be Known as Flowerfield on the NE Corner of Lexington Avenue and Flowerfield Road NE.

Motion adopted unanimously.

- 9.3.** RES 26-16 Resolution Granting a Conditional Use Permit to Allow the Construction of 32 Single-Family Homes in a Development Flex (DF) Zoning District on the NE Corner of Lexington Avenue and Flowerfield Road NE. Fenway Land Company (Flowerfield) (Case File No. 25-0052/SLK)  
*Sponsors: Sheila Sellman, Community Development Director*

Ms. Sellman stated the applicant is requesting a conditional use permit to allow the development of 32 single-family homes.

Moved by Councilmember Newland, seconded by Councilmember Ford, to adopt a Resolution granting a Conditional Use Permit to Allow the Construction of 32 Single-Family Homes in a Development Flex (DF) Zoning District on the NE Corner of Lexington Avenue and Flowerfield Road NE.

Councilmember Newland explained he and Councilmember Ford met with the homeowners' association board, along with staff last summer. He noted the board approved of the proposed development. However, he indicated the board did have concerns regarding Flowerfield Road. He reported the board agreed with staff the proposed development and the road were two separate matters. He stated the next step for the road was to address the petition that was brought forward at the April 14 city council workshop meeting.

Councilmember Newland asked how close the proposed development was to Circle Pines. Mr. Schluender reported the east border of this development bordered Circle Pines.

Councilmember Newland explained he brought up this point because many of the comments made at the planning commission meeting were from residents who do not live in Blaine. He indicated he believed this was a solid development and supported this development moving forward.

Councilmember Ford thanked the residents along Flowerfield Road for being engaged citizens.

Motion adopted unanimously.

## **10. Administration**

- 10.1.** RES 26-30 Resolution Accepting a Bid from SealPros in the Amount of \$236,957.50 for the 2026 Crack Sealing Project, Improvement Project No. T2602 (26-02)  
*Sponsors: Daniel Schluender, Director of Engineering*

Mr. Schluender requested the council accept a bid for the 2026 Crack Sealing Project on

various streets, Improvement Project No. T2602 (26-02) and award a contract in the amount of \$236,957.50 to SealPros.

Moved by Councilmember Massoglia, seconded by Councilmember Ford, to adopt a Resolution accepting a Bid from SealPros in the Amount of \$236,957.50 for the 2026 Crack Sealing Project, Improvement Project No. T2602 (26-02).

Motion adopted unanimously.

- 10.2.** RES 26-38      Resolution Authorizing Permanent and Temporary Easement Acquisitions on 105th Avenue, City of Blaine, Minnesota  
*Sponsors: Erik Thorvig, City Manager*

City Attorney Eric Larson stated the city is advancing infrastructure improvements along 105th Avenue as part of broader efforts to support redevelopment, improve traffic flow, and enhance safety. A key component of this work is the construction of a roundabout at a strategic location on 105th Avenue to better manage traffic volumes, reduce congestion, and accommodate anticipated growth from the ongoing 105th Avenue Redevelopment Project. To construct the roundabout and associated right-of-way improvements, the city requires acquisition of certain permanent and temporary easements from certain parcels. He reported these acquisitions are necessary for the installation, operation, and long-term maintenance of the roundabout and related public infrastructure. The project involves construction of a roundabout on 105th Avenue, associated grading, drainage, utility adjustments, and pavement work within the expanded right-of-way, and temporary construction easements to allow access for equipment, staging, and restoration during the build phase. Mr. Larson explained the city council has previously identified the need for transportation and redevelopment improvements in this area. Acquisition of the identified easements (detailed in Exhibit A) is reasonably necessary, proper, and in the interest of the general welfare. The city has retained independent real estate appraisers to determine fair market value and damages associated with the permanent and temporary easements. Offers of compensation will be based on these appraisals and consistent with Minnesota eminent domain requirements (Minn. Stat. Chapter 117). Staff will first pursue voluntary negotiation with the property owners. As of February 12, 2025, discussions are occurring between the developer, city and MASC to identify modifications to the roundabout that would provide a south access to the NSC campus. If voluntary agreements cannot be reached in a timely manner, the city can proceed with eminent domain. The resolution authorizes city officers, the city attorney, and agents to take all necessary steps. The city attorney is authorized to take all steps necessary on behalf of the city to acquire the easements through eminent domain if they are not timely acquired by voluntary negotiation, including filing an action in eminent domain and using the quick take procedure under Minn. Stat. §117.042.

Mr. Thorvig commented on the meeting held last week between staff, City Attorney Larson, representatives from the Minnesota Amateur Sports Commission, MAC, the development team and Anoka County. He explained the group discussed the roundabout design as well as proposed changes to Radisson Road.

Moved by Councilmember Robertson, seconded by Councilmember Massoglia, to adopt a Resolution Authorizing Permanent and Temporary Easement Acquisitions on 105th Avenue, City of Blaine, Minnesota.

Councilmember Newland asked questions regarding where the permanent and temporary easements were located on the map.

Councilmember Ford questioned how the city would acquire the proposed easement property. Mr. Larson explained the city would prefer to negotiate with the various property owners, but at the end of the day, the city needed title to these properties. He anticipated it would take three months to get these titles in hand before work could begin on the roundabout.

Councilmember Ford inquired if the city would be incurring legal fees in order to acquire these easements. Mr. Larson stated the legal fees would fall under the master development agreement and would be covered by the master development agreement. He did not anticipate there would be any legal disputes with respect to public purpose.

Motion adopted unanimously.

## **11. Other Business**

None.

## **12. Adjournment**

Moved by Councilmember Massoglia, seconded by Councilmember Robertson, to adjourn the meeting at 7:58PM.

Motion adopted unanimously.



# City of Blaine Staff Report

File Number: 2026-61

Agenda Date	Status
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March 2, 2026

In Control	File Type
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City Council

Motion

**Approval of Consent Agenda:** - Cathy Sorensen, City Clerk

## Agenda Item # 7.3

Adopt the Administrative Penalty Schedule

## Executive Summary

Council is asked to adopt the proposed schedule of penalties for administrative offenses.

## Background

As a follow-up to the recent ordinance amendment that updated the city's administrative adjudication and utilities/fire services articles, council is asked to approve an administrative penalty schedule. The current penalties were established through a series of resolutions that haven't been reviewed since the early 2000s, so approving a schedule by motion will allow for ease of updating in the future. It should be noted that the goal of staff is to work with individuals to achieve compliance and that the ordinance allows for discretion in imposing violation penalties or re-inspection fees. After review, staff is proposing the following schedule of penalties:

- Temporary sign violations - \$300
- Detector check valve meter/illegal use - \$100
- Animal/barking dog violations - \$50
- All other administrative offenses - \$100

If a subsequent offense occurs within 12 months, the penalty may be increased in increments of \$50 and a re-inspection fee of \$50 may be charged. Again, the ordinance allows for staff discretion regarding imposing these fees. If approved, the schedule will take effect upon adoption.

## Strategic Plan Relationship

N/A

## Board/Commission Review

N/A

## Financial Impact

The goal of establishing appropriate fines is to cover the enforcement of violations when needed while still working towards achieving compliance.

## Public Outreach/Input

The updated schedule will be communicated when violations occur.

## Staff Recommendation

By motion, adopt the schedule of penalties as presented.

## Attachment List

1. Ordinance 25-2595
2. Resolution 99-205



# City of Blaine Staff Report

File Number: ORD 25-2595

Agenda Date		Status
January 5, 2026		
In Control		File Type
City Council		Ordinance

## Administration -

### Agenda Item # 10.3

Second Reading  
 Ordinance Amending Chapter 2 - Administration, Article V. - Ordinance Violations, Division 2.  
 Administrative Adjudication and Chapter 86 - Utilities, Division 2 - Fire Services, Sec. 86-74

### Executive Summary

Staff is recommending an amendment to the city's administrative adjudication ordinance to better address the administrative citation process and amendments to check valve/meter fines.

### Background

The current administrative adjudication ordinance was established in 1999 to address certain administrative offenses outside the formal judicial process. Examples of administrative offenses include long grass, outside storage, and temporary sign violations. Staff is recommending amendments that are less specific regarding the employees who can issue violation notices, simplifies subsequent offenses fees, establishes re-inspection fees, and allows penalties for offenses to be established through a penalty schedule instead of by resolution or ordinance for ease of updates.

Staff is also recommending an amendment to the current fine for illegal use of water to be removed from city code and included in a penalty schedule instead for ease of updating.

First reading of this ordinance was held on December 15, 2025, with no comments received. Staff is recommending adoption at this time.

### Strategic Plan Relationship

N/A

### Board/Commission Review

N/A

### **Financial Impact**

N/A

### **Public Outreach/Input**

N/A

### **Staff Recommendation**

Staff recommends council hold second reading and adopt the amendment as presented.

### **Attachment List**

None



# City of Blaine

## Signature Copy

Ordinance: ORD 25-2595

### Second Reading

#### **Ordinance Amending Chapter 2 - Administration, Article V. - Ordinance Violations, Division 2. Administrative Adjudication and Chapter 86 - Utilities, Division 2 - Fire Services, Sec. 86-74**

THE CITY OF BLAINE DOES ORDAIN: (Added portions are underscored and deleted portions are shown with overstrike.)

#### DIVISION 2. ADMINISTRATIVE ADJUDICATION

Sec. 2-202 ~~187~~. Definitions and procedures.

(a) *Administrative offense defined.* An administrative offense is a violation of a provision of the city Code of Ordinances and/or building and/or zoning codes and is subject to the administrative penalties set forth in the schedule of offenses and penalties referred to in subsection (h) of this section.

(b) *Notice of administrative citation.* Any officer of the police department or any other person employed by the city, ~~authorized in writing by the city manager,~~ and having authority to enforce this code, shall may, upon determining that there has been a violation, notify the violator, or in the case of a vehicular violation, attach to the vehicle a notice of the violation. Such notice shall set forth the nature, date and time of violation, the name of the official issuing the notice of administrative citation and the amount of the scheduled penalty.

(d) *Hearing.* Any person contesting an administrative offense pursuant to this section may, within 14 calendar days of the time of issuance of the notice, request a hearing by a hearing officer who shall forthwith conduct an informal hearing to determine if a violation has occurred. The hearing officer shall have authority to dismiss the violation or reduce or waive the penalty. If the violation is sustained by the hearing officer, the violator shall pay the penalty imposed at the time of the hearing or within seven calendar days of the hearing, or in accordance with the payment schedule established by the hearing officer, as well as reimburse the city for the cost of the hearing in an amount not to exceed \$200.

(h) *Offenses and penalties.* Offenses which may be charged as administrative offenses, and the penalties for such offenses will be established by the ~~council~~ city. Copies of such offenses and penalties shall be maintained in the office of the city clerk. All previous penalties enacted are hereby replaced and denoted in the city's schedule of penalties.

(i) *Subsequent offenses.* If a party is charged with a subsequent administrative offense within a 12-month period of paying an administrative penalty for the same or substantially similar offense, the subsequent penalty shall may be increased by ~~25 percent~~ increments of \$50 (fifty dollars) and establish a reinspection fee of \$50 (fifty dollars) that could be charged. above the previous administrative penalty. (Code 1980, § 2-42; Ord. No. 99-1804, 8-19-1999; Ord. No. 00-1868, 8-17-2000)

Cross reference(s)—Definitions generally, § 1-2.

Sec. 2-204 188. Issuance of ordinance violation summons.

~~The persons named in this section as e~~Employees or agents of the city shall have power to issue summons with complaints incorporated therein (citations) in the form adopted by rule by the administrative municipal court, but such issuance ~~by those named~~ shall relate only to offenses involving the city Code including, but not limited to: building construction, operation or maintenance; fire and fire prevention; public health and sanitation; and zoning. No such employee or agent authorized to issue such summons shall be authorized to arrest or otherwise take a violator into custody or to secure a promise to appear in court in lieu of arrest. ~~Those authorized are as follows:-~~

~~Chief building official/building officials-~~

~~City engineer/assistant city engineer-~~

~~Code compliance officers-~~

~~Community service officers-~~

~~Director of community development-~~

~~Fire marshal/deputy fire marshal-~~

~~Forester-~~

~~Police officers-~~

~~Other employees or agents of the city specifically designated, in writing, by the city manager shall also have such authority.-~~

Sec. 86-74. Detector check valve and meter; illegal use.

(a) Detector check valve and meter shall be installed on the fire services described in this division.

(b) Should it be found that water not metered is used through a fire connection for any purpose other than the extinguishing of fire upon the premises, the owner or occupant will be notified, and if such improper conditions are not corrected within ten days, the water will be shut off until proper adjustments are made, and the owner shall be subject to a fine ~~in the sum of not less than \$10.00 nor more than \$25.00 as outlined in the city's penalty schedule.~~

INTRODUCED and read in full this 15th day of December, 2025.

PASSED by the City Council of the City of Blaine this 5th day January, 2026.



Signed by

\_\_\_\_\_  
Tim Sanders, Mayor

Signed by

\_\_\_\_\_  
Catherine M. Sorensen, City Clerk



**CITY OF BLAINE**

**RESOLUTION NO. 99-205**

**AUTHORIZING THE CITY OF BLAINE TO IMPLEMENT A SCHEDULE OF  
OFFENSES AND ADMINISTRATIVE PENALTIES**

**WHEREAS**, the City Council of the City of Blaine has adopted Ordinance No. 99-1804 establishing a procedure for adjudicating administrative offenses and providing for a schedule of offenses and administrative penalties, and;

**WHEREAS**, said Ordinance authorizes the City Council to identify administrative offenses and establish penalties for such offenses.

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of Blaine:

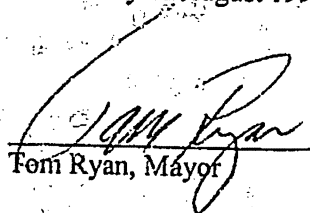
1. To establish the following schedule of offenses and administrative penalties:

OFFENSE	VIOLATION	ORDINANCE REFERENCE	PENALTY
<b>ANIMAL AND FOWL</b>			
	Barking dog	5-19	25.00
	Dog at large	5-10	25.00
	Dog enclosure	5-12	50.00
	Dog kennel	5-13	50.00
	Dog vaccination required	5-31	25.00
	Unlicensed dog	5-7	15.00
<b>BUILDING &amp; CONSTRUCTION</b>			
	3 or more reinspections for same job	6-65	50.00 per
	Construct a driveway w/o proper setbacks	6-20; 6-21	100.00
	Construct, install, alter, or repair any plumbing or mechanical system w/o permit	6-53 mech 6-62 plumb	60.00 60.00
	Demolish building w/o a permit	6-1	100.00
	Discharge raw sewage, septic tank effluent to ground surface, abandoned wells or bodies of surface water	6-72	150.00
	Drill potable/irrigation well w/o permit; abandon a well improperly	6-86; 6-89	50.00
	Erect fence w/o a permit	6-18	50.00
	Fail to abate blowing sand, dust, or topsoil upon residential property after proper notice	6-26	100.00
	Fail to call for inspection	6-1	50.00
	Fail to pump septic tank on a regular basis	6-68(g)	100.00
	Fail to upgrade septic system within required time frame	6-68(b)	100.00
	Fire sprinkler system permits	6-181	50.00
	Housing maintenance	6-148	50.00
	Install a swimming pool w/o a permit	6-111	100.00
	Install, alter, or repair an individual septic system w/o permit	6-69	150.00
	Land reclamation	6-105	50.00

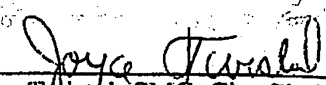
	Move building w/o a permit	6-10	100.00
	Newspaper receptacle	6-167	25.00
	No dumpster or enclosed area for construction debris on building site	10-3 (c)	75.00
	Occupy a structure w/o a certificate of occupancy	6-4	50.00
	Work w/o a building permit	6-1	Double fee min 150.00
	Work w/o proper contractor's license	6-40	75.00
<b>FIRE PROTECTION &amp; PREVENTION</b>			
	Fire code violations/illegal fire	9-1	50.00
<b>GARBAGE, REFUSE, RECYCLABLES &amp; JUNK</b>			
	Garbage container placement for collection	10-3	25.00
	Repair, etc., of vehicles restricted	10-52	25.00
	Storage of junk and junk vehicles	10-51	50.00
<b>HEALTH &amp; SANITATION</b>			
	Composting	11-62	25.00
	Noise	11-82	50.00
	Rodent and vermin control	11-32	50.00
	Traffic visibility (sight distance triangle)	11-71	50.00
	Weeds and tall grass	11-21	25.00
	Wood storage	11-48; 11-49	25.00
<b>MISCELLANEOUS</b>			
	Bicycle license required	19-8	10.00
	Bow hunting violations	13-43	100.00
	Consume alcohol in public	13-2	25.00
	Discharge weapon	13-42	100.00
	Littering	10-2	25.00
	Pawnshop and pawn broker	15-126	100.00
	Recreation vehicle off road	19-41	25.00
	Remove/damage barricade	19-22	25.00
	Small amount of marijuana	13-10	50.00
	Snowmobile violations	19-44	25.00
	Taxicab license required	19-51	50.00
<b>NOISE</b>			
	Unreasonable acceleration	19-6	25.00
	Loud party/noise in residential area	11-82(6)	50.00
	Loud music/sound systems	11-82(2)	25.00
	Loud exhaust	11-82(4)	25.00
	Loud construction	11-82(5)	25.00
<b>PARKING, TRAFFIC, VEHICLES</b>			
	Commercial truck in residential area	19-33	15.00
	On street over 48 hours	19-30	10.00
	Parking causing obstruction	19-36	15.00
	Parking in fire lane	9-9	25.00
	Parking obstruction	19-36	25.00
	Parking w/o permit in high school lot	12-3	5.00
	Parking where prohibited by sign	19-31	15.00
	Sales of vehicles	19-9	25.00
	Seasonal parking restriction (Nov 1-Apr 1)	19-30	15.00
	Snow emergency/snowbird	19-31	25.00
	Truck parked in residential zone	19-33	50.00

<b>PARKS</b>			
	Alcohol in park	14-8	25.00
	Deadly weapons in park	13-41	100.00
	Dog defecation-removal	5-21	10.00
	Driving on city property/park	19-21	25.00
	Park curfew - park closed	14-5	15.00
	Vehicle in park after hours	19-34	25.00
<b>PEDDLERS, SOLICITORS, TRANSIENT MERCHANTS &amp; SPECIAL SALES</b>			
	Christmas tree lot	15-1	50.00
	Peddler/solicitor	15-33	50.00
	Peddlers license required	15-21	50.00
	Temporary nursery sales	15-301; 15-304	50.00
<b>STREETS, SIDEWALKS &amp; OTHER PUBLIC WAYS &amp; GROUNDS</b>			
	Sidewalk snow removal	17-27	25.00
	Working the right of way	17-1	25.00
<b>TREES</b>			
	Abatement	20-28	50.00
	Abuse or mutilation of trees	20-33	50.00
	Nuisance	20-24	50.00
	Oak wilt protection	20-30	50.00
	Planting	20-31	50.00
<b>ZONING ORDINANCE PERFORMANCE STANDARDS</b>			
	Fences	33-09	25.00
	Height limitation	33-18	50.00
	Home occupation	33-11	50.00
	Nuisance	33-04	50.00
	Parking	33-14	50.00
	Permitted encroachments	33-12	50.00
	Signs	33-00	50.00
	Tree preservation	33-10	50.00

PASSED by the City Council of the City of Blaine this 19<sup>th</sup> day of August 1999.

  
Tom Ryan, Mayor

ATTEST:

  
Joyce Twistol, CMC, City Clerk

C:\WINWORD\ADMINISTRATIVE COURT\1999\RES. NO. 99-205 SCHEDULE OF OFFENSES ADMIN PENALTIES.DOC

Council Action: 99-426



# City of Blaine Staff Report

File Number: 2026-62

Agenda Date	Status
March 2, 2026	
In Control	File Type
City Council	Motion

**Approval of Consent Agenda:** - Cathy Sorensen, City Clerk

## Agenda Item # 7.4

Approve Temporary Nursery Sales License for Cub Foods Greenhouse located at 12595 Central Avenue NE

## Executive Summary

Council is asked to approve the temporary nursery sales license for Cub Foods Greenhouse located at 12595 Central Avenue NE. The license will give the business the ability to sell garden and flowering plants in temporary greenhouses located in their parking lot.

## Background

In 1998, Ordinance 98-1719 was enacted to require a license fee and establish insurance requirements and a time limit in which to operate temporary nurseries. The temporary nursery sales license is limited to a maximum of seventy-five (75) days per calendar year and the first day of set up begins the time clock.

The applicant has submitted their application along with all necessary documentation required by city ordinance for a temporary nursery sales license, along with the \$400 license fee and required certificate of liability insurance.

## Strategic Plan Relationship

This item relates to the growth management strategic priority in the 2023-2026 strategic plan by providing additional opportunities for businesses to thrive while ensuring safe practices are employed, such as fire lane access and those surrounding temporary structures.

## Board/Commission Review

N/A

### **Financial Impact**

Issuance of the license, including onsite inspection of the temporary structures, is included in the license fee adopted by the city council.

### **Public Outreach/Input**

No public notice is required for this license type.

### **Staff Recommendation**

By motion, approve the temporary nursery license for Cub Foods Greenhouse located at 12595 Central Avenue NE.

### **Attachment List**

None



# City of Blaine Staff Report

File Number: RES 26-29

Agenda Date	Status
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March 2, 2026

In Control	File Type
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City Council

Resolution

**Approval of Consent Agenda:** - Sheila Sellman, Community Development Director

## Agenda Item # 7.5

Resolution Granting Final Plat Approval to Subdivide 8.36 Acres into 1 Lot and 2 Outlots to be Known as North Meadows Third Addition at the Corner of Lexington Avenue and 109th Avenue NE. Wellington Management Inc. (Case File No. 26-0008/SLK)

## Executive Summary

The applicant is proposing a one lot and two outlot plat for the development of a multi-tenant building and future development.

## Background

Planning Commission Public Hearing	12/09/25
City Council (Preliminary Plat)	01/05/26
City Council (Final Plat)	03/02/26
Action Deadline	04/05/26

Staff report prepared by Shawn Kaye, Planner, and Teresa Barnes, Project Engineer.

The final plat is consistent with the approved preliminary plat, Resolution No. 26-10.

## Evaluation of Request

### Planning Analysis

#### Current Zoning

The property is zoned Development Flex (DF).

#### Land Use Designation

The subject site is designated Planned Industrial/Planned Commercial (PI/PC) in the City's Comprehensive Land Use Plan. The PC designation is to accommodate commercial, retail and office uses in a planned, cohesive style of development. Planned commercial areas are in areas with good

visibility and access from major roadways and are sufficiently sized to accommodate a larger-scale planned design and concept. The proposal meets this designation with the following uses: commercial, retail and office in a planned development.

#### Existing Conditions

The site is currently made up of one parcel with frontage on Austin Street and 109th Avenue. The site is vacant with no existing buildings.

#### History

The vacant parcel was platted as an outlot for future development in 2020.

#### Plat

One lot and two outlots are proposed. The lots are broken down as follows:

- Lot 1, Block 1: 1.78 Acres
- Outlot A: 5.03 Acres
- Outlot B: 1.55 Acres

The DF district does not have minimum lot size requirements.

Lot 1 Block 1 is planned for a multi-tenant commercial building.

#### Setbacks

##### Building

- Front: 50 feet
- Side: 15 feet
- Rear: 20 feet

##### Parking

- Front: 30 feet
- Side: 15 feet
- Rear: 15 feet

#### Landscaping

Landscaping will be reviewed with the CUP application and/or at the time of building permit.

#### Tree Preservation

There are currently no trees on site.

#### Park Dedication

Park dedication is required for the development of 1 new lot (1.78 acres), based on a proposed 2026 rate of \$7,820 per acre. This results in a total park dedication fee of \$13,919.00. The fee must be paid prior to the issuance of a building permit and will be calculated using the per-acre rate in effect at the time of payment. The outlots will be required to pay park dedication at the rate in effect when they are final platted.

## **Engineering Analysis**

### Grading/Storm Drainage

The developer is proposing to grade the property as shown on the Rice Creek Watershed District (RCWD) and city approved grading, drainage, erosion protection and sediment control plans prepared by the Developer's Engineer. The plans shall include existing drainage patterns (contours) with flow arrows, soil boring locations, perimeter site protection, tree preservation, tree clearing limits, custom grading, proposed grading contours, proposed drainage patterns with flow arrows, storm water management, SWPPP information, temporary erosion protection Best Management Practices (BMPs), and temporary sediment control BMPs information for the site. The SWPPP may be included in the construction plan sheet(s) or prepared as a separate document and included in the development construction contract specifications.

The developer will also need to submit construction contract documents that include a mass (rough) grading, erosion protection, sediment control, development, utilities, private driveway, and storm drainage plan sheets. Supporting wetland delineation report, geotechnical investigation report, soil boring logs, and hydrology report shall be included in the submittal for city review and approval.

### Utilities

Standard water and sanitary sewer access charges (WAC & SAC) become due with each building permit at the rate established at the time the building permit is issued.

Hydrant locations must be reviewed and approved by the Fire Department.

The developer shall explore water source for landscape irrigation systems installed throughout the development, including the possible use of created ponds or storm water reuse.

### Wetlands/Watershed/FEMA

The plat will need to provide for a protective buffer strip of natural vegetation at least 15-feet in width (25-feet is preferred) and shall surround all wetlands. This buffer strip shall be placed in the easement.

The developer will need to submit the project to RCWD. Review, approval and permits are required prior to city plan approval and start of site work.

### Access/Street Design/Sidewalks/Trails

The development is proposing to gain/provide access from a shared driveway connection to Austin Street NE.

### Easements/Right-of-way/Permits

The developer will need to obtain all required permits to construct the proposed project. A copy of all permits will need to be submitted to the City prior to any site work.

Standard drainage and utility easements shall be dedicated along all lot lines and over areas of delineated wetlands, wetland mitigation, infiltration trenches, drainage swales, and storm water management ponds.

Not applicable.

### **Board/Commission Review**

The Planning Commission voted unanimously to approve the preliminary plat. The Planning Commission does not review final plats.

### **Financial Impact**

Not applicable.

### **Public Outreach/Input**

Notifications are not required for final plats.

### **Staff Recommendation**

By motion, adopt the resolution.

### **Attachment List**

1. Zoning and Location Map
2. Final Plat



# City of Blaine

## Signature Copy

Resolution: RES 26-29

### **Resolution Granting Final Plat Approval to Subdivide 8.36 Acres into 1 Lot and 2 Outlots to be Known as North Meadows Third Addition at the Corner of Lexington Avenue and 109th Avenue NE. Wellington Management Inc. (Case File No. 26-0008/SLK)**

**WHEREAS**, an application has been filed by Wellington Management Inc. as Case File No. 26-0008 for a final plat known as North Meadows Third Addition; and

**WHEREAS**, said case involves the division of land in Anoka County, Minnesota, described as follows:

Outlot J, North Meadows

**WHEREAS**, the Blaine City Council granted preliminary plat approval on date, subject to the conditions as contained in Blaine City Council Resolution No. 26-10; and

**WHEREAS**, the final plat is in general conformance with the approved preliminary plat.

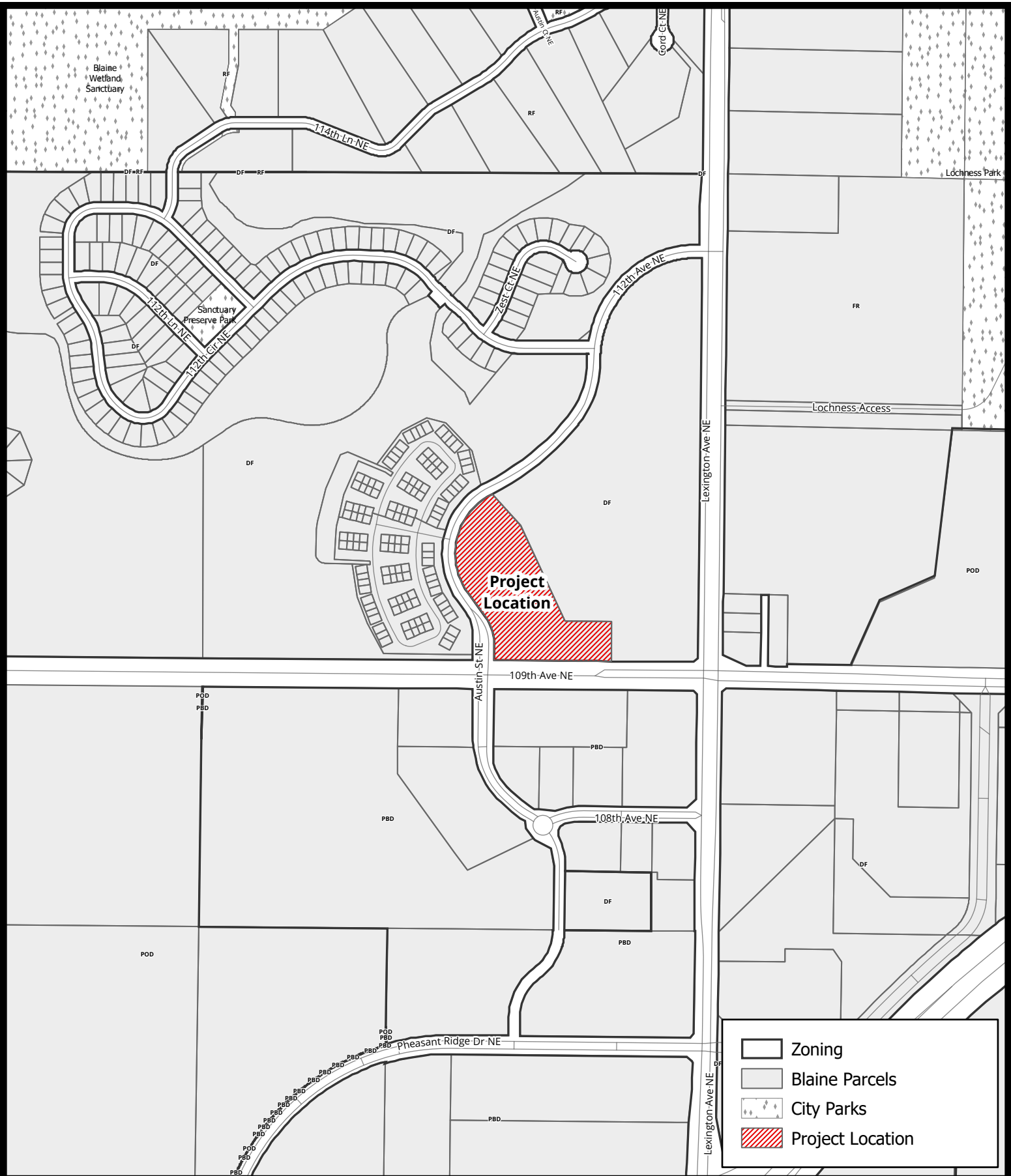
**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of Blaine that final plat approval for North Meadows Third Addition per Section 74-47 of the subdivision regulations is hereby granted subject to the listed conditions.

**NOW, THEREFORE, BE IT FURTHER RESOLVED** The Mayor, City Clerk and City Manager are hereby authorized to execute any and all necessary documents, agreement and releases related to the approval, recording or administration of North Meadows Third Addition.

1. The developer is responsible for recording plat mylars with Anoka County. Proof of recording must be provided prior to issuance of building permits.
2. The developer will be responsible for installation of sanitary sewer, water main, storm drainage improvements, streets with concrete curb and gutter, streetlights, sidewalks, traffic control signs, and all appurtenant items.
3. The development association shall maintain all private internal utilities, storm water management systems and driveways privately.
4. Access to private water and sanitary services shall be granted for each individual site.
5. Separate private fire lines and domestic water lines are required to be installed from the public water main. Separate fire laterals and domestic water laterals are required for each structure from the associated private water line to each structure.
6. Water Availability Charges (WAC) and Sewer Availability Charges (SAC) become due with each building permit.
7. A copy of the shared access/parking agreement with the adjacent site must be submitted to the Planning Department prior to any work being allowed on site.

8. Park dedication prior to releasing the plat mylars for recording at Anoka County is due at the rate in effect at the time the payment is received by the City. If paid in 2026, \$13,919 is due.
9. The developer to submit a copy of the approved Rice Creek Watershed permit to the city prior to any site work.

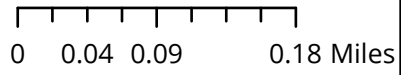
**PASSED** by the City Council of the City of Blaine this 2nd day of March, 2026.



	Zoning
	Blaine Parcels
	City Parks
	Project Location

**Case File No. 26-0008**

**North Meadows 3rd Addition**



Scale: 1:7,878



BlaineMN.gov

Blaine Planning Department / 10801 Town Square Dr NE / Blaine, MN 55449 / (763) 785-6180

# NORTH MEADOWS THIRD ADDITION

CITY OF BLAINE  
COUNTY OF ANOKA  
SEC. 14, TWP. 31, RGE. 23

KNOW ALL PERSONS BY THESE PRESENTS: That North Meadows LLC, a Minnesota limited liability company, owner of the following described property:

OUTLOT J, NORTH MEADOWS, Anoka County, Minnesota

Has caused the same to be surveyed and platted as NORTH MEADOWS THIRD ADDITION and does hereby dedicate to the public for public use the drainage and utility easements as shown on this plat.

In witness whereof said North Meadows LLC, a Minnesota limited liability company, has caused these presents to be signed by its proper officer this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

NORTH MEADOWS LLC  
BY: WELLINGTON PROPERTIES LLC, its Manager

Stephen B. Wellington, Jr., Chief Manager

STATE OF \_\_\_\_\_  
COUNTY OF \_\_\_\_\_

This instrument was acknowledged before me on \_\_\_\_\_ by Stephen B. Wellington, Jr., Chief Manager of Wellington Properties LLC, a Minnesota limited liability company, manager of North Meadows LLC, a Minnesota limited liability company.

\_\_\_\_\_  
(Signed)  
\_\_\_\_\_  
(Printed)  
Notary Public, \_\_\_\_\_  
My commission expires \_\_\_\_\_

I Kevin C. McCain do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Kevin C. McCain, Licensed Land Surveyor  
Minnesota License No. 58542

STATE OF \_\_\_\_\_  
COUNTY OF \_\_\_\_\_

This instrument was acknowledged before me on \_\_\_\_\_ by Kevin C. McCain.

\_\_\_\_\_  
(Signed)  
\_\_\_\_\_  
(Printed)  
Notary Public, \_\_\_\_\_  
My commission expires \_\_\_\_\_

CITY COUNCIL, CITY OF BLAINE, MINNESOTA

This plat of NORTH MEADOWS THIRD ADDITION was approved and accepted by the City Council of the City of Blaine, Minnesota at a regular meeting thereof held this \_\_\_\_ day of \_\_\_\_\_, 20\_\_, and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2.

CITY COUNCIL, CITY OF BLAINE, MINNESOTA

By: \_\_\_\_\_, Mayor

By: \_\_\_\_\_, Clerk

COUNTY SURVEYOR

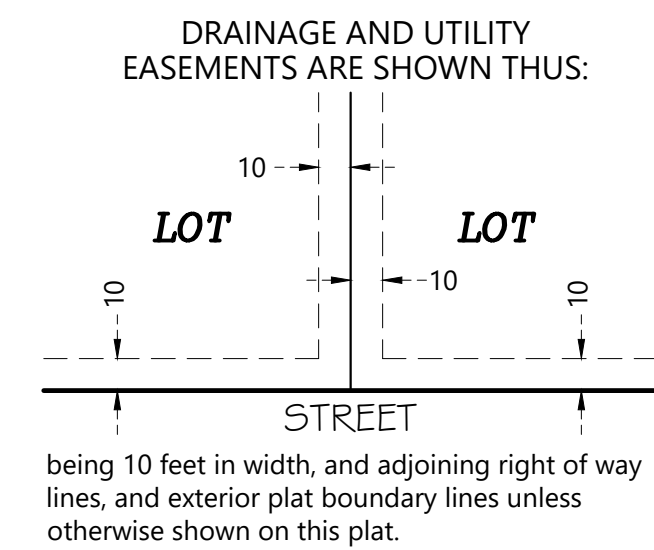
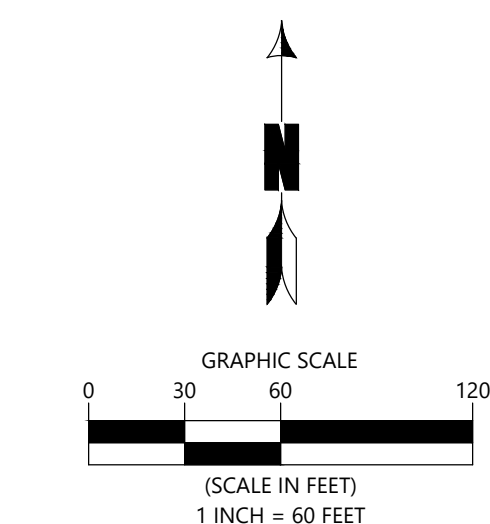
I hereby certify that in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this day of \_\_\_\_\_, 20\_\_.

David M. Zieglmeier  
Anoka County Surveyor

For the purposes of this plat, the South line of Outlot J, NORTH MEADOWS, is assumed to have a bearing of North 89 degrees 31 minutes 54 seconds West.

### LEGEND

- Denotes Found Iron Monument, marked with license number 40361, unless otherwise noted
- Denotes Set Rebar, Marked RLS #58542

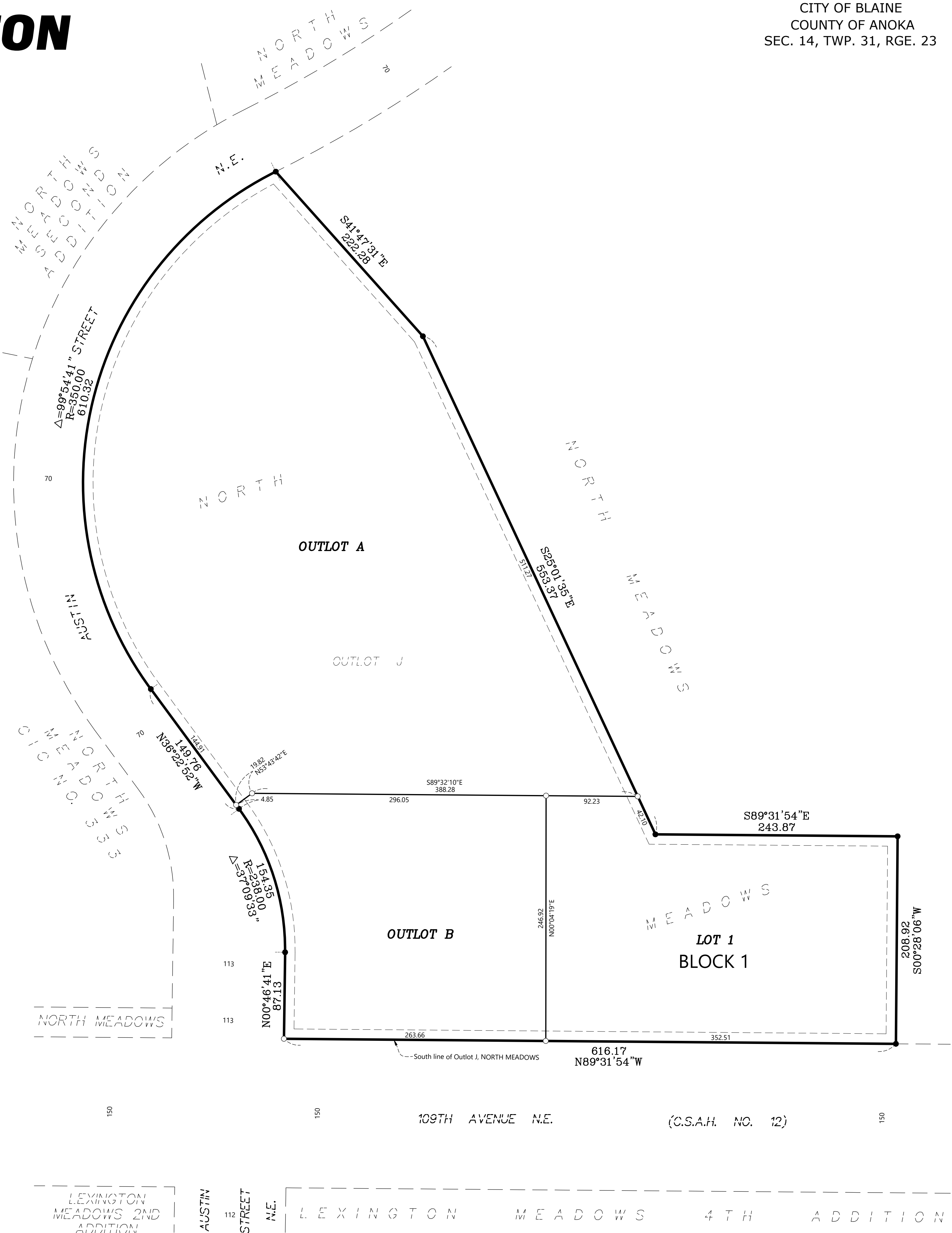


COUNTY AUDITOR/TREASURER  
Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, taxes payable in the year 20\_\_ on the land hereinbefore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer entered this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
Property Tax Administrator  
By: \_\_\_\_\_, Deputy

COUNTY RECORDER/REGISTRAR OF TITLES  
County of Anoka, State of Minnesota  
I hereby certify that this plat of NORTH MEADOWS THIRD ADDITION was filed in the office of the County Recorder/Registrar of Titles for public record on this \_\_\_\_ day of \_\_\_\_\_, 20\_\_, at \_\_\_\_ o'clock \_\_\_\_M. and was duly recorded as Document Number \_\_\_\_\_.

\_\_\_\_\_  
County Recorder/Registrar of Titles  
By: \_\_\_\_\_, Deputy





# City of Blaine Staff Report

File Number: RES 26-40

Agenda Date	Status
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March 2, 2026

In Control	File Type
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City Council

Resolution

**Approval of Consent Agenda:** - Daniel Schluender, Director of Engineering

## Agenda Item # 7.6

Resolution to Approve Joint Powers Agreement No. C0011856 with Anoka County for the Gate Valve and Hydrant Improvements along CSAH 32 (85th Avenue) from CSAH 17 (Lexington Avenue) to Rendova Street NW, Improvement Project T2609 (26-09) and Associated Transfers and Budget Amendments

## Executive Summary

Anoka County and the City of Blaine have mutually agreed that gate valves and hydrants along CSAH 32 (85th Avenue NE) between CSAH 17 (Lexington Avenue) to Rendova Street NE are in need of improvements and require reconstruction. Anoka County has prepared preliminary roadway construction plans that include construction plans prepared by the City of Blaine for gate valve and hydrant improvements along CSAH 32 (85th Avenue NE) between CSAH 17 (Lexington Avenue) to Rendova Street NE. The project can move forward as proposed to the improvements and reconstruction of the gate valves and hydrants. The construction is scheduled for the summer of 2026.

## Background

The parties have joined together for the purpose of rehabilitation CSAH 32 (85th Avenue NE) between CSAH 17 (Lexington Avenue) to Rendova St. NE, as shown in the plans. The gate valve and hydrant improvements consist of replacing one (1) hydrant assembly, including gate valves, relocating one (1) hydrant assembly, including gate valve, removing one (1) gate valve, and replacing two (2) gate valves (hereinafter the "Project"). The County and the City Project numbers are noted above. The engineering plans for the Project are filed in the office of the Anoka County Highway Department and incorporated herein by reference.

Per the JPA, the City of Blaine's participation in the construction cost is estimated at \$148,112.69. This includes construction and construction engineering expenses. Costs are outlined in the attached JPA.

## Strategic Plan Relationship

The project aligns with the City's strategic initiatives for Growth Management and providing a Well-maintained Infrastructure.

### Board/Commission Review

This item has not been reviewed by any boards or commissions.

### Financial Impact

The other contractual budget within the Water Distribution Fund has sufficient funding to allocate towards this joint venture. The proposed project cost of \$148,112.69 can be fully funded from this budget allocation while leaving a sufficient balance remaining to support ongoing operational needs and expenses. Due to the nature of this activity, the budget must be transferred from the Water Distribution Fund to the Water Capital Fund.

### Public Outreach/Input

N/A

### Staff Recommendation

Approve the following resolution.

### Attachment List

1. SAP 002-632-023\_Blaine JPA hydrant\_gate valve\_FINAL
2. Exhibit A\_002-632-023\_CSAH 32
3. Exhibit B- cost distrubution\_CSAH 32



# City of Blaine

Signature Copy

Resolution: RES 26-40

## Resolution to Approve Joint Powers Agreement No. C0011856 with Anoka County for the Gate Valve and Hydrant Improvements along CSAH 32 (85th Avenue) from CSAH 17 (Lexington Avenue) to Rendova Street NW, Improvement Project T2609 (26-09) and Associated Transfers and Budget Amendments

**WHEREAS**, the County of Anoka and the City of Blaine desire to jointly improve and reconstruct gate valves and hydrants along CSAH 32 (85th Avenue) from CSAH 17 (Lexington Avenue) to Rendova Street NW in accordance with Anoka County and the Minnesota Department of Transportation standards for the benefit of the traveling public; and

**WHEREAS**, Minnesota Statutes Section 471.59 authorizes the County of Anoka to enter into an Agreement with the City of Blaine to provide for the improvement and reconstruction of gate valves and hydrants along CSAH 32 (85th Avenue) from CSAH 17 (Lexington Avenue) to Rendova Street NW for the joint exercise of powers common to each; and

**WHEREAS**, said Agreement details the responsibilities of the County of Anoka and the City of Blaine as to the costs associated with the construction and related activities of the project.

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of Blaine as follows:

1. Joint Powers Agreement No. C0011856 between the County of Anoka and the City of Blaine with regard to the improvements and reconstruction of gate valves and hydrants along CSAH 32 (85th Avenue) from CSAH 17 (Lexington Avenue) to Rendova Street NW is hereby approved.
2. The Mayor and City Manager are hereby authorized and directed to execute said agreement.

**BE IT FURTHER RESOLVED** that the City Council of the City of Blaine hereby authorizes the following transfer(s) for the 2026 budget:

From Fund	To Fund	Purpose	Transfer Amount
601-Water Distribution Fund	611-Water Capital Fund	Transfer from the Water Operating Fund to the Water Capital Fund	\$150,000

**BE IT FURTHER RESOLVED** that the City Council of the City of Blaine hereby authorizes the following revenue increase(s) to the 2026 budget:

Fund/Account	Amount
Water Capital Fund - Intrafund Transfer In 611.50.530.537.5590-3920	\$150,000

**BE IT FURTHER RESOLVED** that the City Council of the City of Blaine hereby authorizes the following expenditure decrease(s) to the 2026 budget:

Fund/Account	Amount
Water Operating Fund - Other Contractual 601.50.530.537.5511-4399	\$150,000

**BE IT FURTHER RESOLVED** that the City Council of the City of Blaine hereby authorizes the following expenditure increase(s) to the 2026 budget:

Fund/Account	Amount
Water Capital Fund - Projects Contract Cost 611.50.530.537.5590-4590 - T2609	\$150,000
Water Operating Fund - Intrafund Transfer Out 601.50.530.537.5590-4920	\$150,000

**PASSED** by the City Council of the City of Blaine this 2nd day of March, 2026.

**JOINT POWERS AGREEMENT  
FOR THE GATE VALVE AND HYDRANT IMPROVEMENTS ALONG  
COUNTY STATE AID HIGHWAY 32 FROM COUNTY STATE AID HIGHWAY 17  
(LEXINGTON AVENUE) TO RENDOVA STREET NW  
IN THE CITY OF BLAINE, MN  
(SAP 002-632-023)  
(BLAINE CITY JOB #26-09)**

THIS AGREEMENT is made by the parties on the last date executed below, by and between the County of Anoka, a political subdivision of the State of Minnesota, 2100 Third Avenue, Anoka, Minnesota 55303, hereinafter referred to as "County", City of Blaine, 10801 Town Square Dr. NE, Blaine, MN 55449, hereinafter referred to as "City".

WITNESSETH

WHEREAS, the parties to this agreement agree it is in the best interests of the traveling public to perform gate valve and hydrant improvements, at various locations, along County State Aid Highway (CSAH) 32 (85<sup>th</sup> Avenue NE) between CSAH 17 (Lexington Avenue) to Rendova St. NE and,

WHEREAS, the parties mutually agree that the gate valves and hydrants are in need of improvements and require reconstruction; and,

WHEREAS, the County has prepared preliminary roadway construction plans that include construction plans prepared by the City for said gate valve and hydrant improvements along CSAH 32 (85<sup>th</sup> Avenue NE) between CSAH 17 (Lexington Avenue) to Rendova St. NE in accordance with Anoka County and the Minnesota Department of Transportation standards to a staff approved layout condition; and,

WHEREAS, the County has jurisdiction over CSAH 32; and,

WHEREAS, the parties agree that it is in their best interests that the cost of said project be shared; and,

WHEREAS, Minn. Stat. § 471.59 authorizes government entities of the state to enter into joint powers agreements for the joint exercise of powers common to each.

NOW, THEREFORE, IT IS MUTUALLY STIPULATED AND AGREED:

I. PURPOSE

The parties have joined together for the purpose of rehabilitation CSAH 32 (85<sup>th</sup> Avenue NE) between CSAH 17 (Lexington Avenue) to Rendova St. NE, as shown in the plans. The gate valve and hydrant improvements consist of replacing one (1) hydrant assembly, including gate valves, relocating one (1) hydrant assembly, including gate valve, removing one (1) gate valve, and replacing two (2) gate valves (hereinafter the "Project"). The County and the City Project numbers are noted above. The engineering plans for the Project are filed in the office of the Anoka County Highway Department and incorporated herein by reference.

The parties to this Joint Powers Agreement (JPA) agree in principle that construction of the Project is in the best interest of the traveling public and that the Preliminary Layout as shown in Exhibit "A" defines the preliminary design of the Project.

It is agreed that the Exhibit "A" Layout dated November 19, 2025 has been reviewed and accepted by the parties and is suitable for preparation of final construction documents. Any significant changes made hereafter to the design as presented in the Exhibit "A" Layout will require approval by the parties as an amendment to this JPA. These same changes will require a change in the cost share to include any additional design engineering costs that may occur.

## II. METHOD

The County shall cause the construction of the Project.

### IMPROVEMENTS:

It is agreed by the parties that in 2026, the CSAH 32 hydrants and gate valves referenced in the construction plans will be improved to the extent shown in Exhibit "A".

### RIGHT OF WAY:

The parties agree that there will be no additional right of way impact required for the County or City portions of this Project.

### TRAFFIC CONTROL:

The parties agree that CSAH 32 between CSAH 17 (Lexington Avenue) to Rendova St. NE, will be open to all traffic during construction. The parties further agree and that cost share for traffic control for the City shall be a prorated share based on the respective City's project costs divided by the total Project cost.

### UTILITIES:

The parties agree that there are no anticipated utility relocations or improvements as part of this Project.

### PERMITS:

No permits are required from the City for this Project.

## III. COSTS

The contract costs of the work, or if the work is not contracted, the cost of all labor, materials, normal engineering costs and equipment rental required to complete the work, shall constitute the "actual construction costs" and shall be so referred to herein. "Estimated construction costs" are good faith projections of the costs, which will be incurred for this Project. Actual costs will vary and those will be the costs for which the relevant parties will be responsible.

The estimated construction cost of the total Project is \$804,310.65.

The total estimated construction cost to the City is **\$142,416.05**

The City participation in construction engineering will be at a rate of four percent (4%) of their designated construction share of **\$142,416.05**. The estimated cost to City for construction engineering is **\$5,696.64**.

In summary, the total City share of this Project is **\$148,112.69** (includes construction, construction engineering). **(see summary below)**.

**\*( \$142,416.05+ \$5,696.64 = \$148,112.69)**

Upon award of the contract the City shall pay to the County, ninety five percent (95%) of its portion of the cost of the Project estimated at **\$140,707.06**. Prior to billing, this estimate will be updated by the County to reflect the actual bid prices as awarded. An updated cost estimate shall be provided to the City at the time of billing. The City's share of the cost of the Project shall include only construction and construction engineering expense and does not include engineering design and administrative expenses incurred by the County.

After final completion of the Project the City's share of the construction cost will be based upon actual construction costs. If necessary, adjustments to the initial ninety five percent (95%) charged will be made in the form of credit or additional charges to the City's share. Also, the remaining five percent (5%) of the City's portion of the construction costs shall be paid.

The County agrees to submit to the City for review all final quantities and cost within one year of Project substantial completion.

#### IV. TERM / TERMINATION

This Agreement shall become effective immediately upon execution, and will remain in effect until the Project and all restoration activities are completed, *with exception* of the ownership and maintenance provisions within this Agreement which shall continue indefinitely and survive termination of the JPA.

#### V. DISBURSEMENT OF FUNDS

All funds disbursed by the County or City pursuant to this Agreement shall be disbursed by each entity pursuant to the methods provided by law.

#### VI. CONTRACTS AND PURCHASES

All contracts let and purchases made pursuant to this Agreement shall be made by the County in conformance with federal, state, and local laws and regulations.

#### VII. OWNERSHIP AND MAINTENANCE

The City shall own the hydrant and gate valve improvements and all related infrastructure at each location. The City is responsible for short and long-term maintenance of the hydrant and gate valve infrastructure included in this Project.

VIII. STRICT ACCOUNTABILITY

A strict accounting shall be made of all funds and report of all receipts and shall be made upon request by either party. Prior to City payment to the County, the County shall provide the City a copy of all cost participation documents submitted to MnDOT State Aid to assist the City in their application for MSA funding.

IX. NOTICE

For purposes of delivery of any notices herein, the notice shall be effective if delivered to the County Administrator of Anoka County, 2100 Third Avenue, Anoka, Minnesota 55303, on behalf of the County, and to the City Manager of Blaine, 10801 Town Square Dr. NE, Blaine MN 55449, on behalf of the City.

X. INDEMNIFICATION

The City and County mutually agree to indemnify and hold harmless each other from any claims, losses, costs, expenses or damages resulting from the acts or omissions of the respective officers, agents, or employees relating to activities conducted by either party under this Agreement.

XI. ENTIRE AGREEMENT REQUIREMENT OF A WRITING

It is understood and agreed that the entire agreement of the parties is contained herein and that this Agreement supersedes all oral agreements and all negotiations between the parties relating to the subject matter thereof, as well as any previous agreement presently in effect between the parties to the subject matter thereof. Any alterations, variations, or modifications of the provisions of this Agreement shall be valid only when they have been reduced to writing and duly signed by the parties.

XII. COUNTERPARTS

This Agreement may be executed in any number of counterparts, each one of which shall be deemed to be an original, but all such counterparts together shall constitute one and the same instrument.

IN WITNESS WHEREOF, the parties of this Agreement have hereunto set their hands on the dates written below:

**COUNTY OF ANOKA**

**CITY OF BLAINE**

By: \_\_\_\_\_  
Jim Dickinson  
County Administrator

By: \_\_\_\_\_  
Tim Sanders  
Mayor

Dated: \_\_\_\_\_

By: \_\_\_\_\_  
Eric Thorvig  
City Manager

Dated: \_\_\_\_\_

**RECOMMENDED FOR APPROVAL:**

By: \_\_\_\_\_  
Joseph J. MacPherson, P.E.  
Transportation Division Manager

**APPROVED AS TO FORM AND EXECUTION:**

By: \_\_\_\_\_  
Christine V. Carney  
Assistant County Attorney

**EXHIBIT "A"**

*Layout*

**EXHIBIT "B"**

*Cost Distribution Spreadsheet*

**EXHIBIT "C"**

**FOR PROJECTS CONSTRUCTED IN ANOKA COUNTY**

<u>ITEMS</u>	<u>COUNTY SHARE</u>	<u>CITY SHARE</u>
Concrete Curb & Gutter	50%	50%
Concrete Curb & Gutter for Median and Center Island Construction	100%	0%
Concrete Median	100%	0*1
Concrete Sidewalk	0%	100%
Concrete Sidewalk Replacement	100%	0%
Bikeways	0%	100%
Bikeway Replacement	100%,	0%
Unless existing trail not placed at edge of R/W		
Construction or Adjustment of Local Utilities	0%	100%
Grading, Base and Bituminous	100%	0%
Storm Sewer	based on state aid letter*2	based on state aid letter*2
Driveway Upgrades	100%, in-kind	100%, of up-grades
Traffic Signals, new (communities larger than 5,000) w/ State Aid approved SJR	½ the cost of its legs of the intersection	the cost of its legs of the intersection plus ½ the cost of the County legs of the intersection
Traffic Signals, replacement (communities larger than 5,000) w/ State Aid approved SJR	the cost of its legs of the intersection	the cost of its legs of the intersection
Traffic Signals, new & replacements (communities less than 5,000) w/ State Aid approved SJR	100%	0%
Traffic Signal, w/o State Aid approved SJR	0%	100%
EVP	0%	100%
Engineering Services	*3	*3
Right-of-Way	100%*4	0%
Street Lights	0%	100%
Noise Walls	100%, if not previously notified*5	100%, if previously notified*5

\*1 The County pays for 100% of Standard Median Design such as plain concrete. If a local unit of government requests decorative median such as brick, stamped concrete, or landscaping, the local unit will pay the additional cost above the cost of standard median.

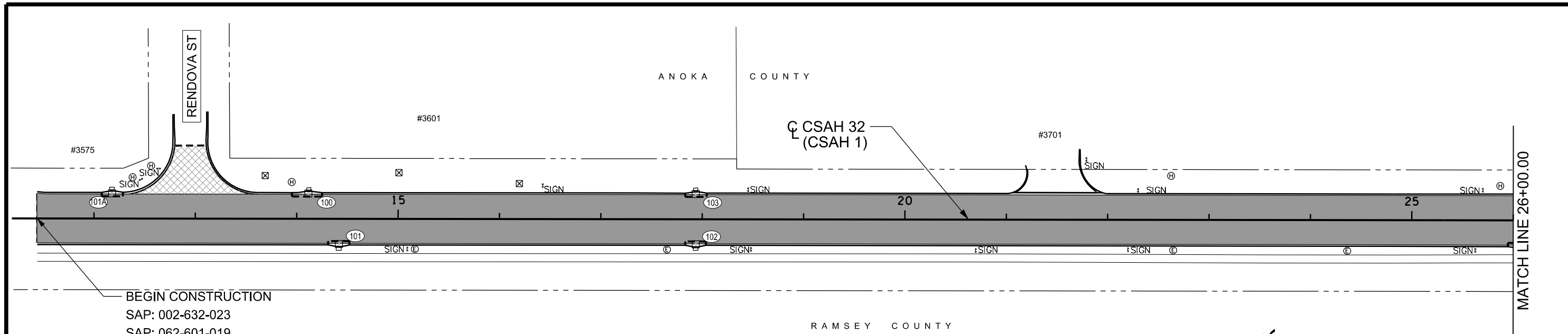
\*2 In the event no State Aid is being used, or in the event the state aid letter does not determine cost split percentages, drainage cost shares will be computed by the proportion of contributing flow outside the County right of way to the total contributing flow.

\*3 Engineering shall be paid by the Lead Agency except that any participating agency will pay construction engineering in the amount of 8% of the construction costs paid by that agency.

\*4 In the event that the Township or City requests purchase of right-of-way in excess of those right-of-ways required by County construction, the Township or City participates to the extent an agreement can be reached in these properties. For instance, a Township or City may request a sidewalk be constructed alongside a County roadway which would require additional right-of-way, in which case the Township or City may pay for that portion of the right-of-way. Acquisition of right-of-way for new alignments shall be the responsibility of the Township or City in which the alignment is located. This provision may be waived by agreement with the County Board if the roadway replaces an existing alignment and the local unit of government takes jurisdiction of that existing alignment. In addition, any costs, including right-of-way costs, incurred by the County because a Township or City did not acquire sufficient right-of-way during the platting process or redevelopment process as requested by the County shall be paid by the Township or City.

\*5 Notification includes any letter to the agency indicating that noise will potentially be an issue in the future, likely received during the Plat Review Process. Maintenance shall be the responsibility of the agency paying for the initial installation. When the County is the responsible agency, it shall pay 100% of Standard Noise Wall Cost. If a local agency requests decorative noise walls, the requesting agency will pay the additional cost above the cost of standard noise wall.

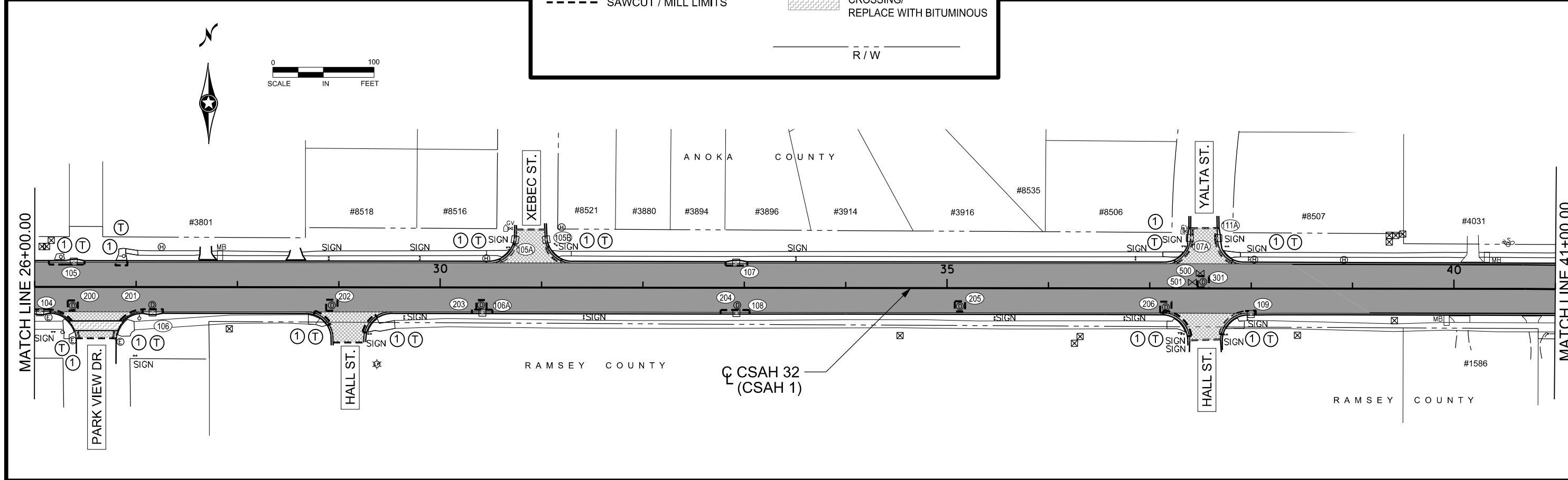
sp:haas



BEGIN CONSTRUCTION  
 SAP: 002-632-023  
 SAP: 062-601-019  
 STATION: 11+44.00

**LEGEND**

(1)	REMOVE AND REPLACE W/ CONCRETE CURB RAMP	[Solid Grey Box]	MAINLINE MILL
(T)	TRUNCATED DOMES	[Cross-hatched Box]	MILL SPECIAL
- - -	SAWCUT / MILL LIMITS	[Diagonal-hatched Box]	REMOVE CONC. PED CROSSING/ REPLACE WITH BITUMINOUS
- - -	R / W		

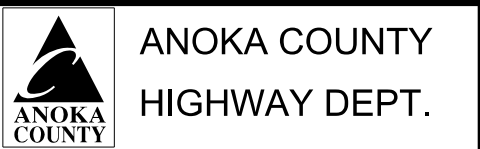


NO	DATE	BY	CKD	APPR	REVISION	
	02/05/2026					8:10:50 AM

NAME: P:\25-01-00\CSAH\_32\_(RENDOVA ST-LEXINGTON)\Base\Proposed\CSAH\_32\_CP.dgn

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.  
 PRINT NAME: NICHOLAS J. DOBDA  
 SIGNATURE: *N. Dobda*  
 DATE: 02/11/2026 LICENSE NO. 49046

DRAWN BY: DLD DATE: 08/13/25  
 DESIGN BY: DLD DATE: 08/13/25  
 CHECKED BY: NJD DATE: 09/10/25



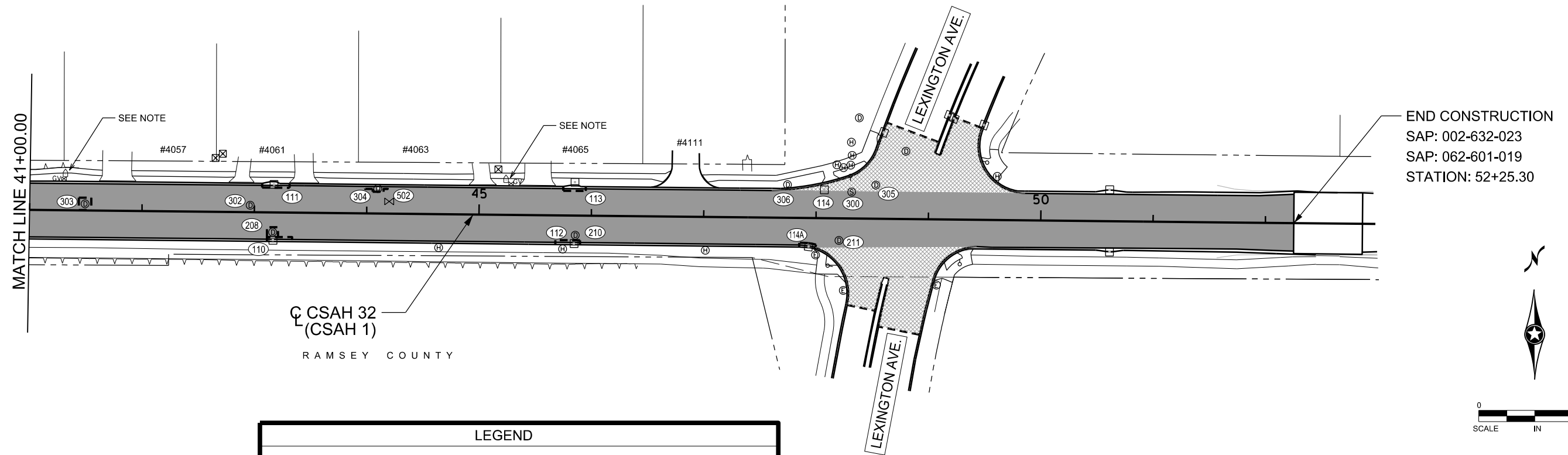
STATE AID PROJECT 062-601-019  
 STATE AID PROJECT 002-632-023

CONSTRUCTION PLAN  
 STA 11+44.00 TO 41+00.00  
 Sheet 10 of 32 Sheets

sphtacs

NOTE: HYDRANT AND GATE VALVE REPLACEMENT.  
SEE CITY OF BLAINE PLANS FOR DETAILS.

\*\*THE NORTH AND SOUTH PART OF LEXINGTON AVENUE  
SHALL BE PAVED USING SPWEB440C MIX.



**LEGEND**

①	REMOVE AND REPLACE W/ CONCRETE CURB RAMP		MAINLINE MILL
Ⓣ	TRUNCATED DOMES		MILL SPECIAL
---	SAWCUT / MILL LIMITS		REMOVE CONC. PED CROSSING/ REPLACE WITH BITUMINOUS
---		---	R / W

NO	DATE	BY	CKD	APPR	REVISION	
	02/05/2026					8:10:50 AM

NAME: P:\25-01-00\CSAH\_32\_(RENDOVA ST-LEXINGTON)\Base\Proposed\CSAH\_32\_CP2.dgn

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRINT NAME: NICHOLAS J. DOBDA

SIGNATURE:

DATE: 02/11/2026 LICENSE NO. 49046

DRAWN BY DLD DATE 02/05/2026

DESIGN BY DLD DATE 02/05/2026

CHECKED BY NJD DATE 02/05/2026

**ANOKA COUNTY  
HIGHWAY DEPT.**

STATE AID PROJECT 062-601-019  
STATE AID PROJECT 002-632-023

**CONSTRUCTION PLAN**

STA 41+00.00 TO 52+25.30

Sheet 11 of 32 Sheets

STATEMENT OF ESTIMATED QUANTITIES					SAP 002-632-023					
Notes	Item Number	Code	ITEM DESCRIPTION	Unit	TOTAL PROJECT QUANTITIES ESTIMATED	ANOKA COUNTY	RAMSEY COUNTY	CITY OF BLAINE (26-09)	UNIT PRICE	COST EST.
	2021.501	00010	MOBILIZATION	LUMP SUM	1	0.412	0.412	0.176	\$19,700.00	\$19,700.00
	2102.503	00010	PAVEMENT MARKING REMOVAL	LIN FT	3533	1766.5	1766.5		\$3.00	\$10,599.00
	2104.502	00820	REMOVE CASTING	EACH	14	7	7		\$450.00	\$6,300.00
1	2104.502	00910	REMOVE DRAINAGE STRUCTURE	EACH	13	6.5	6.5		\$1,000.00	\$13,000.00
	2104.502	03300	SALVAGE AND REINSTALL SIGN	EACH				1	\$82.50	\$82.50
1	2104.503	00195	SAWING CONCRETE PAVEMENT (FULL DEPTH)	LIN FT	201	100.5	100.5		\$5.50	\$1,105.50
1	2104.503	00205	SAWING BITUMINOUS PAVEMENT (FULL DEPTH)	LIN FT	1255	627.5	627.5		\$2.20	\$2,761.00
1	2104.503	00315	REMOVE CURB & GUTTER	LIN FT	707	353.5	353.5	87	\$5.50	\$4,367.00
	2104.503	01340	SALVAGE AND REINSTALL MODULAR BLOCK RETAINING WALL	LIN FT				25	\$126.50	\$3,162.50
1	2104.504	00120	REMOVE BITUMINOUS PAVEMENT	SQ YD	241	120.5	120.5	355	\$10.00	\$5,960.00
	2104.518	00140	REMOVE CONCRETE WALK	SQ FT	1089	544.5	544.5	404	\$5.00	\$7,465.00
	2106.507	00010	EXCAVATION - COMMON	CU YD	6	3	3		\$100.00	\$600.00
2	2211.509	00070	AGGREGATE BASE CLASS 5	TON	41	20.5	20.5		\$36.00	\$1,476.00
3	2232.504	00120	MILL BITUMINOUS SURFACE (3.0")	SQ YD	21792	10896	10896		\$1.50	\$32,688.00
4	2232.604	00470	MILL BITUMINOUS PAVEMENT (SPECIAL)	SQ YD	2365	1182.5	1182.5		\$5.30	\$12,534.50
	2301.602	00071	DRILL AND GROUT REINF BAR (EPOXY COATED)	EACH	40	20	20		\$20.00	\$800.00
	2357.506	00010	BITUMINOUS MATERIAL FOR TACK COAT	GALLON	1260	630	630		\$3.00	\$3,780.00
6	2360.509	13200	TYPE SP 9.5 WEARING COURSE MIX (3:B)	TON	108	54	54		\$120.00	\$12,960.00
5	2360.509	20100	TYPE SP 12.5 BIT MIXTURE FOR PATCHING	TON	67	33.5	33.5	155	\$180.00	\$39,960.00
	2360.509	24600	TYPE SP 12.5 WEARING COURSE MIX (4:C)	TON	2649	1324.5	1324.5		\$110.00	\$291,390.00
	2504.601	00010	LOCATION "A" WATERMAIN WORK	LUMP SUM				1	\$28,783.35	\$28,783.35
	2504.601	00010	LOCATION "B" WATERMAIN WORK	LUMP SUM				1	\$29,664.25	\$29,664.25
	2504.601	00010	LOCATION "C" WATERMAIN WORK	LUMP SUM				1	\$33,056.75	\$33,056.75
7	2504.602	00033	ADJUST GATE VALVE	EACH	2	1	1		\$450.00	\$900.00
9	2506.502	06000	CASTING ASSEMBLY	EACH	13	6.5	6.5		\$900.00	\$11,700.00
8	2506.503	08000	RECONSTRUCT DRAINAGE STRUCTURE	LIN FT	28.5	14.25	14.25		\$700.00	\$19,950.00
10	2506.602	06040	GROUT CATCH BASIN OR MANHOLE	EACH	11	5.5	5.5		\$410.00	\$4,510.00
11	2506.602	06430	CASTING ASSEMBLY - SPECIAL (LP4)	EACH	14	7	7		\$5,000.00	\$70,000.00
	2521.518	00040	4" CONCRETE WALK	SQ FT				404	\$16.50	\$6,666.00
	2521.618	00400	CONCRETE CURB RAMP WALK	SQ FT	1274	637	637		\$15.00	\$19,110.00
	2531.503	02320	CONCRETE CURB & GUTTER DESIGN B624	LIN FT	707	353.5	353.5	87	\$32.00	\$25,408.00
	2531.618	00010	TRUNCATED DOMES	SQ FT	122	61	61		\$10.00	\$1,220.00
12	2563.601	00001	TRAFFIC CONTROL SUPERVISOR	LUMP SUM	1	0.411	0.411	0.178	\$1,000.00	\$1,000.00
13	2563.601	00010	TRAFFIC CONTROL	LUMP SUM	1	0.411	0.411	0.178	\$3,500.00	\$3,500.00
14	2563.613	01100	PORTABLE CHANGEABLE MESSAGE SIGN	UNIT DAY	20	10	10		\$110.00	\$2,200.00
15	2573.502	00110	STORM DRAIN INLET PROTECTION	EACH	22	11	11		\$150.00	\$3,300.00
	2574.507	00100	COMMON TOPSOIL BORROW	CU YD	96	48	48		\$50.00	\$4,800.00
16	2575.508	40003	HYDRAULIC REINFORCED FIBER MATRIX	POUND	420	210	210		\$10.00	\$4,200.00
17	2581.503	00004	4" REMOVABLE PREFORM PAVEMENT MARKING TAPE	LIN FT	164	82	82		\$1.75	\$287.00
18, 20	2582.503	30104	4" SOLID LINE MULTI-COMPONENT	LIN FT	11467	5733.5	5733.5		\$0.60	\$6,880.20
18, 20	2582.503	30204	4" BROKEN LINE MULTI-COMPONENT	LIN FT	770	385	385		\$0.60	\$462.00
18, 20	2582.503	30404	4" DOUBLE SOLID LINE MULTI-COMPONENT	LIN FT	6077	3038.5	3038.5		\$1.30	\$7,900.10
19, 20	2582.503	76124	24" SOLID LINE PREF THERMO GR IN	LIN FT	596	298	298		\$28.00	\$16,688.00
19, 20	2582.518	04000	PAVT MSSG PREF THERMO	SQ FT	185	92.7	92.7		\$30.00	\$5,562.00
19, 20	2582.518	08020	CROSSWALK PREF THERMO GR IN	SQ FT	1848	924	924		\$14.00	\$25,872.00

TOTAL

\$804,310.65



# City of Blaine Staff Report

File Number: 2026-63

Agenda Date	Status
March 2, 2026	
In Control	File Type
City Council	Motion

**Approval of Consent Agenda:** - Erik Thorvig, City Manager

## Agenda Item # 7.7

Motion Authorizing North Metro TV as Broadband Franchise Operator

## Executive Summary

### Background

In early 2025, the city council was presented with information on alternative revenue sources to reduce the burden on property taxpayers in the city of Blaine. One of the options discussed was franchise fees. The council directed staff to explore franchise fees further.

Over the last six months, the city manager and finance director have been focusing research on utility franchise fees. In that same timeframe, the topic of broadband franchise fees has been discussed by North Metro TV (NMTV) and other metropolitan cities. Historically, phone, cable and internet providers have been considered a telecommunications service. Minnesota state law allows for local media operators to charge a "PEG" fee to these providers, which is paid by cable subscribers. PEG stands for Public, Educational and Governmental access programming. PEG fees have continued to decline as subscribers are canceling cable service and utilizing broadband and streaming services for television and internet. Additionally, Minnesota State law explicitly allows for cities and/or local media providers to franchise telecommunication providers and collect a fee based on a percentage of revenue. PEG and cable franchise fees are the primary funding source for local media operations like North Metro TV.

Earlier this year, the U.S. Court of Appeals held that broadband is not a telecommunications service. This decision has caused cities in Minnesota to reevaluate where broadband-only providers fall under state law as it relates to PEG and franchise fees. Since broadband is not a telecommunications service under federal law, it is similarly not likely to be under state law. This has resulted in local programming providers and cities exploring franchise fees in an effort to collect revenue and have more control over broadband companies. The South Washington County Telecommunications Commission adopted the first broadband franchise in Minnesota earlier this year. Attached is information on their effort. According to the document, "A broadband franchise is vastly superior to mere permitting. A broadband

franchise, unlike a permit, addresses multiple issues that benefit residents and consumers, such as buildout standards, customer service standards, senior and disabled person discounts, system performance standards, consideration for use of public property, and many other public benefits".

Throughout last summer, the city of Blaine experienced an influx of broadband companies installing fiber infrastructure. Two companies completed work in 2025, Lumen and Gateway Fiber. Fiber companies are required to obtain a right-of-way permit from the city of Blaine for operating and installing infrastructure within the right-of-way. To date, Lumen has obtained 79 permits and Gateway has obtained 63 permits. Permit cost is \$500/permit. The work has caused major disruptions for staff and residents. If franchising is put into place in Blaine, the city would have additional authority over the activity of broadband companies and collect revenue from franchise fees. Staff estimates that approximately 1/3 of the city has had broadband infrastructure installed.

NMTV staff and the NMTV cable commission have discussed franchise fees. NMTV will continue to experience a reduction in revenue due to declining PEG and cable franchise fee collection. Broadband franchise fees, running through NMTV would provide an additional revenue stream to support NMTV operations.

NMTV currently acts as the city's cable franchise operator. The proposed motion authorizes NMTV to work directly with cable providers when issues arise with service and installation. At the December 1, 2025, workshop, the city council indicated interest in pursuing broadband franchise fees and for city staff to negotiate a franchise operator agreement with NMTV. Prior to engaging further in these discussions, staff is asking for a formal motion by the city council to identify NMTV as a franchise operator, pending negotiation on revenue sharing and formal agreement. As an operator, responsibility to manage resident complaints about service and installation would be shifted from the city to NMTV. Additionally, this action would allow the city to pause issuing permits to broadband installers and direct any interested broadband company to work with NMTV on a franchise agreement.

### Strategic Plan Relationship

N/A

### Board/Commission Review

N/A

### Financial Impact

Negotiation will occur between the city and NMTV on revenue sharing from broadband franchise fees.

### Public Outreach/Input

N/A

### Staff Recommendation

Approve by motion.

## Attachment List

None



# City of Blaine

**Signature Copy**

Resolution:

**Motion Authorizing North Metro TV as Broadband Franchise Operator**



# City of Blaine

**Signature Copy**

Ordinance:

**Motion Authorizing North Metro TV as Broadband Franchise Operator**



# City of Blaine Staff Report

File Number: ORD 26-2603

Agenda Date	Status
-------------	--------

March 2, 2026

In Control	File Type
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City Council

Ordinance

**7:00 PM - Public Hearing and Items Published for a Certain Time** - Sheila Sellman, Community Development Director

## Agenda Item # 8.1

First Reading

Ordinance Approving the Sale of a Portion of Outlot A Club West 9th Addition to MNDOT for the Highway 65 Project

## Executive Summary

Firs reading of ordinance approving the sale of a portion of city owned land for Trunk Highway 65 right-of-way as depicted on the attachments.

## Background

As part of the upcoming improvements to Trunk Highway 65, MNDOT is assembling property or portions of property for right-of-way. MNDOT has identified a portion of Outlot H, Club West and Outlot A Club West 9th Addition (see attachments) is needed for additional right-of-way.

MNDOT has provided an appraisal and is offering \$289,550 for compensation. This amount includes \$276,622 for the real estate being acquired and \$12,928 for damages or loss in value to the remaining property.

Section 12.05 of the Blaine City Charter requires the enactment of an ordinance prior to the conveyance of the City's interest.

## Strategic Plan Relationship

## Board/Commission Review

## Financial Impact

The council has the discretion as to how to utilize the proceeds. Typically, when land is acquired, proceeds go back to the original fund used for the purchase. In this instance, the land was dedicated as part of a development project. A future item will be brought forward to council to consider where to place proceeds.

## Public Outreach/Input

Notice of the public hearing was published in the Blaine/Spring Lake Park/Columbia Heights/Fridley Life.

## Staff Recommendation

By motion, introduce the ordinance for first reading and direct that it be placed on file for second reading at the March 16, 2026, council meeting.

## Attachment List

1. Attachments



# City of Blaine

Signature Copy

Ordinance: ORD 26-2603

## First Reading

### Ordinance Approving the Sale of a Portion of Outlot A Club West 9th Addition to MNDOT for the Highway 65 Project

**WHEREAS**, the City of Blaine owns certain real property adjacent to Trunk Highway 65; and

**WHEREAS**, the Minnesota Department of Transportation (MNDOT) is planning improvements to Trunk Highway 65; and

**WHEREAS**, MNDOT has determined the need to acquire a portion of property owned by the City of Blaine for right-of-way purposes depicted as Parcel 22 on MNDOT's right of way parcel layout; and

**WHEREAS**, MNDOT has submitted an offer for right-of-way acquisition in the amount of \$289,550; and

**WHEREAS**, Section 12.05 of the Blaine City Charter requires the enactment of an ordinance prior to the conveyance of the City's interest.

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of Blaine hereby does ordain:

That part of Outlot H, CLUB WEST, and that part of Outlot A, CLUB WEST 9TH ADDITION, shown as Parcel 22 on Minnesota Department of Transportation Right of Way Plats Numbered 02-49 and 02-50 as the same are on file and of record in the office of the Registrar of Titles in and for Anoka County, Minnesota; the title thereto being registered as evidenced by Certificate of Title No. 125898; further described in the attachments, shall be conveyed by Quit Claim deed to MNDOT in the amount of \$289,550.

**INTRODUCED** and read in full this 2nd day of March 2026.

**PASSED** by the City Council of the City of Blaine this     day of     20\_\_.

Date: \_\_\_\_\_

City of Blaine  
Mayor  
Blaine City Hall  
10801 Town Square Drive NE  
Blaine, MN 55449

State Project #: 0208-169RW  
Control Section #: 0208 (65=5) 909  
Project Job #: TRW241251  
County: Anoka  
Parcel: 22 - City of Blaine  
Property Address: 11347 Club West Pkwy NE, Blaine, MN 55449

The State of Minnesota, acting through its Department of Transportation (MnDOT), will be purchasing a portion of your property for improvements to Highway 65. The person delivering this purchase package is a representative of MnDOT and will explain the procedures involved in the land acquisition process.

This package includes a copy of an appraisal completed by MnDOT for the property being purchased. The certified appraised amount offered to you is \$289,550.00. This amount includes \$276,622.00 for the real estate being acquired and \$12,928.00 for damages or loss in value to the remaining property.

In accordance with Federal and State laws and regulations, eligible property owners and/or occupants of the property on the date of this purchase offer may be entitled to relocation assistance and benefits.

It is important that you review all of the information provided in this purchase package. It will help explain your rights during the purchasing process and assist you in making your decisions. If at any time you have questions or concerns, please contact Kris Koski at 651-440-4096 or [kristine.koski@state.mn.us](mailto:kristine.koski@state.mn.us) your MnDOT representative.

# RIGHT OF WAY PARCEL LAYOUT

C.S. 0208 (65-5) 909

S.P. 0208-169

OWNER: City of Blaine

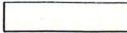

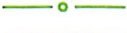
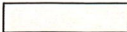






COUNTY: Anoka

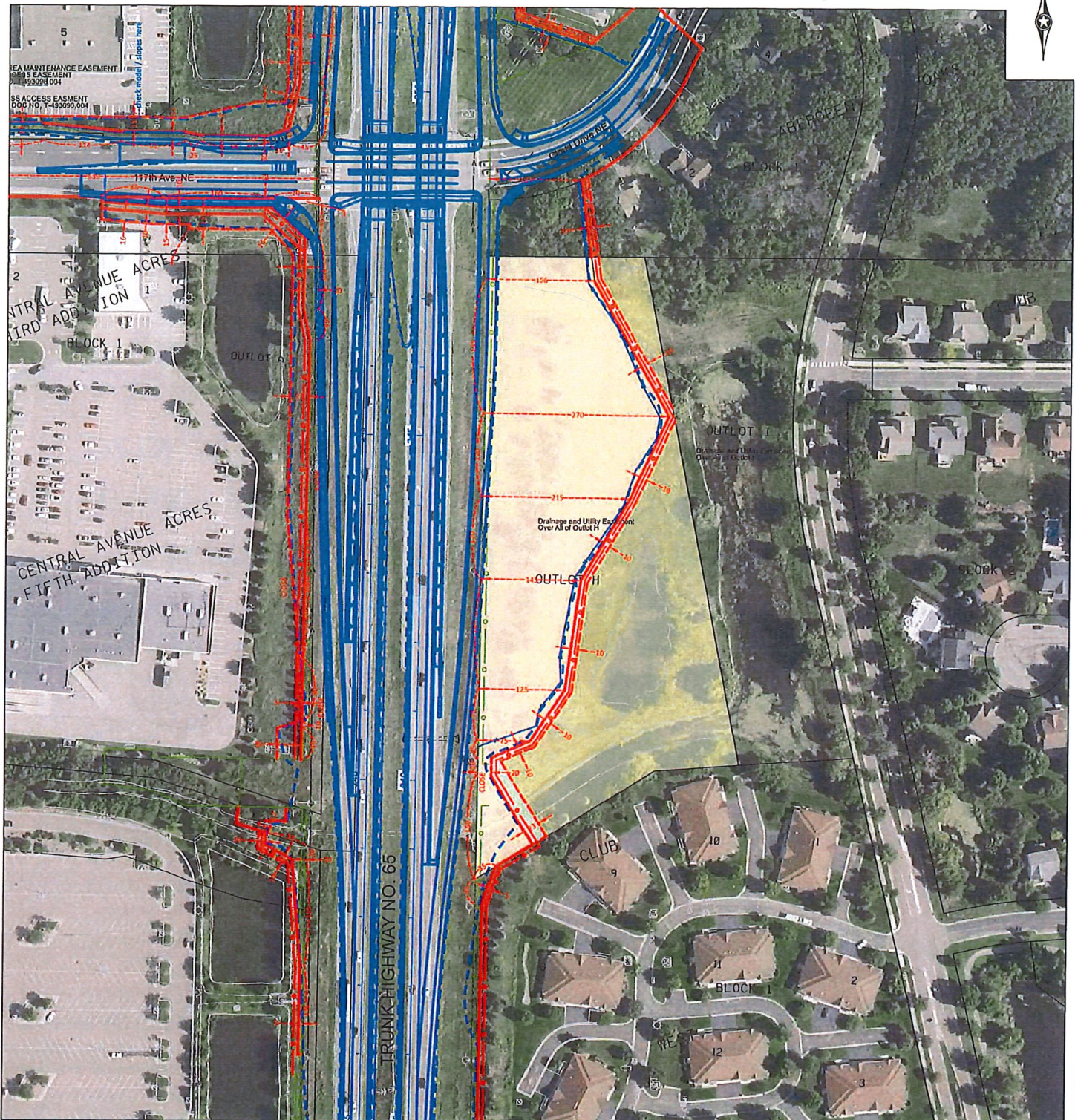
PARCEL NUMBER: 22



PAGE 2 OF 2

SCALE 1" = 200 ft.

- |   |                        |   |  |   |  |
|---|------------------------|---|--|---|--|
|  | Parent Tract           |  | Existing Highway Easement to be purchased in FEE     |  | Existing Access Control Inplace R/W Line |
|  | New Right of Way (Fee) |  | Existing Other Roads Easement to be purchased in FEE |  | New Access Control New R/W Line          |
|  | Temporary Easement     |  | Permanent Easement                                   |  | Temporary Easement                       |
|   |                        |   |  |  | Proposed Construction                    |



LAYOUT SKETCH BY: Charlie Freitag

DATE: 11/06/2025

September 16, 2025  
0208-909-22

## FEE ACQUISITION

Parcel 22 C.S. 0208 (65=5) 909

S.P. 0208-169RW

All of the following:

That part of Outlot H, CLUB WEST, and that part of Outlot A, CLUB WEST 9TH ADDITION, shown as Parcel 22 on Minnesota Department of Transportation Right of Way Plats Numbered 02-49 and 02-50 as the same are on file and of record in the office of the Registrar of Titles in and for Anoka County, Minnesota; the title thereto being registered as evidenced by Certificate of Title No. 125898;

together with other rights as set forth below, forming and being part of said Parcel 22:

Access:

All right of access as shown on said plats by the access control symbol(s).

Drainage Easement:

A drainage easement in perpetuity as shown on said plat 02-49 as to said Parcel 22 and designated as a drainage easement;

Temporary Easement:

A temporary easement for highway purposes as shown on said plats as to said Parcel 22 by the temporary easement symbol, said easement shall cease on December 1, 2030, or on such earlier date upon which the Commissioner of Transportation determines by formal order that it is no longer needed for highway purposes.



# City of Blaine Staff Report

File Number: RES 26-31

Agenda Date	Status
-------------	--------

March 2, 2026

In Control	File Type
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City Council

Resolution

**Development Business** - Sheila Sellman, Community Development Director

## Agenda Item # 9.1

Resolution Granting a Conditional Use Permit to Construct a Bank with a Zero Lot Line (North Property Line) in a Development Flex (DF) Zoning District at 10903 Austin Street NE. Magnifi Financial (Case File No. 26-0001/ACK)

## Executive Summary

Conditional Use Permit (CUP) request for a bank with a zero lot line on the north property line, zoned Development Flex (DF).

## Background

Planning Commission Public Hearing	02/10/26
City Council (Conditional Use Permit)	03/02/26
Action Deadline	03/16/26

Staff report prepared by Alex Koberoski, Assistant Planner, and Teresa Barnes, Project Engineer

## Evaluation of Request

### Planning Analysis

Magnifi Financial is a full-service credit union that offers personal and business financial services, including loans, deposits, mortgages, and wealth management. They have 27 branches across Minnesota and North Dakota. The proposal is to construct a 4,224 square foot building with a 778 square foot canopy on the property, with a zero lot line on the north property line to allow for shared access with the properties to the north and east.

### Current Zoning

The property is zoned DF. All uses in the DF district require CUPs.

The DF district is intended to provide for greater flexibility in land use planning than is possible under

the strict application of other sections of this ordinance.

The DF district also attempts to create a reasonable balance between the interests of the property owner in freely developing the property with greater flexibility in land use, and at the same time, protect the interests of surrounding properties in the following ways:

- (a) By encouraging a more creative approach in housing developments that will result in quality living environments through innovative design and aesthetic controls;
- (b) By permitting a combination of housing types and style, including single, two-family, and multiple-family dwellings, with the exception of mobile homes;
- (c) By allowing flexibility in design by permitting cluster developments and a variety of architectural styles and treatments;
- (d) By allowing for any type of ownership, private, condominium, or rental;
- (e) By allowing flexibility in setback and height restrictions;
- (f) By allowing non-residential uses, such as commercial or light industrial uses which will serve the inhabitants of such district, provided such non-residential uses will enhance the character, amenities, and convenience of those who live in the proposed development;
- (g) By providing an efficient use of land resulting in more cost-efficient installation of utilities, streets, and other facilities.
- (h) By encouraging the preservation of common open space, recreational facilities, natural features, such as woodland and wetland areas;
- (i) By contributing to the tax base of the community without making undue demands on community services; and
- (j) By providing the means for greater creativity and flexibility in environmental design than is provided under the strict application of the Blaine Zoning Ordinance and Subdivision Ordinance, while, at the same time, preserving the health, safety, order, convenience, prosperity, and general welfare of the City of Blaine and its inhabitants.

#### Surrounding Zoning and Uses

The properties to the north, west and east are zoned DF, and properties to the south are zoned Planned Business District (PBD). The properties to the north, east, and south are guided Planned Industrial/Planned Commercial (PI/PC) and consist of commercial, retail, and office uses. The properties to the west across Austin Street are guided High Density Residential/Planned Industrial/Planned Commercial (HDR/PI/PC) and consist of residential townhomes.

#### Land Use Designation

The subject site is designated PI/PC in the City's Comprehensive Land Use Plan. The PC designation is to accommodate commercial, retail and office uses in a planned, cohesive style of development. Planned commercial areas are in areas with good visibility and access from major roadways and are sufficiently sized to accommodate a larger-scale planned design and concept. The proposal meets this designation with the proposed bank use, and the location of the property along a minor arterial.

#### Existing Conditions

The property is a vacant parcel without trees.

#### History

A preliminary plat for this area was approved by City Council on January 5, 2026. The property must

obtain final plat approval prior to any development on site.

### Site Plan

The applicant is proposing to construct a 4,224 square foot bank with a 778 square foot canopy.

The site is proposed to have a zero-lot line on the north property line. The north property line will also provide a shared access drive with the properties to the north and east.

The branch is proposing to operate Monday-Friday 9AM-5PM, and Saturday 9AM-12PM.

The proposed lot must receive final plat approval prior to any development occurring on-site. This has been included as a condition.

### Setbacks

#### Building

- Front: 50 feet
- Side: 15 feet
- Rear: 20 feet

#### Parking

- Front: 30 feet
- Side: 15 feet
- Rear: 15 feet

### Parking

The parking provided on site meets parking requirements for the proposed bank use. A total of 11 parking stalls are required for the proposed bank use, and 20 parking spaces have been provided.

Banks containing two or more drive-thru lanes shall provide stacking space for at least four vehicles per lane, as measured from and including the last pick-up station, window, or the like. Stacking spaces shall not interfere with parking spaces or traffic circulation. The applicant has submitted plans showing the ability for four vehicles to stack in each lane, meeting these requirements.

### Architecture

The building elevations and renderings have been attached and include the following materials:

- brick
- glass
- stone
- metal composite

### Landscaping

The submitted landscape plan meets zoning ordinance requirements.

### Neighborhood Meeting

A neighborhood meeting was held on December 4, 2025.

### **Engineering Analysis**

#### Grading/Storm Drainage

The developer is proposing to grade the lot as shown on the Rice Creek Watershed District (RCWD) and city approved grading, drainage, erosion protection and sediment control plans prepared by the developer's engineer. The plans shall include existing drainage patterns (contours) with flow arrows, soil boring locations, perimeter site protection, tree preservation, tree clearing limits, custom grading, proposed grading contours, proposed drainage patterns with flow arrows, storm water management, SWPPP information, temporary erosion protection Best Management Practices (BMPs), and temporary sediment control BMPs information for the site. The SWPPP may be included in the construction plan sheet(s) or prepared as a separate document and included in the development construction contract specifications.

#### Utilities

Standard water and sanitary sewer access charges (WAC & SAC) become due with each building permit at the rate established at the time the building permit is issued.

#### Wetlands/Watershed/FEMA

There are no known wetlands on this individual lot. The developer will need to submit the project to RCWD. Review, approval and permits are required prior to city plan approval and start of site work.

#### Access/Street Design/Sidewalks/Trails

The development is proposing to gain/provide access from a private access connection to Austin Street NE.

#### Easements/Right-of-way/Permits

The developer will need to obtain all required permits to construct the proposed project. A copy of all permits will need to be submitted to the City prior to any site work.

Standard drainage and utility easements shall be dedicated along all lot lines and over areas of delineated wetlands, wetland mitigation, infiltration trenches, drainage swales, and storm water management ponds.

#### Conditional Use Permit

A city exercises "quasi-judicial" authority when considering a CUP application. This means the city's role is limited to applying the standards in the ordinance to the facts presented by the application. The city acts like a judge in evaluating the facts against the standards.

Section 27.04 Criteria for granting conditional use permits:

The Blaine City Council shall consider the advice and recommendations of the Planning Commission and the effect of the proposed use on the comprehensive plan and upon the health, safety, and general welfare of occupants of surrounding lands. Among other things, the Council shall consider the following findings where applicable. (Ord. No. 20-2447, 7-20-2020)

1. The use shall not create an excessive burden on existing parks, schools, streets and other public facilities and utilities which serve or are proposed to serve the area.
  - o A bank does not create an excessive burden.
2. The use will be located, designed, maintained, and operated to be compatible with adjoining properties and the existing or intended character of the zoning district. (Ord. No. 20-2447, 7-20-2020)
  - o The DF zoning district is intended to provide for greater flexibility in land use planning. The DF district also attempts to create a reasonable balance between the interests of the property owner in freely developing said owner's property with greater flexibility in land uses. The use of the property meets this intent.
3. The use shall have an appearance that will not have an adverse effect upon adjacent properties.
  - o The proposed bank meets or exceeds the ordinance standards for architecture, landscaping, and setbacks. The use will not have an adverse effect on adjacent properties.
4. The use, in the opinion of the City Council, shall be reasonably related to the overall needs of the City and to the existing land use.
5. The use shall be consistent with the purposes of the zoning code and purposes of the zoning district in which the applicant intends to locate the proposed use.
  - o The use meets the purpose of the DF zoning district.
6. The use shall not be in conflict with the comprehensive plan of the City.
  - o The comprehensive plan designation is PI/PC, which is intended to provide flexibility in development and to allow for the possibility of a mixture of uses within the same area such as retailing and services that serve larger areas, from neighborhood to regional scale. The use is not in conflict with the Comprehensive Plan.
7. The use will not cause traffic hazards or congestion.
  - o The proposed use will not generate any additional traffic hazard or congestion.
8. The use shall have adequate utilities, access roads, drainage and necessary facilities.
  - o The existing structure is served with the required utility services, adequate roadway infrastructure and necessary drainage facilities to service the proposed uses.

**Attachment List:**

Zoning and Location Map

Narrative

Site Plan

Grading Plan

Building Elevations

Building Renderings

Floor Plan

Landscape Plan

Drive Thru/Parking

Unapproved Planning Commission Minutes 2/10/26

**Strategic Plan Relationship**

Not applicable.

## Board/Commission Review

The Planning Commission voted unanimously to approve the conditional use permit. No one spoke at the public hearing. The meeting minutes are attached for reference.

## Financial Impact

Not applicable.

## Public Outreach/Input

Notices of a public hearing were:

1. Mailed to property owners within 350 feet of the property boundaries.
2. Published in Blaine/Spring Lake Park/Columbia Heights/Fridley Life.
3. Posted on the City website.

## Staff Recommendation

By motion, adopt the resolution.

## Attachment List

1. Attachments
2. Unapproved 021026 PC Minutes



# City of Blaine

## Signature Copy

Resolution: RES 26-31

### **Resolution Granting a Conditional Use Permit to Construct a Bank with a Zero Lot Line (North Property Line) in a Development Flex (DF) Zoning District at 10903 Austin Street NE. Magnifi Financial (Case File No. 26-0001/ACK)**

**WHEREAS**, an application has been filed by Magnifi Financial as Conditional Use Permit Case File No.26-0001; and

**WHEREAS**, said case involves the property described as follows:

Outlot J, North Meadows

**WHEREAS**, the Blaine Planning Commission held a public hearing on February 10, 2026, and recommended approval regarding said conditional use permit; and

**WHEREAS**, the Blaine City Council has reviewed said case on March 2, 2026; and

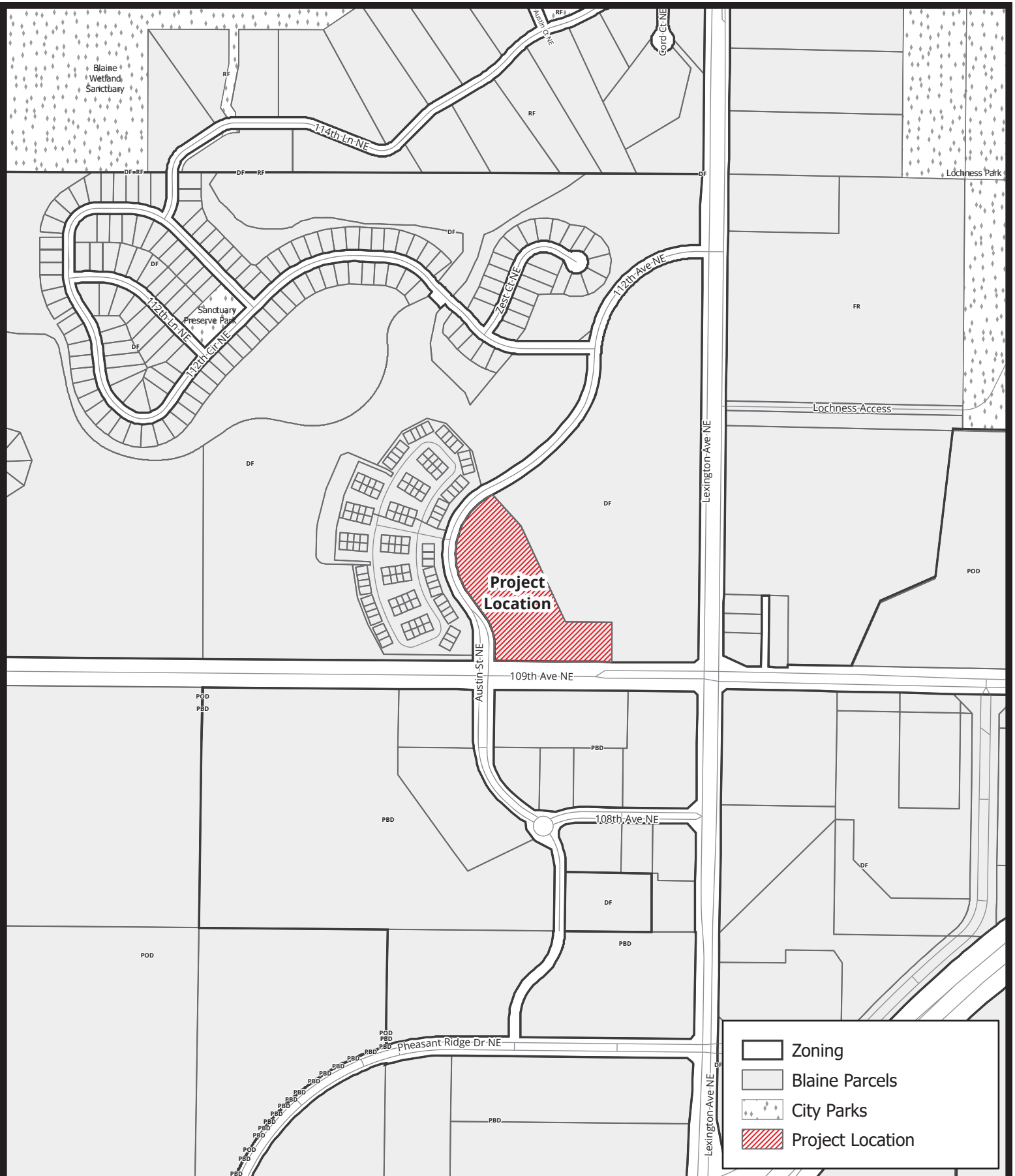
**WHEREAS**, the criteria identified in Section 101-4 for granting a conditional use permit has been met.

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of Blaine that a conditional use permit is hereby approved per Sections 101-4 and Article XIII of the zoning ordinance to construct a bank with a zero lot line (north property line) in a Development Flex (DF) zoning district with the following conditions:

1. Site plan approval will be required as a part of the building permit application. All site improvements to be included in the Site Improvement Performance Agreement (SIPA) and covered by an acceptable financial guarantee.
2. No outside display or storage of products is allowed at any time on site.
3. Any proposed change in use requires a CUP amendment.
4. All signage requires a separate permit meeting the requirements of the zoning ordinance.
5. Temporary signage to be regulated under Zoning Ordinance Section 133-12.
6. No exterior overnight storage of pallets or delivered products.
7. All lighting on site must meet requirements established by Section 129-2 of the zoning ordinance.
8. A copy of the shared access agreement with all sites must be submitted to the Planning Department prior to issuance of the Certificate of Occupancy.
9. An issued Rice Creek Watershed District permit will be required to be received by the City prior to the proposed project receiving any city approval.
10. At least 50 percent of all exterior wall finishes on any building shall be comprised of a combination of at least three of the following materials with all materials present on each elevation:
  - o Brick

- Natural or cultured stone
  - Glass.
  - Stucco or exterior insulation and finish systems (EIFS)
  - Fiber cement or composite siding
  - Architectural metal
  - Integrally colored rock-faced block
11. The following minimum setbacks are required:
- Building
    - Front: 50 feet
    - Side: 15 feet
    - Rear: 20 feet
  - Parking
    - Front: 30 feet
    - Side: 15 feet
    - Rear: 15 feet
12. The property must receive final plat approval prior to any development occurring on site.

**PASSED** by the City Council of the City of Blaine this 2nd day of March, 2026.



**Case File No. 26-0001**  
**Magnifi Financial**

0 0.04 0.09 0.18 Miles

Scale: 1:7,878



BlaineMN.gov

Blaine Planning Department / 10801 Town Square Dr NE / Blaine, MN 55449 / (763) 785-6180

## CUP Site Plan Approval Submission

January 14, 2026

Magnifi Financial | Blaine, MN

### PROJECT NARRATIVE

In a 'same-day shipping', mobile order pickup' society, rapid service and total convenience are a must for today's consumer. Not currently fitting this description, Magnifi Financial is proposing the construction of a new branch office to provide accessible financial services and products to their existing and potential new members in the City of Blaine and the surrounding communities they serve.

The new branch will feature a modern and attractive structure with high-quality finishes and a striking appearance. Key aspects of the project include:

### SITE LAYOUT:

The site plan proposes the construction of a new 4,224 square-foot building for Magnifi Financial located in the Third Addition of the North Meadows development at the intersection Austin Street NE and 109<sup>th</sup> Avenue NE. The site plan will incorporate (1) attached drive-up canopy on the north side which will be approximately 778 square-feet. The attached drive-up canopy will contain (3) drive-through lanes along with a single bypass lane that will help provide circulation around the site. Site Ingress/ Egress will be installed at an existing curb cut off the shared access roadway located directly off Austin Street NE.

The proposed building setbacks along Austin Street NE and 109<sup>th</sup> Avenue NE are 50 feet with a 15 feet setback along the side yards. The building use and proposed floor area illustrated requires 11 parking stalls. The current configuration of the site plan shows 20 proposed parking stalls which will be utilized for member and employee parking.

### ALIGNMENT WITH CITY PLANS:

The project aligns with the City's Comprehensive Plan and the permitted land uses outlined in the Development Flex (DF) which was recommended by Planning Department to be combined with the commercial land use designation, Planned Business District (PBD). Key criteria and objectives were followed in response to the Condition Use Permit to ensure that the health, safety and general welfare of occupants of surrounding lands were considered along with meeting all the objectives outlined in the City's Comprehensive plan.

- The proposed development does not impose any undue burden upon public services and facilities.
- The proposed development is compatible with the purpose and intent of this subpart and with the comprehensive plan.
- The proposal is in no way detrimental to the environment.
- The proposed development is designed in such a manner to form a desirable and unified environment

**ARCHITECTURAL EXCELLENCE:**

The proposed design of the building is a critical component to Magnifi's identity and customer experience reflecting the Credit Unions brand, culture and values. The exterior design will feature a mix of materials including the use of glass, brick, stone and metal composite panels. Other Key design considerations include, providing cohesive aesthetics throughout all building elevations, providing a welcoming and clear entrance, utilizing varied roof heights and lately creating visual harmony through balance and proportions. Renderings and exterior elevations are included in the submission package to illustrate the proposed building design.

**TRAFFIC MANAGEMENT:**

Traffic Management for a Credit Union involves optimizing member flow inside and outside the branch while also understanding peak traffic periods to minimize congestion. Some typical predicable patterns across the board for Credit Unions include a higher volume of transactions on Monday morning, an increase in transactions during the lunch hour window from 12-1 and lately Friday afternoons and Saturday morning as members are preparing for their weekend spending. Although these traffic patterns may vary slightly based on branch location implementing a few key design decisions can help reduce congestion on our site.

- Offering multiple service points to members; Drive through services and Interior building services.
- Providing easy and identifiable parking and building access for members.
- Providing clear site circulation with adequate signage for visitors.
- Designing an adequate number of parking stalls and excellent stacking capabilities at the drive-through.
- Providing a clear ingress (entry) and egress (exit) on the site.
- Offering a bypass lane that allows vehicular traffic to continue to circulate the site even when there are multiple vehicles within each transaction lane.

**OPERATIONAL DETAILS:**

Magnifi Financial typical hours of operation for the lobby are Monday – Friday 9 a.m. to 5 p.m. and Saturday 9 a.m. to 12 p.m.

**EMPLOYMENT:**

Total employee counts have not been finalized, but typical staffing of a branch of this size would require between six and nine employees, depending on time of day and transactional needs. Currently the floor plan provided in our submittal material includes five private offices with two proposed service areas for members.

**ABOUT MAGNIFI FINANCIAL:**

Magnifi Financial is a full-service Community Credit Union offering personal and business financial services, including loans, deposits, mortgages, and wealth management. Over the years, Magnifi has expanded to multiple counties throughout Minnesota and North Dakota with approximately 27 brick and mortar branches. Magnifi Financial is committed to their core values of building up our shared communities, providing financial solutions that are easy and simple, earning the trust and respect of each

member through their expertise, and doing what is right for their entire membership. Investing in communities and participating in philosophy of “people helping people” is what Magnifi values and encourages. There is no doubt these values will help make a lasting impression on the City of Blaine and your community members. We are excited to get started and look forward to your approvals and guidance.

PARKING SUMMARY	
REQUIRED STALLS	11
• 1 SPACE PER 400 GFA	
STANDARD STALLS	19
HANDICAP STALLS	1
TOTAL STALLS:	20

SIGN SCHEDULE	
A. HANDICAP PARKING SIGN:	R7-8m W/R7-8b (12" X 18")
B. NO PARKING SIGN:	RB-3a (12" X 18")
C. DO NOT ENTER SIGN:	RS-1 (OWNER DIRECTIONAL SIGN)

- SIGNAGE AND PAVEMENT MARKING NOTES**
- ALL SIGNS SHALL BE PLACED 12" MINIMUM BEHIND BACK OF CURB UNLESS OTHERWISE NOTED.
  - SIGNS SHALL INCLUDE HARDWARE, POST, FOOTING, CASING, AND ALL APPURTENANCES REQUIRED FOR TYPICAL INSTALLATION.
  - PARKING LOT STRIPING AND PAVEMENT MARKINGS SHALL BE 4" SOLID WHITE PAINT. ALL PAVEMENT LETTERING SHALL BE 12" HEIGHT.
  - ALL SIGNS AND PAVEMENT MARKINGS SHALL BE PER THE LATEST EDITION OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

SITE DATA	
LAND USE DESIGNATION:	PLANNED INDUSTRIAL/COMMERCIAL
EXISTING ZONING:	DEVELOPMENT FLEX
PROPOSED ZONING:	DEVELOPMENT FLEX
PARCEL AREA:	67,447 SF
IMPERVIOUS AREA:	
BUILDING:	4,210 SF 6%
PAVEMENTS:	34,274 SF 51%
TOTAL:	38,484 SF 57%
PERVIOUS AREA:	29,163 SF 43%

**LEGEND**

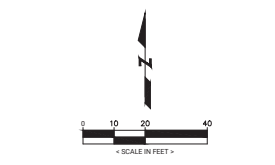
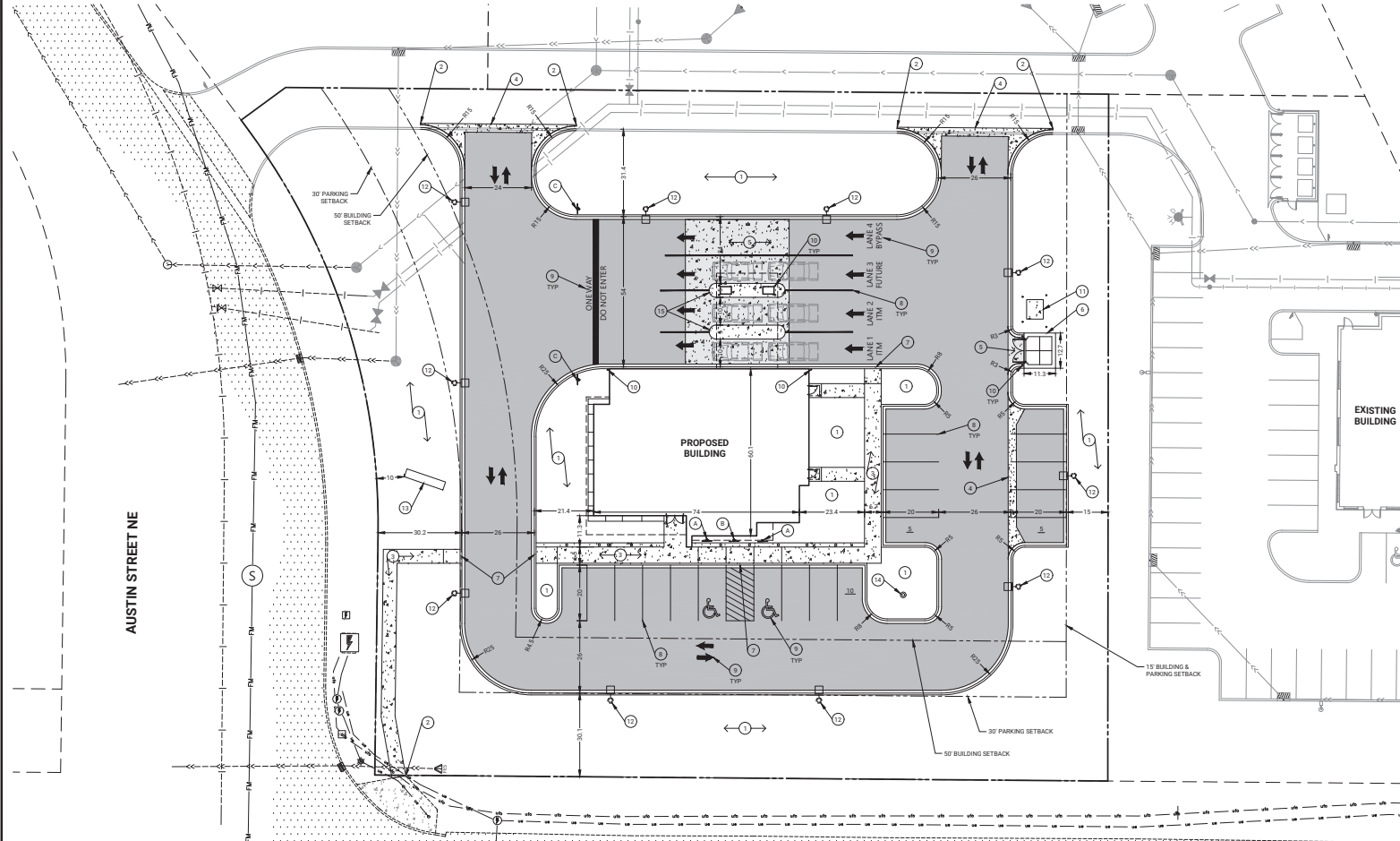
	EXISTING		PROPOSED
	EXISTING BITUMINOUS PAVEMENT		PROPOSED BITUMINOUS PAVEMENT
	EXISTING CONCRETE PAVEMENT		PROPOSED CONCRETE PAVEMENT
	EXISTING STORM SEWER		PROPOSED STORM SEWER
	EXISTING SANITARY SEWER		PROPOSED SANITARY SEWER
	EXISTING WATER MAIN		PROPOSED WATER MAIN
	EXISTING UNDERGROUND ELECTRIC		PROPOSED UNDERGROUND ELECTRIC
	EXISTING UNDERGROUND FIBER OPTIC		PROPOSED UNDERGROUND FIBER OPTIC
	EXISTING STORM CATCH BASIN		PROPOSED STORM CATCH BASIN
	EXISTING SANITARY MANHOLE		PROPOSED SANITARY MANHOLE
	EXISTING HYDRANT		PROPOSED HYDRANT
	EXISTING GATE VALVE		PROPOSED GATE VALVE
	EXISTING LIGHT POLE		PROPOSED LIGHT POLE
	EXISTING ELECTRIC MANHOLE		PROPOSED ELECTRIC MANHOLE
	EXISTING HANDHOLE		PROPOSED HANDHOLE
	OTHER SYMBOLS		

**BENCHMARK**

MINNESOTA DEPARTMENT OF TRANSPORTATION  
 GSD STATION #823, NAME: LINDS BRD  
 ELEVATION: 929.35 (NAVD 88)

- SITE PLAN NOTES**
- ALL DIMENSIONS ARE TO FACE OF CURB AND OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
  - ALL CURB AND GUTTER SHALL BE 80/20 UNLESS OTHERWISE NOTED.
  - TYPICAL PARKING STALLS ARE 10' X 20' UNLESS OTHERWISE NOTED.
  - ALL PEDESTRIAN RAMPS SHALL MEET CURRENT ADA STANDARDS.
  - UNLESS OTHERWISE SHOWN IN THE PLANS, CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND EXPANSION JOINTS IN SLAB ON GRADE, SIDEWALKS, AND DRIVES PER THE FOLLOWING REQUIREMENTS:
- CONTROL JOINTS: WALKS @ 8' SPACING  
 OTHERS @ 10' SPACING
- SAW/CUT CONTROL JOINTS MINIMUM 1/2" CONCRETE THICKNESS.
- EXPANSION JOINTS: WALKS @ 24' SPACING  
 OTHERS @ 40' SPACING
- PROVIDE EXPANSION JOINT AT ALL POINTS WHERE A CHANGE IN PAVEMENT THICKNESS OCCURS AND WHERE NEW PAVEMENT WILL MATCH EXISTING PAVEMENT.
- DOWEL ALL EXPANSION JOINTS AT 24" SPACING MAX.

- KEYNOTES**
- SEE ARCHITECTURAL SITE PLANS FOR ADDITIONAL SITE PLAN NOTES.
  - LANDSCAPE AREA: SEE LANDSCAPE PLAN.
  - MATCH EXISTING CURB/SIDEWALK/PAVEMENT.
  - CONCRETE WALK/PATIO.
  - CONCRETE VALLEY GUTTER.
  - CONCRETE PAVEMENT/APRON.
  - TRASH ENCLOSURE.
  - PEDESTRIAN CURB RAMP (NO TRUNCATED DOMES).
  - 4" SOLID WHITE LINE.
  - SOLID WHITE PAVEMENT MARKING.
  - 6" CONCRETE FILLED PIPE BOLLARD.
  - TRANSFORM PAD: FINAL LOCATION TO BE CONFIRMED BY CONTRACTOR AND ELECTRIC PROVIDER.
  - LIGHT POLE AND BASE.
  - MONUMENT SIGN.
  - FLAG POLE.
  - 6" RAISED CONCRETE INTEGRAL CURB ISLAND.



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**811**

Know what's below.  
 Call before you dig.

**CONTOUR CIVIL DESIGN**

P.O. BOX 59, COOKFORD, MINNESOTA, 55007  
 TEL: 612-955-2626 | WWW.CONTOURCIVIL.COM

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

NAME: JOSEPH T. BADACH PE  
 SIGNATURE: [Signature]  
 DATE: 01/06/26 LIC # 45889

REVISIONS	ISSUE DATE	BY	JTR
1			
2			
3			
4			
5			
6			
7			

**MAGNIFI FINANCIAL**  
 320 East Main Street  
 Minneapolis, MN 55402

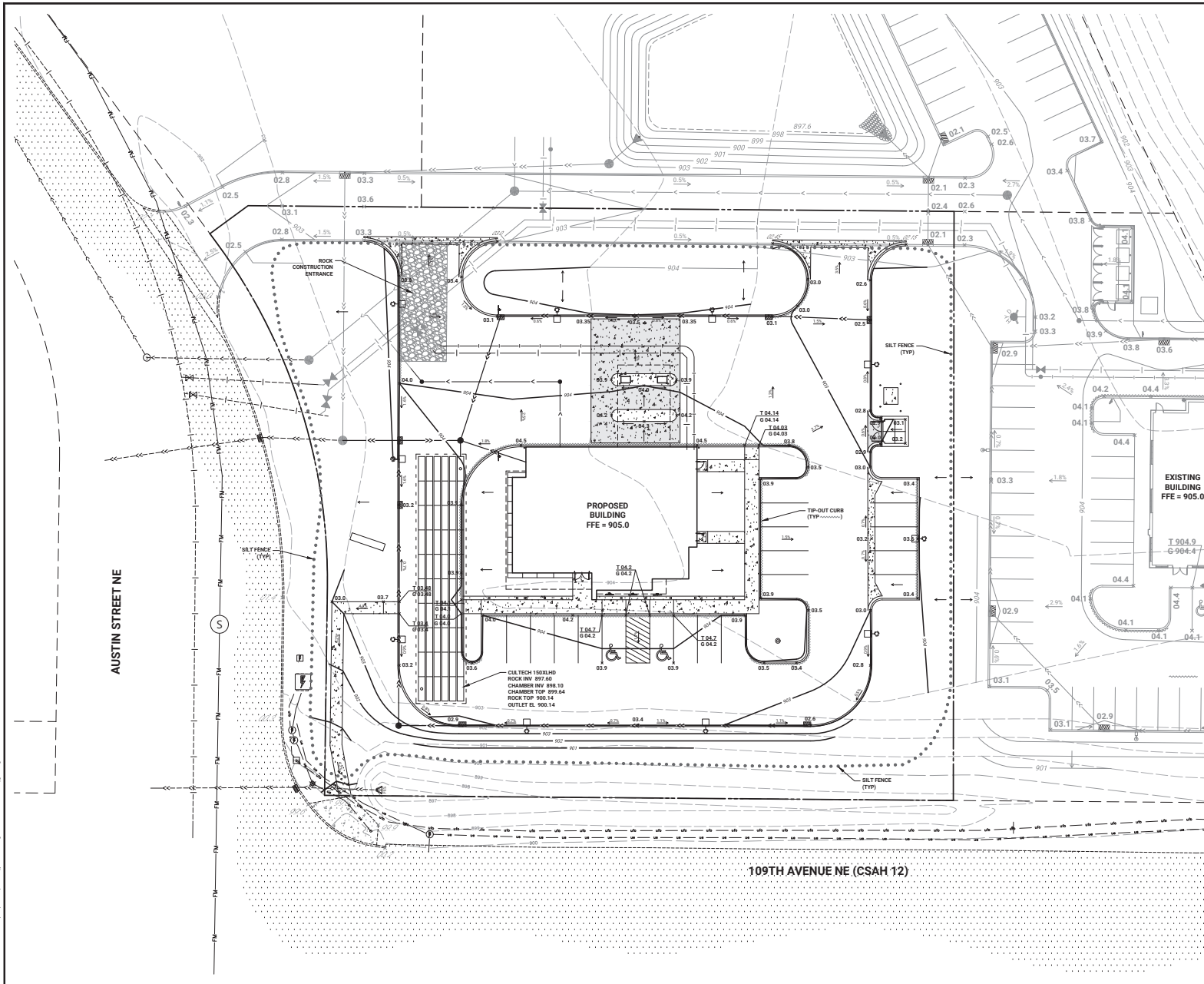
OWNER

**SITE PLAN**

**MAGNIFI FINANCIAL**  
 Blaine, MN 55449

SHEET NUMBER  
**C2.1**

01/06/26 11:41 AM (GMT-06:00) C:\Users\jtr\OneDrive\Documents\Projects\125271 - Magnifi Financial\125271 - Magnifi Financial\125271 - Magnifi Financial.dwg



EXISTING	PROPOSED	PROPERTY LINE
(Symbol)	(Symbol)	EASEMENT LINE
(Symbol)	(Symbol)	STANDARD PAVEMENT
(Symbol)	(Symbol)	CONCRETE WALK/STOOP
(Symbol)	(Symbol)	CONCRETE PAVEMENT
(Symbol)	(Symbol)	CURB LINE
(Symbol)	(Symbol)	STORM SEWER
(Symbol)	(Symbol)	SANITARY SEWER
(Symbol)	(Symbol)	FORCE MAIN
(Symbol)	(Symbol)	WATER MAIN
(Symbol)	(Symbol)	UNDERGROUND ELECTRIC
(Symbol)	(Symbol)	UNDERGROUND FIBER OPTIC
(Symbol)	(Symbol)	STORM CATCH BASIN
(Symbol)	(Symbol)	SANITARY MANHOLE
(Symbol)	(Symbol)	HYDRANT
(Symbol)	(Symbol)	GATE VALVE
(Symbol)	(Symbol)	LIGHT POLE
(Symbol)	(Symbol)	ELECTRIC MANHOLE
(Symbol)	(Symbol)	HANDHOLE
(Symbol)	(Symbol)	OTHER SYMBOLS
(Symbol)	(Symbol)	5' CONTOUR
(Symbol)	(Symbol)	1' CONTOUR
(Symbol)	(Symbol)	SPOT ELEVATION (CURB ELEVATIONS ARE TO OUTLET LINE)
(Symbol)	(Symbol)	SILT FENCE
(Symbol)	(Symbol)	ROCK ENTRANCE

**BENCHMARK**  
 MINNESOTA DEPARTMENT OF TRANSPORTATION  
 GSD STATION #62, NAME: UNO/INDT  
 ELEVATION: 929.35 (NAVD 88)

- GOVERNING SPECIFICATIONS**
- THE LATEST EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AND THE CITY OF BLAINE SPECIFICATIONS.
  - THE LATEST EDITION OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD).
  - THE LATEST EDITION OF THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM) STANDARD SPECIFICATIONS.

- GRADING NOTES**
- VEHICLE TRACKING REDUCTION DEVICE, SILT FENCE, AND EXISTING CATCH BASIN/NET PROTECTION SHALL BE INSTALLED PRIOR TO GRADING CONSTRUCTION AND SHALL BE MAINTAINED UNTIL THE SITE HAS BEEN STABILIZED.
  - CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO THE START OF GRADING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF DISCREPANCIES OR VARIATIONS FROM THE PLAN.
  - CONTRACTOR SHALL STRIP, STOCKPILE AND SPREAD SUFFICIENT TOPSOIL TO PROVIDE A MINIMUM OF 4" OF TOPSOIL OVER ALL DISTURBED AREAS THAT WILL BE SOILED, SEED OR LANDGRADED.
  - ALL DISTURBED AREAS MUST BE STABILIZED WITHIN 14 CALENDARS DAYS AFTER LAND-DISTURBING WORK HAS TEMPORARILY OR PERMANENTLY CEASED.
  - ALL SLOPES STEEPER THAN 3:1 SHALL HAVE MINDOT CAT 1 EROSION CONTROL BLANKET AND SEED, OR APPROVED EQUAL.
  - STOCKPILES SHALL BE STABILIZED WITHIN 14 DAYS OF ROUGH GRADING COMPLETION.
  - ALL WORK WITHIN THE ADJACENT STREET RIGHTS OF WAY MUST BE COORDINATED WITH AND APPROVED BY THE CITY PUBLIC WORKS DEPARTMENT.

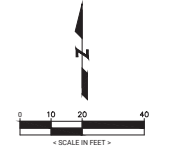


I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.  
 NAME: JOSEPH T. BADACH, PE  
 SIGNATURE: [Signature]  
 DATE: 01/06/25, LIC # 45889

REVISIONS	ISSUE DATE	BY	JTR
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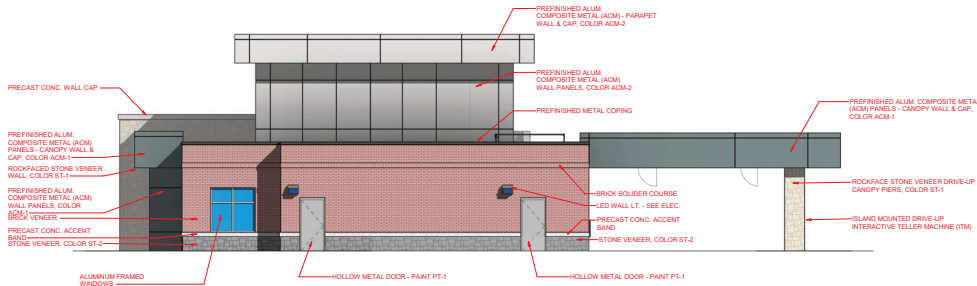
OWNER:  
**MAGNIFI FINANCIAL**  
 320 East Main Street  
 Melrose, MN 56352

GRADING AND DRAINAGE PLAN  
**MAGNIFI FINANCIAL**  
 Blaine, MN 55449  
 SHEET NUMBER  
**C4.1**

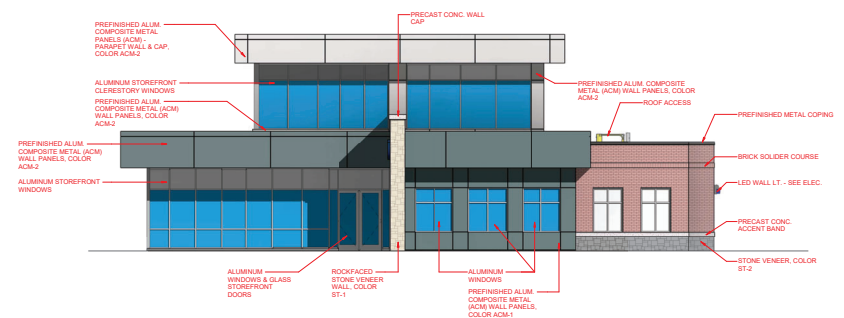


**CALL BEFORE YOU DIG**

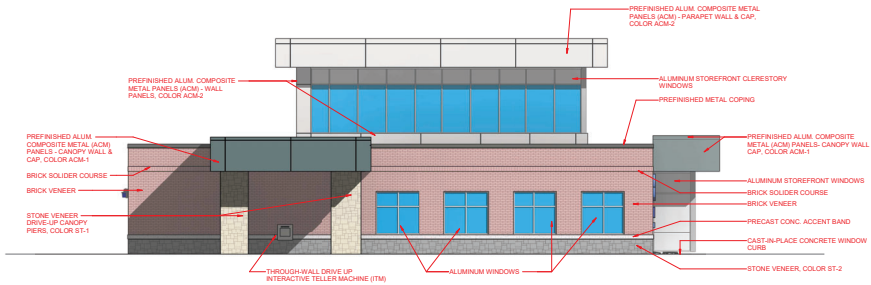
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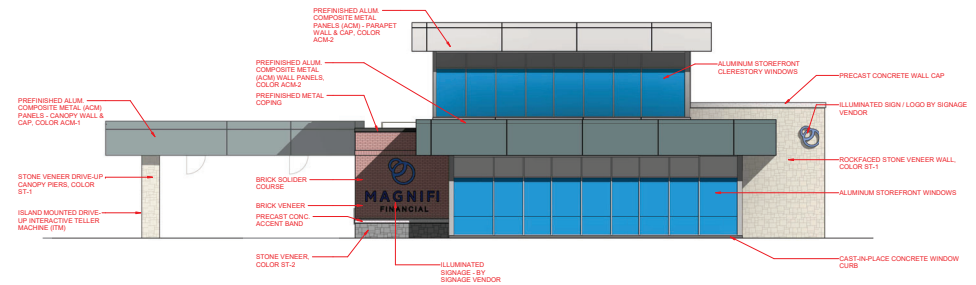
1 EAST ELEVATION  
1/8" = 1'-0"



3 SOUTH ELEVATION  
1/8" = 1'-0"



2 NORTH ELEVATION  
1/8" = 1'-0"



4 WEST ELEVATION  
1/8" = 1'-0"

PREFINISHED ALUMINUM COMPOSITE METAL PANELS, COLOR ACM-2	ARCHITECTURAL PRECAST CONCRETE, ACCENT BAND & WALL CAP	STONE VENEER WALL WATERTABLE, COLOR ST-2	STONE VENEER DRIVE-UP PIERS, MAIN ENTRY WALL, COLOR ST-1	PREFINISHED ALUMINUM COMPOSITE METAL PANELS, COLOR ACM-1	ALUMINUM STOREFRONT WINDOWS, CURTAIN WALLS & SILL FLASHING	BRICK VENEER & SOLDIER COURSE	PREFINISHED METAL WALL COPING
MFR: ALUCOBOND FINISH: PLATINUM MICA	MFR: STONEWORKS FINISH: NATURAL GRAY #1000, ACID ETCH FINISH	MFR: BUECHEL STONE FINISH: CUSTOM FOND DU LAC / CHILTON 50/50 TAILORED BLEND	MFR: BUECHEL STONE FINISH: FOND DU LAC TAILORED BLEND, 50% ROCKFACED	MFR: ALUCOBOND FINISH: STEEL CITY SILVER MICA	MFR: KAWNEER FINISH: CLEAR ANODIZED, CLASS I	MFR: GLEN-GERY FINISH: CABERNET BURGUNDY MODULAR FACEBRICK, VELOUR FINISH	MFR: PAC-CLAD FINISH: CHARCOAL GRAY

MATERIAL CLASSIFICATION

# A3 / EXTERIOR ELEVATIONS

**MAGNIFI FINANCIAL**  
251109  
BLAINE, MINNESOTA  
01/05/26

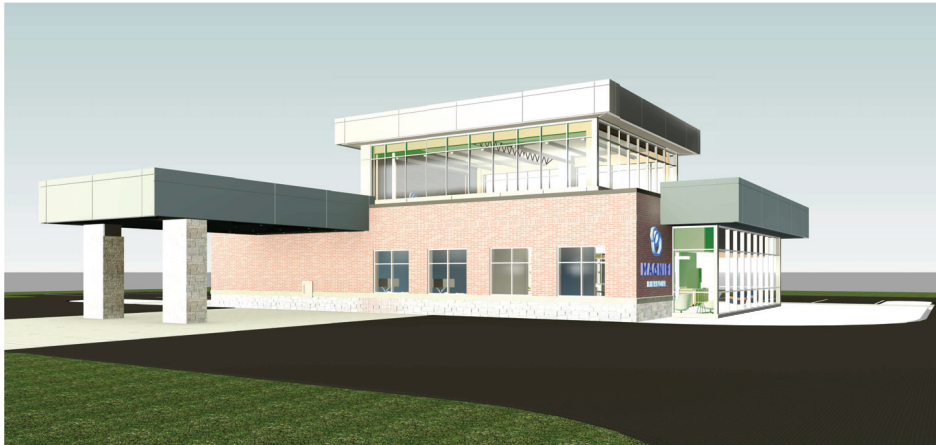




EXTERIOR MAIN ENTRY / WAITING



EXTERIOR MAIN ENTRY



EXTERIOR DRIVE-THRU

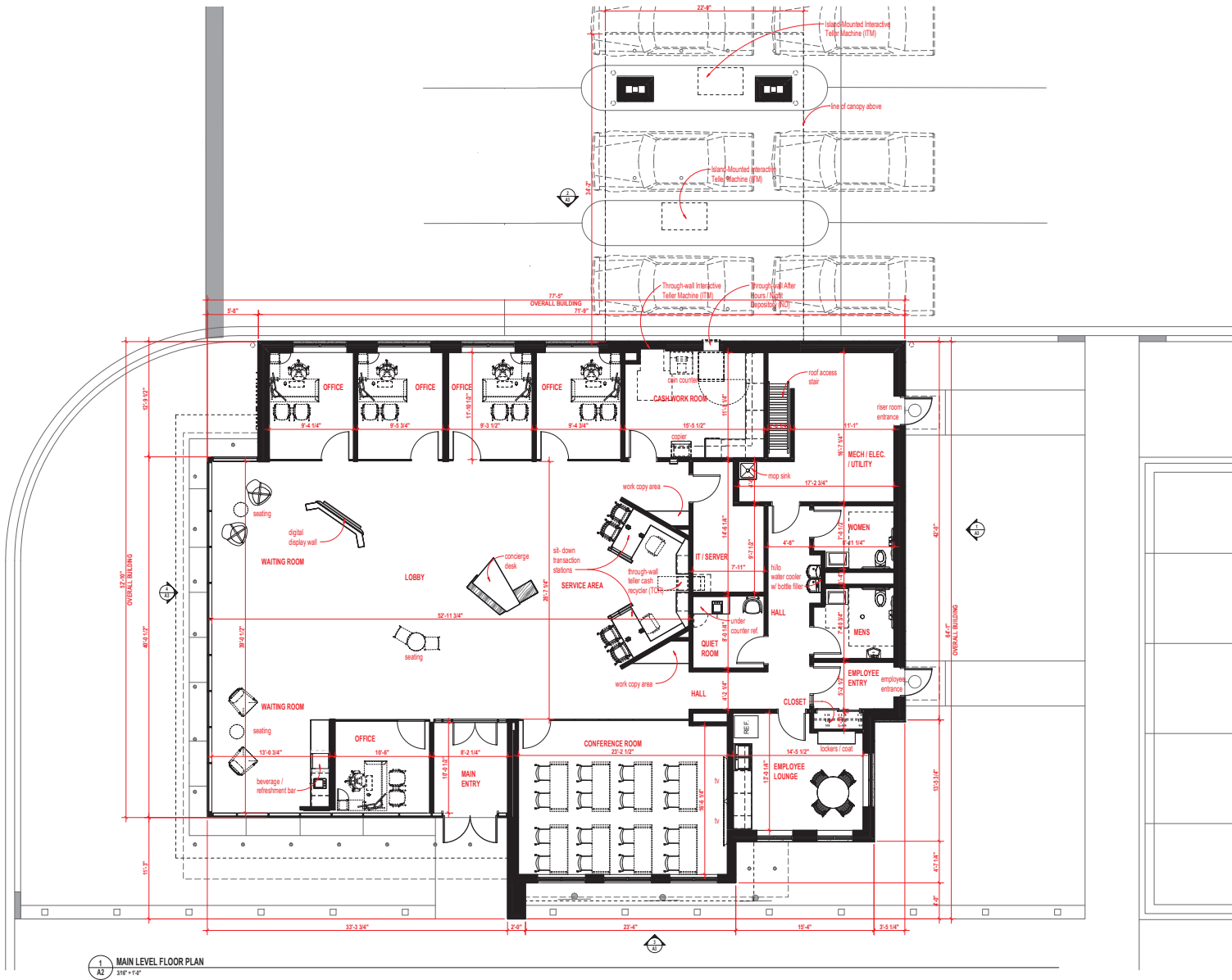


EXTERIOR EMPLOYEE ENTRY



EXTERIOR DRIVE-UP CANOPY

# A4 / EXTERIOR RENDERINGS



1  
A2 MAIN LEVEL FLOOR PLAN  
310' x 14'

# A2 / MAIN LEVEL FLOOR PLAN

GRAPHIC	MATERIAL	SPECIFICATION	NOTES
	ROCK MULCH	1.5" DIAMETER CRUSHED GRANITE ROCK MULCH	3" DEPTH
	WETLAND SEED MIX TYPE 'A'	BW 100% x #34-182 EMERGING WETLANDS	5 LBS/AC
	WETLAND SEED MIX TYPE 'B'	BW 100% x #35-242 EMERGING WETLANDS	36.5 LBS/AC
	WETLAND SEED MIX TYPE 'C'	BW 100% x #34-182 EMERGING WETLANDS	5 LBS/AC
	SOD	BLUEGRASS PEAT SOD	N/A

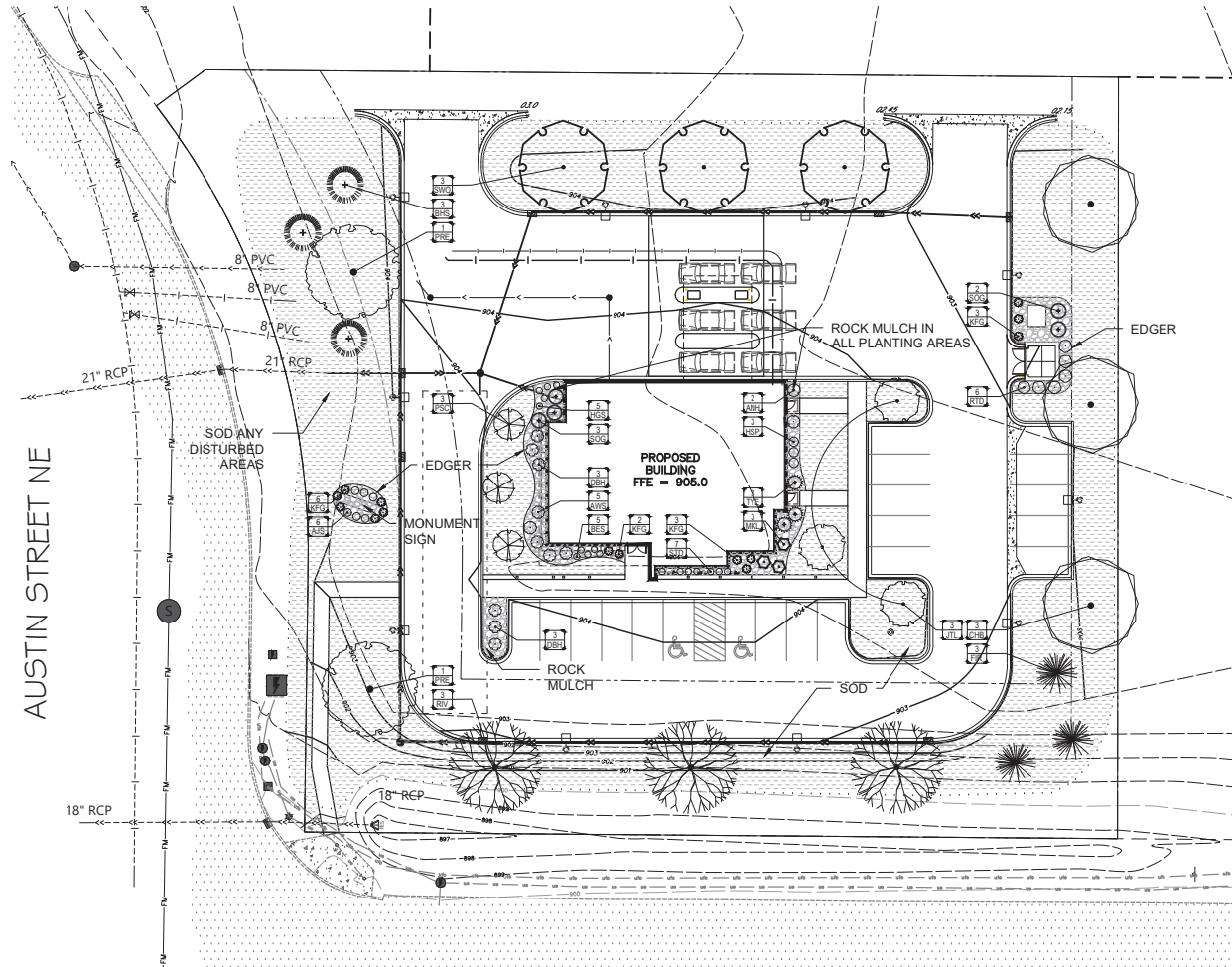
**GROUND COVER SCHEDULE:**

PER THE CITY OF BLAINE LANDSCAPE ORDINANCE, REQUIRED LANDSCAPE QUANTITIES FOR THIS PROJECT ARE DETERMINED BY USING THE FOLLOWING QUANTIFIABLE ELEMENTS:

- BUILDING AREA = 4,210 SF
- SITE PERIMETER = 1,072 LF
- LANDSCAPING REQUIRED AS FOLLOWS:
  - OVERSTORY TREES - THE GREATER OF THE FOLLOWING:
    - 1 per 2,000 SF OF BUILDING OR = 3 TREES
    - 1 per 100 LF SITE PERIMETER = 11 TREES
    - 11 PROVIDED
  - CONIFEROUS TREES - THE GREATER OF THE FOLLOWING:
    - 1 per 2,000 SF OF BUILDING = 3 TREES
    - 1 per 200 LF SITE PERIMETER = 6 TREES
    - 6 PROVIDED
  - ORNAMENTAL TREES - THE GREATER OF THE FOLLOWING:
    - 1 per 2,000 SF OF BUILDING = 3 TREES
    - 1 per 200 LF SITE PERIMETER = 6 TREES
    - 6 PROVIDED
  - SHRUBS - THE GREATER OF THE FOLLOWING:
    - 1 per 300 SF OF BUILDING = 14 SHRUBS
    - 1 per 30 LF SITE PERIMETER = 36 SHRUBS
    - 36 SHRUBS AND ORNAMENTAL GRASSES PROVIDED PLUS MISCELLANEOUS PERENNIALS

- TREES WILL BE PLANTED AT THE MINIMUM SIZES AS SHOWN ON THE PLANT SCHEDULE. PROPOSED MINIMUM SIZES ARE:
  - 2.5" CAL. FOR DECIDUOUS TREES
  - 6" HEIGHT FOR CONIFEROUS TREES
  - 2.0" CAL. FOR ORNAMENTAL TREES
  - 24" HEIGHT FOR SHRUBS

**LANDSCAPE CALCULATIONS:**



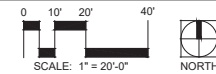
**OVERALL LANDSCAPE PLAN:**

SYM	QTY	COMMON NAME	SCIENTIFIC NAME	SIZE	CONT	COMMENTS
<b>DECIDUOUS SHRUBS</b>						
ANHT	2	ANNABELLE HYDRANGEA	<i>Hydrangea arborescens 'Annabelle'</i>	24" HGT	POT	4 O.C.
AWIS	5	ANTHONY WATERER SPIREA	<i>Spiraea x bumalda 'Anthony Waterer'</i>	24" HGT	POT	4 O.C.
DBH	6	DWARF BUSH HONEY SUCKLE	<i>Lonicera japonica</i>	24" HGT	POT	4 O.C.
MKL	3	MISS KIM LILAC	<i>Syringa patula 'Miss Kim'</i>	24" HGT	POT	5 O.C.
RTD	6	RED TWIGGED DOGWOOD	<i>Cornus sericea 'Balladine'</i>	24" HGT	POT	4 O.C.
<b>CONIFEROUS SHRUBS</b>						
SGJ	5	SEA OF GOLD JUNIPER	<i>Juniperus x procumbens 'Sea of Gold'</i>	5 GAL	POT	5 O.C.
TYE	3	TAUNTON YEW	<i>Taxus x media 'Taunton'</i>	5 GAL	POT	5 O.C.
<b>ORNAMENTAL GRASSES</b>						
KFG	14	KARL FOERSTER GRASS	<i>Calamagrostis x acutiflora 'Karl Foerster'</i>	2 GAL	POT	-
<b>PERENNIALS AND GRASSES</b>						
AJS	5	AUTUMN JOY SEDUM	<i>Sedum x 'Autumn Joy'</i>	1 GAL	POT	24" O.C.
BES	5	BLACK EYED SUSAN	<i>Rudbeckia hirta</i>	1 GAL	POT	24" O.C.
HGS	5	HOSTA - GOLD STANDARD	<i>Hosta x 'Gold Standard'</i>	1 GAL	POT	24" O.C.
HSP	3	HOSTA - SUN POWER	<i>Hosta x 'Sun Power'</i>	1 GAL	POT	30" O.C.
STD	7	STELLA d'ORO DAVILY	<i>Hemerocallis x 'Stella d'Or'</i>	1 GAL	POT	18" O.C.

**PLANTING SCHEDULE (THIS PAGE ONLY):**

<b>DECIDUOUS TREES</b>						
CHB	3	COMMON HACKBERRY	<i>Celtis occidentalis</i>	2.5" CAL	B&B	SINGLE STEM
PRE	2	PRINCETON ELM	<i>Ulmus americana 'Princeton'</i>	2.5" CAL	B&B	SINGLE STEM
RWJ	3	RIVER BIRCH	<i>Betula nigra</i>	2.5" CAL	B&B	SINGLE STEM
SWO	3	SWAMP WHITE OAK	<i>Quercus bicolor</i>	2.5" CAL	B&B	SINGLE STEM
<b>ORNAMENTAL TREES</b>						
JL	3	JAPANESE TREE LILAC	<i>Syringa reticulata 'Ivory Silk'</i>	2" CAL	B&B	SINGLE STEM
PSC	3	PINK SPIRES CRABAPPLE	<i>Malus x 'Pink Spires'</i>	2" CAL	B&B	SINGLE STEM
<b>EVERGREEN TREES</b>						
FIR	3	WHITE FIR (aka CONCOLOR FIR)	<i>Abies concolor</i>	6" HGT	B&B	FULL FORM
BHS	3	BLACK HILLS SPRUCE	<i>Picea glauca densata</i>	6" HGT	B&B	FULL FORM

**TREE PLANTING SCHEDULE:**



14165 James Road - Suite 200A  
Rogers, MN 55374  
Phone: 612-237-8355  
www.insideoutsidearchitecture.com

Project Name:  
**MAGNIFI FINANCIAL**

Blaine, Minnesota

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Name: Paul Kangas  
Registration #: 26017

Signature: Paul Kangas

Project #: 25-002

Date: CITY SUBMITTAL | 1-9-2026

Revision:

Drawn By: PK

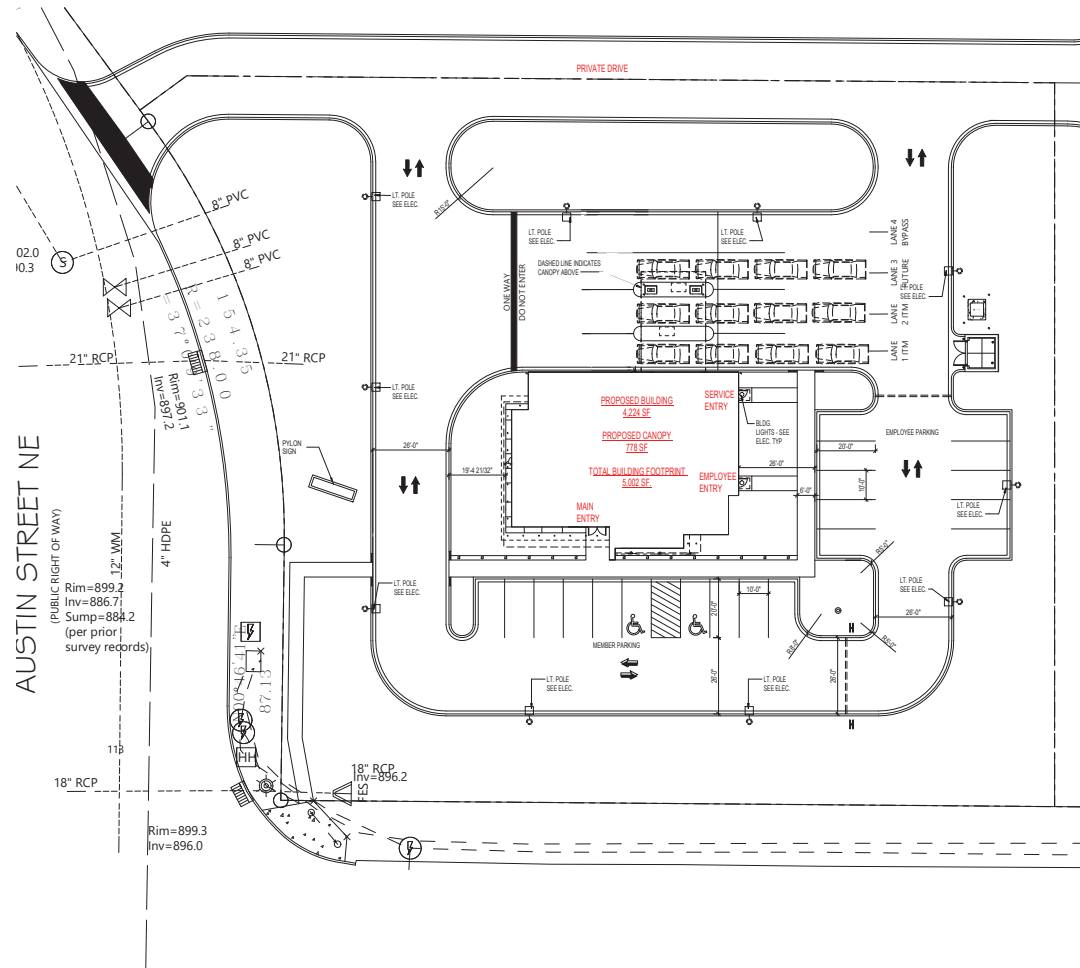
Checked By: PK

Sheet Title:

**LANDSCAPE PLAN**

Sheet Number:

**L1-1**



1 SITE PLAN  
A1 1" = 20'

# A1 / ARCHITECTURAL SITE PLAN



# City of Blaine

## Planning Commission

---

February 10, 2026 | 7:00 PM  
Blaine City Hall  
10801 Town Square Drive NE  
Blaine, MN 55449

### MINUTES

#### 1. Call to Order

The Blaine planning commission met in the City Hall Chambers on Tuesday, February 10, 2026. Chair Goracke called the meeting to order at 7:00PM.

#### 2. Roll Call

Members Present: Commission Members Halpern, Howard, Olson and Chair Goracke.

Members Absent: Commission Members Geiselhart, Gorzycki and Swanson.

Staff Present: Shawn Kaye, Planner  
Alex Koberoski, Assistant Planner  
Teresa Barnes, Project Engineer

#### 4. Public Hearing

- 4.1. 2026-25 Case File No. 26-0001 // Magnifi Financial // 10903 Austin Street NE  
The applicant is requesting a conditional use permit to construct a bank with a zero lot line (north property line) in a Development Flex (DF) zoning district.  
*Sponsors: Alex Koberoski, Assistant Planner*

The report to the planning commission was presented by Alex Koberoski, Assistant Planner. The public hearing for Case File 26-0001 was opened at 7:04PM. As no one wished to appear, the public hearing was closed at 7:05PM.

**Motion by Commissioner Howard to recommend approval of Planning Case 26-0001 based on the following conditions:**

**Case 26-0001:**

1. **Site plan approval will be required as a part of the building permit application. All site improvements to be included in the Site Improvement Performance Agreement (SIPA) and covered by an acceptable financial guarantee.**
2. **No outside display or storage of products is allowed at any time on site.**
3. **Any proposed change in use requires a CUP amendment.**
4. **All signage requires a separate permit meeting the requirements of the zoning ordinance.**
5. **Temporary signage to be regulated under Zoning Ordinance Section 133-12.**
6. **No exterior overnight storage of pallets or delivered products.**
7. **All lighting on site must meet requirements established by Section 129-2 of the Zoning Ordinance.**
8. **A copy of the shared access agreement with all sites must be submitted to the Planning Department prior to issuance of Certificate of Occupancy.**
9. **An issued Rice Creek Watershed District permit will be required to be received by the City prior to the proposed project receiving any city approval.**
10. **At least 50 percent of all exterior wall finishes on any building shall be comprised of a combination of at least three of the following materials with all materials present on each elevation:**
  - **Brick**
  - **Natural or cultured stone**
  - **Glass.**
  - **Stucco or exterior insulation and finish systems (EIFS)**
  - **Fiber cement or composite siding**
  - **Architectural metal**
  - **Integrally colored rock-faced block**
11. **The following minimum setbacks are required:**
  - **Building**
    - **Front: 50 feet**
    - **Side: 15 feet**
    - **Rear: 20 feet**
  - **Parking**
    - **Front: 30 feet**
    - **Side: 15 feet**
    - **Rear: 15 feet**
12. **The property must receive final plat approval prior to any development occurring on site.**

**Motion seconded by Commissioner Halpern. The motion passed 4-0.**

Chair Goracke noted this would be on the agenda of the March 2, 2026 city council meeting.



# City of Blaine Staff Report

File Number: ORD 26-2602

Agenda Date	Status
-------------	--------

March 2, 2026

In Control	File Type
------------	-----------

City Council

Ordinance

**Development Business** - Sheila Sellman, Community Development Director

## Agenda Item # 9.2

First Reading

Ordinance Approving a Rezoning from Farm Residential (FR) to Development Flex (DF) at 3700 and 3900 125th Avenue NE. Pulte Group (Ravenwood) (Case File No. 25-0056/SLK)

## Executive Summary

The applicant is requesting a rezoning from Single Family (R-1) to Development Flex (DF) to construct 79 single-family homes and 56 twinhomes.

## Background

Planning Commission (Public Hearing)	02/10/26
City Council (1st Reading)	03/02/26
City Council (2nd Reading)	04/06/26
Action Deadline (60 Days)	03/14/26
Action Deadline (60 Days - City Extended)	05/13/26

Staff report prepared by Shawn Kaye, Planner, and Teresa Barnes, Project Engineer

## Rezoning

Section 101-3 Criteria for granting zoning/comprehensive plan amendments:

The City Council may adopt amendments to the zoning ordinance, zoning map, and comprehensive plan relative to land uses within a particular district or to the location of the district lines. Zoning amendments shall only be used as a means to reflect changes in the goals and policies of the City as reflected in the comprehensive plan or changes in conditions in the City. Although there are no explicit findings that must be made in conjunction with rezoning, appropriate considerations include:

- Whether the proposed district is consistent with the Comprehensive Plan.
- How the proposed district differs from the existing district.

- How the proposed district meets the goals and polices of the City.

## **Evaluation of Request**

### **Planning Analysis**

#### Surrounding Zoning and Uses

North, West, and South - Vacant land, single-family homes and wetlands zoned Farm Residential (FR).  
East - Zoned Town Commercial (B-5) and currently vacant.

#### Current and Proposed Land Use

The majority of the property is guided Low Density Residential (LDR) with a small portion guided Planned Industrial/Planned Commercial (PI/PC). The applicant proposes a comprehensive plan amendment for the whole site to L-MDR.

The proposed land use designation is consistent with the adjacent residential properties and the addition of L-MDR is an appropriate land use to be located adjacent to existing commercial land use. The L-MDR zoning district allows for twin homes.

#### Current Zoning

The property is currently zoned FR. The FR district is intended for areas where urban services are not presently available. In order to develop, a rezoning is necessary.

#### Proposed Zoning

The Development Flex (DF) District is intended to provide for greater flexibility in land use planning and maximize the choice of housing types and styles than is possible under the strict application of other sections of this subpart. The DF district also attempts to create a reasonable balance between the interests of the property owner in freely developing said owner's property with greater flexibility in land uses, and at the same time, protect the interest of surrounding properties in the following ways:

- (1) By encouraging a more creative approach in housing developments, that will result in quality living environments through innovative design and aesthetic controls.
- (2) By permitting a combination of housing types and style, including single-family, two-family, and multiple-family dwellings, with the exception of manufactured homes.
- (3) By allowing flexibility in design by permitting cluster developments and a variety of architectural styles and treatments.
- (4) By allowing for any type of ownership, private, condominium, or rental.
- (5) By allowing flexibility in setback and height restrictions.
- (6) By allowing nonresidential uses, such as commercial or light industrial uses which will serve the inhabitants of such district, provided such nonresidential uses will enhance the character, amenities, and convenience of those who live in the proposed development.
- (7) By providing an efficient use of land resulting in more cost-efficient installation of utilities, streets, and other facilities.
- (8) By encouraging the preservation of common open space, recreational facilities, natural features, such as woodland and wetland areas.
- (9) By contributing to the tax base of the community without making undue demands on the community service.
- (10) By providing the means for greater creativity and flexibility in environmental design than is

provided under the strict application of the city zoning regulations and subdivision ordinance, while, at the same time, preserving the health, safety, order, convenience, prosperity, and general welfare of the city and its inhabitants.

### Land Use Designation

Most of the property is designated as LDR and allows 2.5–6 units per acre, and an approximately 12 acre area in the northeast corner of the property has a PI/PC land use. However, LDR and PI/PC do not allow townhomes. Therefore, the applicant is requesting a land use destination of L-MDR to allow townhomes but still allow a density of 3.1 units per acre.

### Existing Conditions

The three subject properties are a total of approximately 83 acres and have an existing single-family home with accessory buildings on the two western parcels. The larger eastern parcel has accessory buildings located on the parcel. The site has vast amounts of wetlands and may have plants categorized as endangered species.

### History

The City Council reviewed a concept plan in May 2025 that included 83 65-foot-wide single-family lots and 91 townhomes. Council consensus in May was to not support a land use change to allow townhomes as many council members wanted to see unique homes on larger lots. In October 2025, the applicant submitted a revised concept plan that they felt provided upscale single-family homes on 70-foot lots, and twin homes which target the move-down, or retiree buyer. The site plan met the comprehensive plan's minimum density requirements.

The consensus of the City Council was that they were receptive to the changes the applicant made to the plans in October 2025, but no definitive direction was given.

### Plat

The preliminary plat creates 79 single-family lots and 56 twinhome lots, one common lot, and 11 outlots for ponding, wetlands, and future development. The DF zoning district does not have minimum lot sizes. The lot width of the single-family lots is 70 feet and the twinhome lots are 39 feet wide.

Lots range from 3,393 s.f to 12,687 s.f. As proposed, the lot sizes are as follows:

- Common Lot - 12.01 acres
- Outlot A - 2.24 acres
- Outlot B - .10 acres
- Outlot C - .06 acres
- Outlot D - 3.57 acres
- Outlot E - 6.68 acres
- Outlot F - .81 acres
- Outlot G - 6.03 acres
- Outlot H - 16.55 acres
- Outlot I - 2.89 acres
- Outlot J - .12 acres
- Outlot K - .15 acres

## Architecture

The proposed single-family homes and twinhomes will have varying roof styles and exterior treatments. All homes constructed should be consistent in architecture, materials and style with the drawings/elevations submitted for Conditional Use Permit (CUP) approval. Use of premium materials such as stone accents on all front elevations and LP smart siding on all elevations for the single-family homes. Each twinhome will have stone and LP siding fronts and LP siding on sides and rears.

## Setbacks

The DF zoning district does not have set standards for setbacks; these are determined as part of the CUP.

The setbacks are as follows:

### **Single Family-70 foot lots**

- Front yard setback - 25 feet
- Side yard setback - 10 feet (house and garage)
- Corner side yard setback - 20 feet
- Rear yard setback - 30 feet

### **Twinhomes Lots**

- Front yard porch setback - 18 feet to back of curb
- Front yard garage/house setback - 25 feet to back of curb
- Side yard setback (between buildings) - 20 feet
- Corner side yard setback - 20 feet
- 0 lot line for shared walls

## Parking

In addition to the two garage stalls per unit and two driveway stalls for the twinhomes, there shall be one parking space for each three units for guest parking. The site plan has 27 guest parking stalls shown. The parking provided meets the zoning ordinance requirement.

## Landscaping

The landscape plan proposes one front yard tree, one rear yard tree and additional trees on corner lots in the single-family home area. The twinhomes will provide one overstory, one conifer, and one ornamental tree per unit. Additional trees will be planted adjacent to 125th Avenue. The proposed landscape plan meets requirements.

The city forester has reviewed the landscape plan and is requiring the substitution of 21 Northwood Red Maple and 19 Red Oak for different species, either Ginkgo, London Planetree, Horse Chestnut, Musclewood.

## Tree Preservation

Approximately 31.65 acres of trees will be disturbed during construction and the City's tree preservation requirement includes replacing eight trees per acre for all disturbed portions of the

development. This would mean that 254 trees would be required for tree replacement purposes.

The developer has proposed a total of 400 trees to be planted within this development. The tree preservation replacement requirement has been met. A total of 8.15 acres of trees are proposed to be saved on the site.

#### Park Dedication

Park dedication will be required for the 135 new residential lots being constructed at the rate of \$5,800 per unit (2026 rate) for a total park dedication fee of \$783,000 if paid in 2026. This amount must be paid prior to releasing the plat mylars for recording at Anoka County.

### **Engineering Analysis**

#### Grading/Storm Drainage

The developer is proposing to grade the entire site as shown on the Rice Creek Watershed District (RCWD) and city approved grading, drainage, erosion protection and sediment control plans prepared by the developer's engineer. The plans shall include existing drainage patterns (contours) with flow arrows, soil boring locations, perimeter site protection, tree preservation, tree clearing limits, custom grading, proposed grading contours, proposed drainage patterns with flow arrows, storm water management, SWPPP information, temporary erosion protection Best Management Practices (BMPs), and temporary sediment control BMPs information for the site. The SWPPP may be included in the construction plan sheet(s) or prepared as a separate document and included in the development construction contract specifications.

The developer will also need to submit construction contract documents that include a mass (rough) grading, erosion protection, sediment control, development, utilities, roadway, and storm drainage plan sheets. Supporting wetland delineation report, geotechnical investigation report, soil boring logs, and hydrology report shall be included in the submittal for city review and approval.

The grading plan shall provide greater detail on protecting existing trees and additional information on the adjacent property.

For each lot a house is proposed to be constructed on, as-built surveys shall be required to verify structure elevations, custom grading requirements, and final lot grading elevations.

#### Utilities

The developer will be responsible for trunk sanitary sewer area charges. These charges become due with platting for upland acreage. The 2026 rate for Sanitary Sewer District 7 is \$8,883.00 per upland acre and will be applied to the acreage platted.

Standard water and sanitary sewer access charges (WAC & SAC) become due with each building permit at the rate established at the time the building permit is issued.

Utilities will be extended to the edge of the plat for future connection to adjacent parcels.

The developer shall provide an exhibit that denotes the public versus private areas of the storm drainage system. Outlots that will remain private shall also be included in the exhibit.

Hydrant locations must be reviewed and approved by the Fire Department.

Developer shall explore water source for landscape irrigation systems installed throughout the development, including the possible use of created ponds or storm water reuse.

#### Wetlands/Watershed/FEMA

The plat will need to provide for a protective buffer strip of natural vegetation at least 15-feet in width (25-feet is preferred) and shall surround all wetlands. This buffer strip shall be placed in the easement.

The developer will need to submit the project to RCWD. Review, approval and permits are required prior to city plan approval and start of site work.

The development shall indicate that all structures are protected from flooding by processing a Letter of Map Change with FEMA prior to issuance of building permits within the unnumbered A-Zone on the FEMA flood map. Developer shall provide all FEMA paperwork and structure as-built surveys to homeowners at time of lot closing. Developer is responsible for following through with FEMA (as necessary) to receive final documents, to provide those documents to the homeowners, and to record these on the certificate of title for each parcel in the development.

#### Access/Street Design/Sidewalks/Trails

The development is proposing to gain/provide access from a connection to Zest Street NE.

The developer will be required to grant right of entry to the City of Blaine so that a second monitoring well can be constructed within the existing easement area along 125th Avenue.

The developer shall provide a construction cost estimate that includes costs for the construction of the section of Lakes Parkway that is within the property limits. These additional escrow funds will be required to be provided to the City to allow for completion of this roadway when necessary.

All local roads shall be constructed to 29-foot back-to-back of width and will extend to the edge of the plat for future connection with adjacent parcels.

Six-foot concrete sidewalks are required to be constructed on one side of all local streets. Location to be determined in the plan review process.

The trail along the south side of 125<sup>th</sup> Avenue shall be maintained and/or modified as per the approved construction drawings.

As part of the street design, the development will be required to provide streetlights installed in the manner, location and type prescribed by the city engineer. The developer shall pay the costs of all the street lighting installations. The City agrees to pay the cost of maintaining the portion of the lights that are installed that reflect the normal and typical lighting requirements by the City.

#### Easements/Right-of-way/Permits

The developer will need to obtain all required permits to construct the proposed project. A copy of all permits will need to be submitted to the City prior to any site work.

Standard drainage and utility easements shall be dedicated along all lot lines and over areas of delineated wetlands, wetland mitigation, infiltration trenches, drainage swales, and storm water management ponds.

All local public streets require dedication of 60-feet of right-of-way.

The developer is to provide access for inspection and maintenance of storm water management infrastructure. This maintenance access shall be a minimum of 10-feet wide and allow for vehicular access. Restrictions will be placed on lot lines as needed to limit fences and landscaping to ensure access.

**Attachment List:**

- Zoning and Location Map
- Preliminary Plat
- Grading Plan
- Landscape Plan
- Tree Preservation Plan
- House Elevations
- Ghost Plat
- Existing and Proposed Zoning
- Existing and Proposed Land Use
- Narrative
- Neighborhood Meeting Summary
- Unapproved Planning Commission Minutes 2/10/26

**Strategic Plan Relationship**

Not applicable.

**Board/Commission Review**

The Planning Commission voted unanimously to approve the rezoning. The meeting minutes are attached for reference to the public hearing comments.

**Financial Impact**

Not applicable.

**Public Outreach/Input**

Notices of a public hearing were:

1. Mailed to property owners within 350 feet of the property boundaries.
2. Published in Blaine/Spring Lake Park/Columbia Heights/Fridley Life.
3. Posted on the City website.

4. Posted (sign) on the property with contact information for the Planning Department.

In accordance with the Neighborhood Meeting Policy, a neighborhood meeting was held on February 5, 2026. A summary of the meeting is attached. Comments included questions related to site access and when Lakes Parkway extension will be constructed.

### Staff Recommendation

By motion, introduce the ordinance for first reading and direct that it be placed on file for second reading at the April 6, 2026, council meeting.

### Attachment List

1. Attachments
2. Unapproved 021026 PC Minutes



# City of Blaine

Signature Copy

Ordinance: ORD 26-2602

## First Reading

### Ordinance Approving a Rezoning from Farm Residential (FR) to Development Flex (DF) at 3700 and 3900 125th Avenue NE. Pulte Group (Ravenwood) (Case File No. 25-0056/SLK)

**THE CITY OF BLAINE DOES ORDAIN:** (Added portions are underscored and deleted portions are shown with overstrike.)

Section 1. The Official Zoning Map of the Zoning Code of the Municipal Code of the City of Blaine is hereby amended to change the zoning classification of the following described property:

The North 2000 feet of the West 1170 feet of Northeast Quarter (NE1/4) of Section Eleven (11), Township Thirty-one (31), North of Range Twenty-Three (23) West of the Fourth Principal Meridian EXCEPT the South 310.00 feet of the North 1130.00 feet of the West 702.58 feet thereof.

Also EXCEPTING Parcel 50, ANOKA COUNTY HIGHWAY RIGHT-OF-WAY PLAT NO. 46, Anoka County, Minnesota.

AND

The South 310.00 feet of the North 1130.00 feet of the West 702.58 feet of Northeast Quarter of Section 11, Township 31, North of Range 23 West of the Fourth Principal Meridian.  
(Torrens Property)

AND

That part of the East Half of the Northwest Quarter of Section 11, Township 31, Range 23, Anoka County, Minnesota, described as follows: Commencing at the North One-Quarter corner of Section 11, Township 31, Range 23; thence West along the North line of Section 11, a distance of 490 feet; thence South and parallel to the East line of the Northwest Quarter of Section 11, to the South line of the said Northwest Quarter of Section 11; thence East along the south line of the said Northwest Quarter to the Southeast Corner thereof; thence North along the East line of said Northwest Quarter to the point of commencement, Anoka County, Minnesota.

EXCEPT Parcel 49, ANOKA COUNTY HIGHWAY RIGHT-OF-WAY PLAT NO. 46, Anoka County, Minnesota.  
(Abstract Property)

Section 2. The above described property is hereby rezoned from:

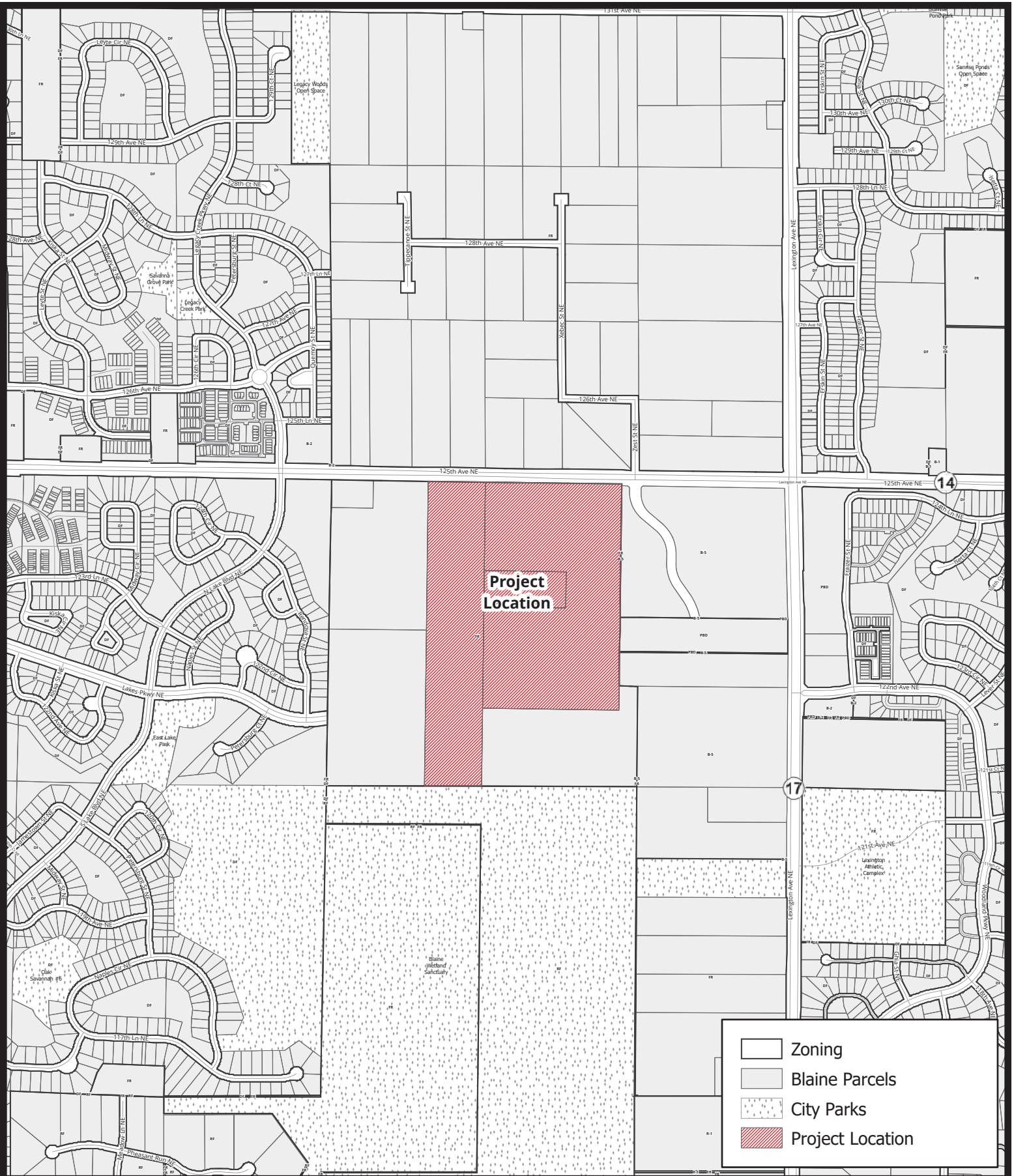
~~Farm Residential~~  
to

Development Flex

Section 3. The City Manager is hereby directed to make the appropriate changes in the Official Zoning Map of the City of Blaine to reflect and show the changes in zoning classification as set forth above.

**INTRODUCED** and read in full this 2nd day of March, 2026.

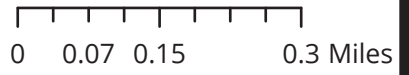
**PASSED** by the City Council of the City of Blaine this     day of     20\_\_.



**Project Location**

	Zoning
	Blaine Parcels
	City Parks
	Project Location

**Case File No. 25-0056**  
**Ravenwood**



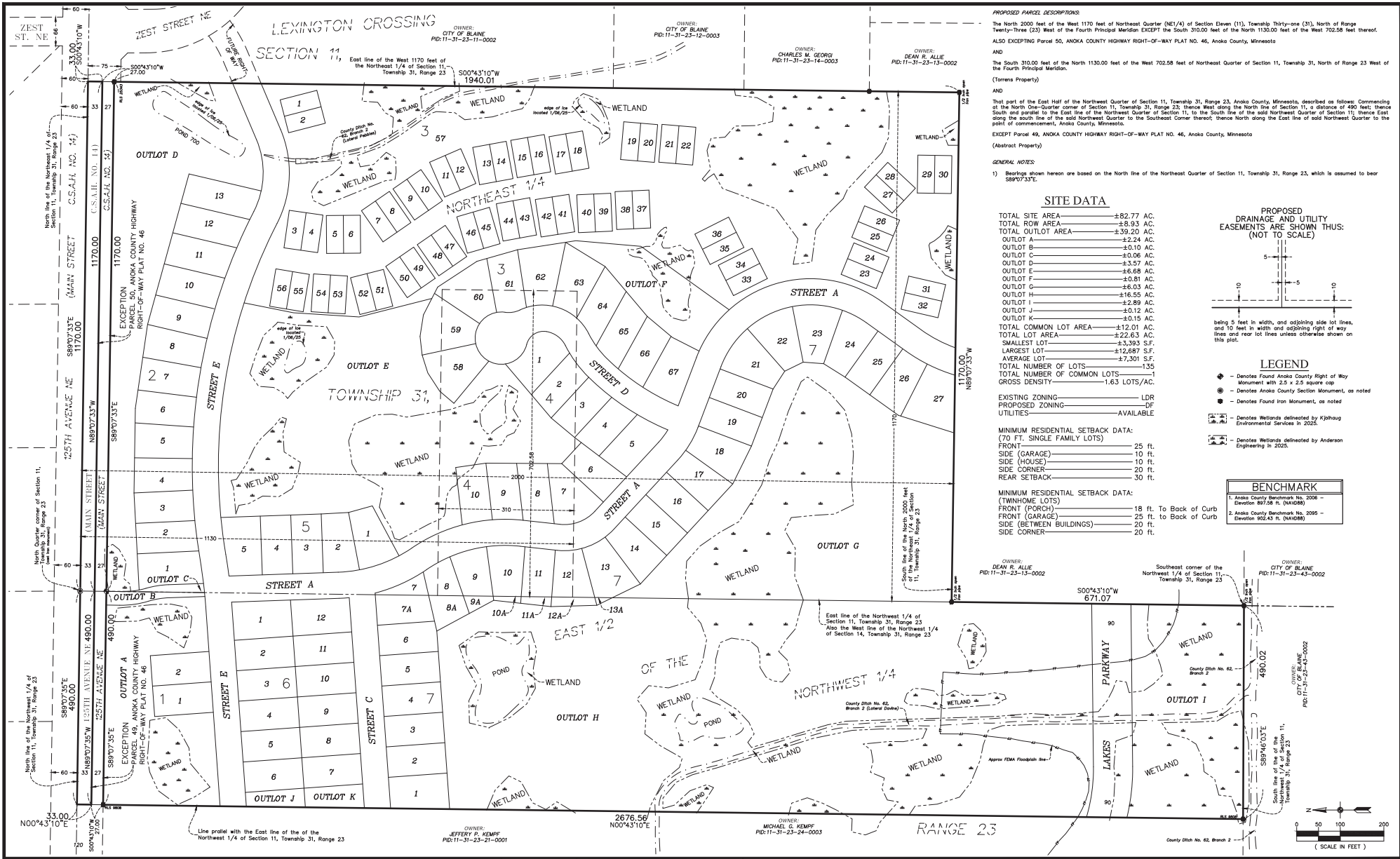
Scale: 1:12,878



BlaineMN.gov

Blaine Planning Department / 10801 Town Square Dr NE / Blaine, MN 55449 / (763) 785-6180





**PROPOSED PARCEL DESCRIPTIONS**

The North 2000 feet of the West 1170 feet of Northeast Quarter (NE1/4) of Section Eleven (11), Township Thirty-one (31), North of Range Twenty-Three (23) West of the Fourth Principal Meridian EXCEPT the South 310.00 feet of the North 1130.00 feet of the West 702.58 feet there. ALSO EXCEPTING Parcel 50, ANOKA COUNTY HIGHWAY RIGHT-OF-WAY PLAT NO. 46, Anoka County, Minnesota

AND

The South 310.00 feet of the North 1130.00 feet of the West 702.58 feet of Northeast Quarter of Section 11, Township 31, North of Range 23 West of the Fourth Principal Meridian. (Torens Property)

AND

That part of the East Half of the Northwest Quarter of Section 11, Township 31, Range 23, Anoka County, Minnesota, described as follows: Commencing at the North One-Quarter corner of Section 11, Township 31, Range 23 thence West along the North line of Section 11, a distance of 490 feet; thence South and parallel to the East line of the Northwest Quarter of Section 11, to the South line of the said Northwest Quarter of Section 11; thence East along the south line of the said Northwest Quarter to the Southeast Corner thereof; thence North along the East line of said Northwest Quarter to the point of commencement, Anoka County, Minnesota.

EXCEPT Parcel 49, ANOKA COUNTY HIGHWAY RIGHT-OF-WAY PLAT NO. 46, Anoka County, Minnesota

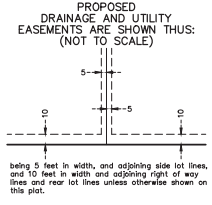
(Abstract Property)

**GENERAL NOTES**

1) Boundaries shown hereon are based on the North line of the Northeast Quarter of Section 11, Township 31, Range 23, which is assumed to bear S89°07'33"E.

**SITE DATA**

TOTAL SITE AREA	= 82.77 AC.
TOTAL ROW AREA	= 8.93 AC.
TOTAL OUTLOT AREA	= 39.20 AC.
OUTLOT A	= 2.24 AC.
OUTLOT B	= 0.10 AC.
OUTLOT C	= 0.06 AC.
OUTLOT D	= 3.57 AC.
OUTLOT E	= 6.68 AC.
OUTLOT F	= 0.81 AC.
OUTLOT G	= 6.03 AC.
OUTLOT H	= 16.55 AC.
OUTLOT I	= 2.89 AC.
OUTLOT J	= 0.12 AC.
OUTLOT K	= 0.15 AC.
TOTAL COMMON LOT AREA	= 112.01 AC.
TOTAL LOT AREA	= 22.63 AC.
SMALLEST LOT	= 3.393 S.F.
LARGEST LOT	= 12,687 S.F.
AVERAGE LOT	= 17,301 S.F.
TOTAL NUMBER OF LOTS	= 135
TOTAL NUMBER OF COMMON LOTS	= 1
GROSS DENSITY	= 1.63 LOTS/AC.

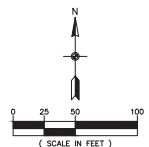
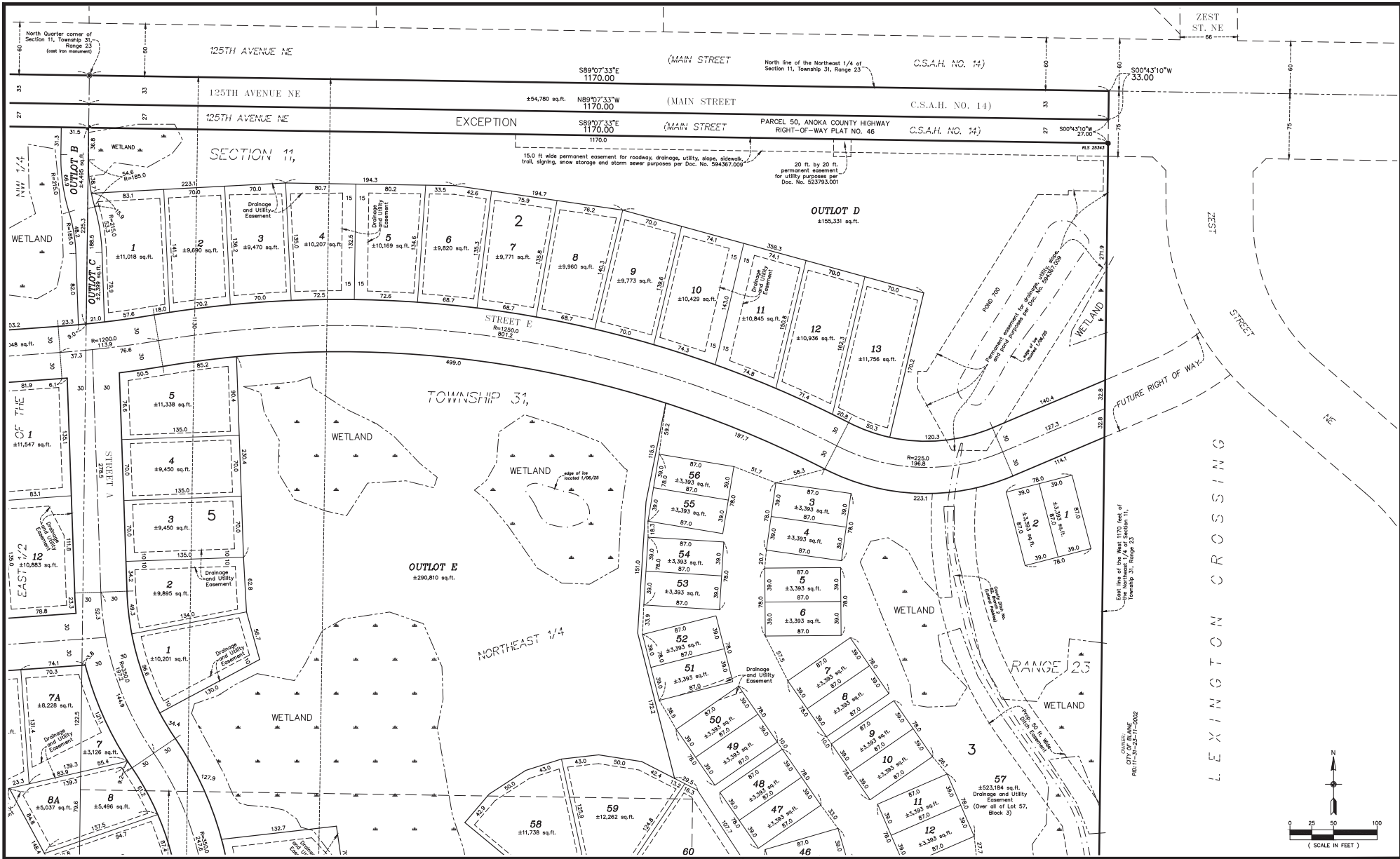


- LEGEND**
- ⊕ - Denotes Found Anoka County Right of Way Monument with 2.5 x 2.5 square cap
  - ⊙ - Denotes Anoka County Section Monument, as noted
  - ⊖ - Denotes Found Iron Monument, as noted
  - ⊗ - Denotes Wetlands delineated by Kjohns Environmental Services in 2025.
  - ⊗ - Denotes Wetlands delineated by Anderson Engineering in 2025.
- EXISTING ZONING** — LDR  
**PROPOSED ZONING** — DF  
**UTILITIES** — AVAILABLE
- MINIMUM RESIDENTIAL SETBACK DATA: (70 FT. SINGLE FAMILY LOTS)**
- |               |        |
|---------------|--------|
| FRONT         | 25 ft. |
| SIDE (GARAGE) | 10 ft. |
| SIDE (HOUSE)  | 10 ft. |
| REAR CORNER   | 20 ft. |
| REAR SETBACK  | 30 ft. |
- MINIMUM RESIDENTIAL SETBACK DATA: (TWINHOME LOTS)**
- |                          |                        |
|--------------------------|------------------------|
| FRONT (PORCH)            | 18 ft. To Back of Curb |
| FRONT (GARAGE)           | 25 ft. To Back of Curb |
| SIDE (BETWEEN BUILDINGS) | 20 ft.                 |
| SIDE CORNER              | 20 ft.                 |

**BENCHMARK**

1. Anoka County Benchmark No. 2006 - Elevation 897.58 ft. (NAVD83)
2. Anoka County Benchmark No. 2005 - Elevation 802.43 ft. (NAVD83)

<p><b>CARLSON ENGINEERS</b>          1500 W. 82ND STREET, SUITE 300          BLOOMINGTON, MN 55431          TEL: 763-489-1111          FAX: 763-489-1112          WWW.CARLSONENGINEERS.COM</p>	<p>I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.</p>	<p>Print Name: <u>Thomas R. Baillif, L.S.</u>          Signature: <u>[Signature]</u>          Date: <u>12/05/23</u> License #: <u>42351</u></p>	<p>Drawn by: <u>NIS</u>          Issue Date: <u>12/05/23</u>          File No: <u>2855</u></p>	<p>Revisions:          1. 12/12/25 Add Maintenance Access / City Comments</p>	<p><b>PULTE HOMES OF MN, LLC</b>          1650 W. 82nd Street, Suite 300          Bloomington, MN 55431</p>	<p><b>RAVENWOOD</b>          Blaine, Minnesota</p>	<p><b>PRELIMINARY PLAT INDEX</b></p>	<p>3 of 20</p>
	<p>Scale: 1" = 100' (SCALE IN FEET)</p>							



**CARLSON ENGINEERING**  
 12500 1/2 W. 125th Street, Suite 100  
 Bloomington, MN 55431  
 Phone: 612-895-1111  
 Fax: 612-895-1112  
 Website: www.carlsoneng.com

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.  
 Print Name: Thomas R. Balluff, L.S.  
 Signature: *Thomas R. Balluff*  
 Date: 12/05/25 License #: 42351

DRAWN BY: NIS  
 ISSUE DATE: 12/05/25  
 FILE NO.: 2895

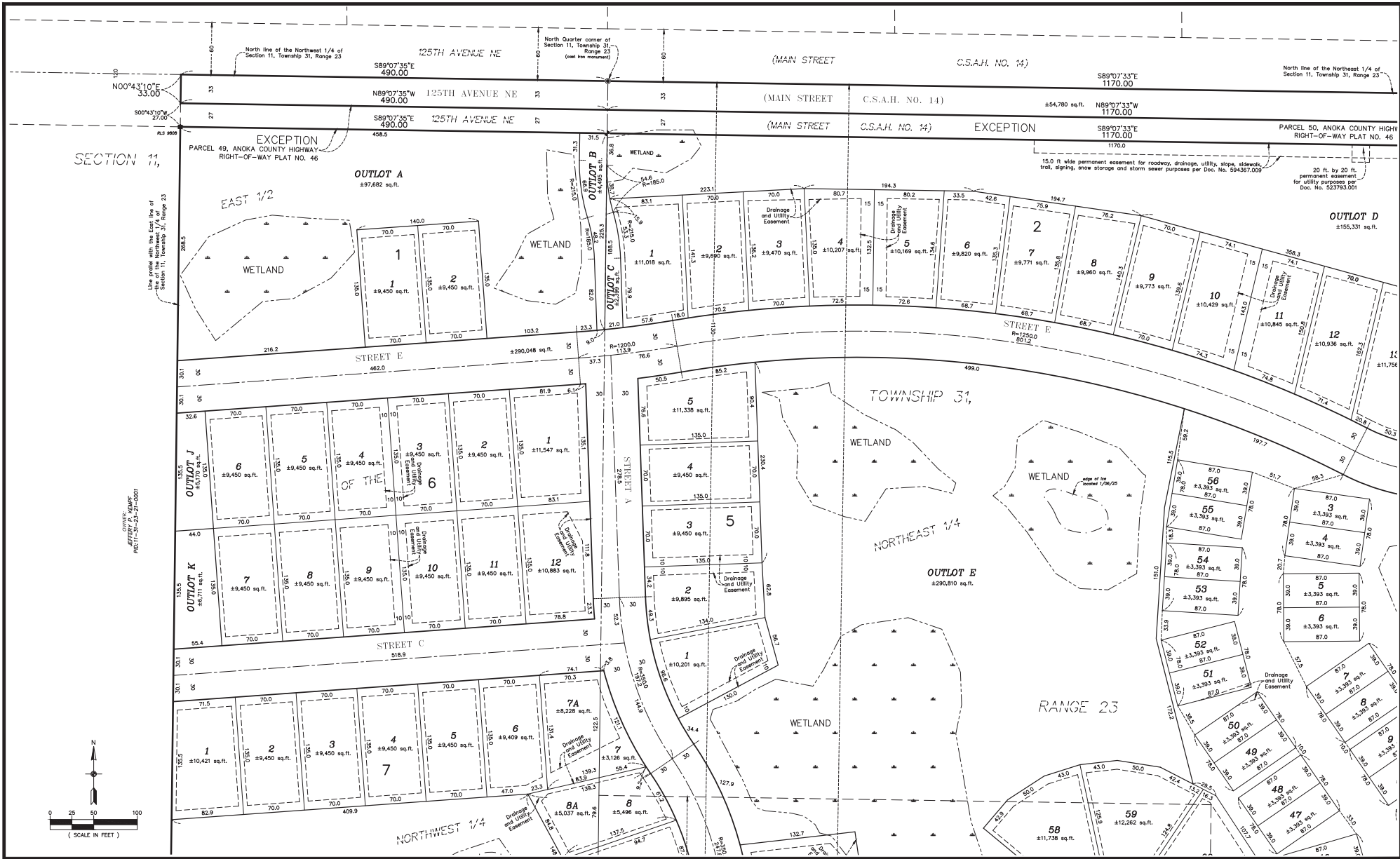
Revisions:  
 1. 12/12/25 Add Maintenance Access / City Comments

**PULTE HOMES OF MN, LLC**  
 1650 W. 82nd Street, Suite 300  
 Bloomington, MN 55431

**RAVENWOOD**  
 Blaine, Minnesota

**PRELIMINARY PLAT**

4 of 20



**CARLSON ENGINEERING**  
 SURVEYING & ENGINEERING  
 1500 W. 13TH STREET  
 BLOOMINGTON, MN 55408  
 TEL: 612-835-1100  
 FAX: 612-835-1101  
 WWW.CARLSONENGINEERING.COM

**RESPONSIBLE PROFESSIONAL ENGINEER**  
 I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.  
 Print Name: Thomas R. Eckert, L.S.  
 Signature: *Thomas R. Eckert*  
 Date: 12/05/25 License #: 42351

Drawn by: NIS  
 Issue Date: 12/05/25  
 File No: 2855

Revisions:  
 1. 12/12/25 Add Maintenance Access / City Comments

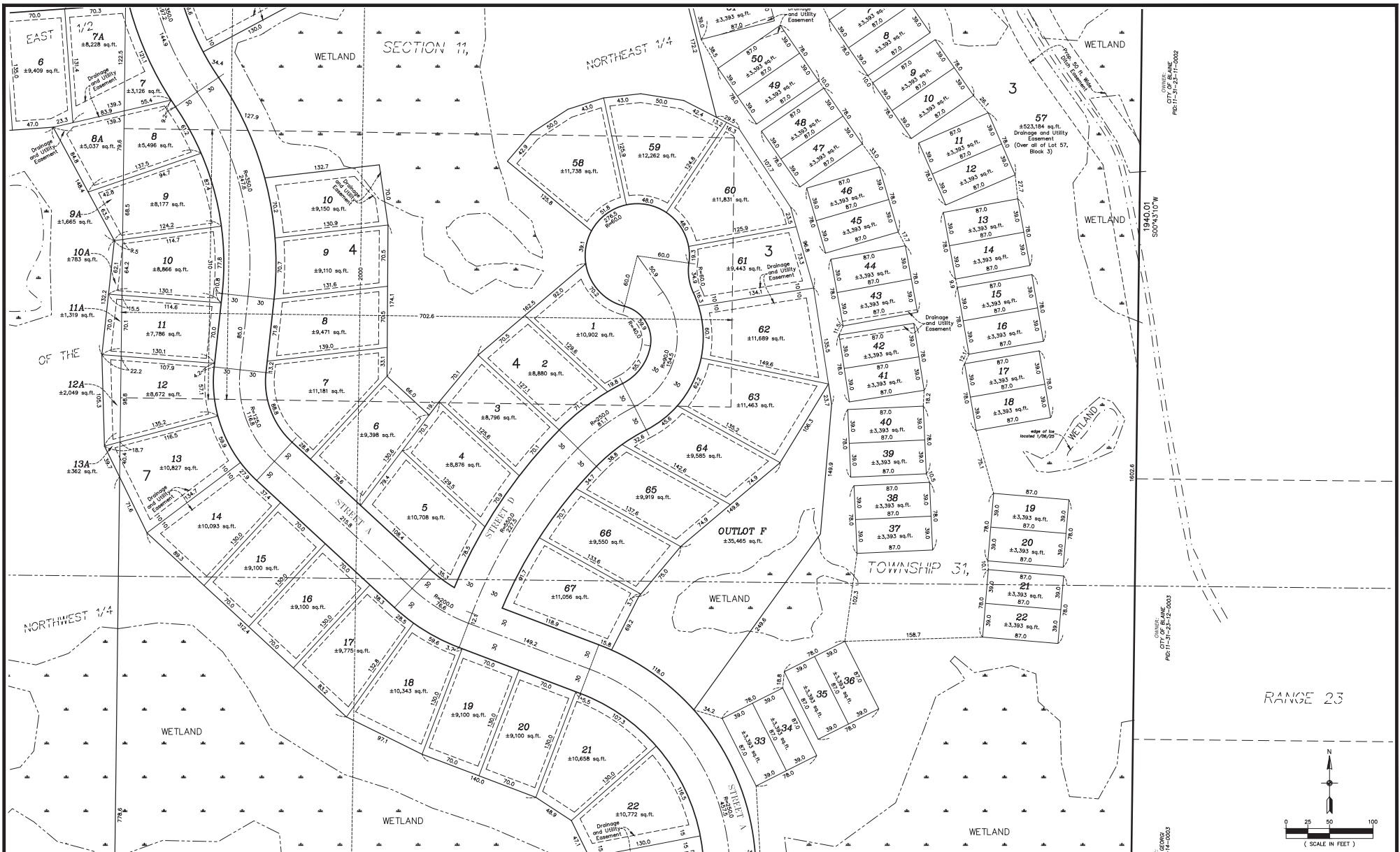
**PULTE HOMES OF MN, LLC**  
 1650 W. 82nd Street, Suite 300  
 Bloomington, MN 55431

**RAVENWOOD**  
 Blaine, Minnesota

**PRELIMINARY PLAT**

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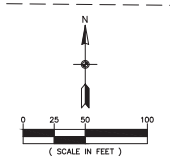
CITY OF BLAINE  
FILE: 11-31-23-11-0002

1940.00  
S00°43'10"W

CITY OF BLAINE  
FILE: 11-31-23-12-0003

14-0003

RANGE 23



**CARLSON ENGINEERS**  
 1500 PINE STREET, SUITE 200  
 BLOOMINGTON, MN 55431  
 TEL: 763-251-1111  
 FAX: 763-251-1112  
 WWW.CARLSONENGINEERS.COM

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Print Name: Thomas R. Eckert, L.S.  
 Signature: [Signature]  
 Date: 12/05/23 License #: 42351

Drawn by: NIS  
 Issue Date: 12/05/23  
 File No: 2885

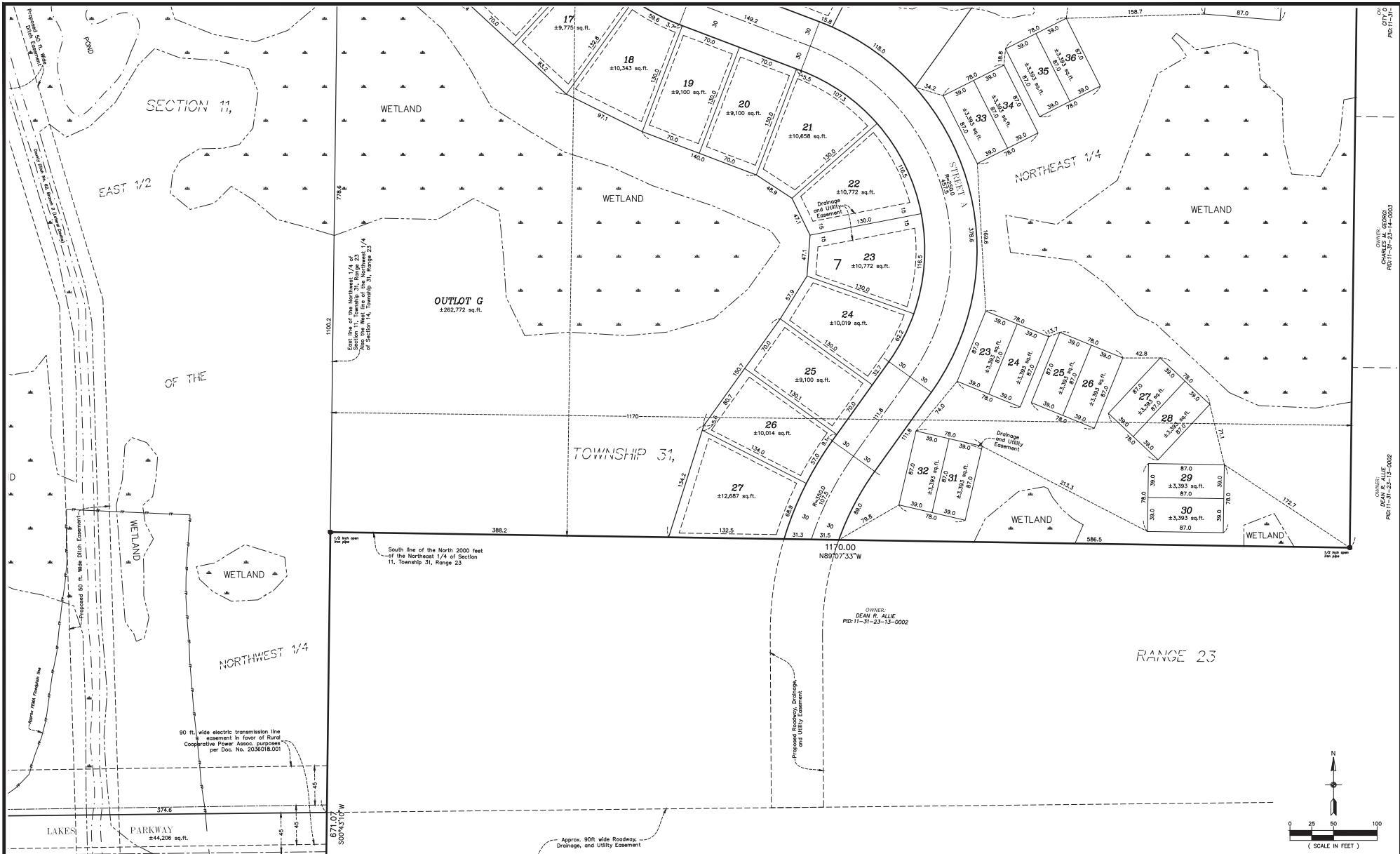
Revisions:  
 1. 12/12/23 Add Maintenance Access / City Comments

**PULTE HOMES OF MN, LLC**  
 1650 W. 82nd Street, Suite 300  
 Bloomington, MN 55431

**RAVENWOOD**  
 Blaine, Minnesota

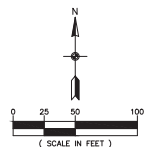
**PRELIMINARY PLAT**

7 of 20



OWNER: DEAN R. ALLIE  
 PID: 11-31-23-15-0002

OWNER: DEAN R. ALLIE  
 PID: 11-31-23-15-0002



**CARLSON ENGINEERING**  
 1200 PULTE HOMES OF MN, LLC  
 1650 W. 82ND STREET, SUITE 300  
 BLOOMINGTON, MN 55431  
 TEL: 763.288.2888  
 FAX: 763.288.2889  
 WWW.CARLSONENGINEERING.COM

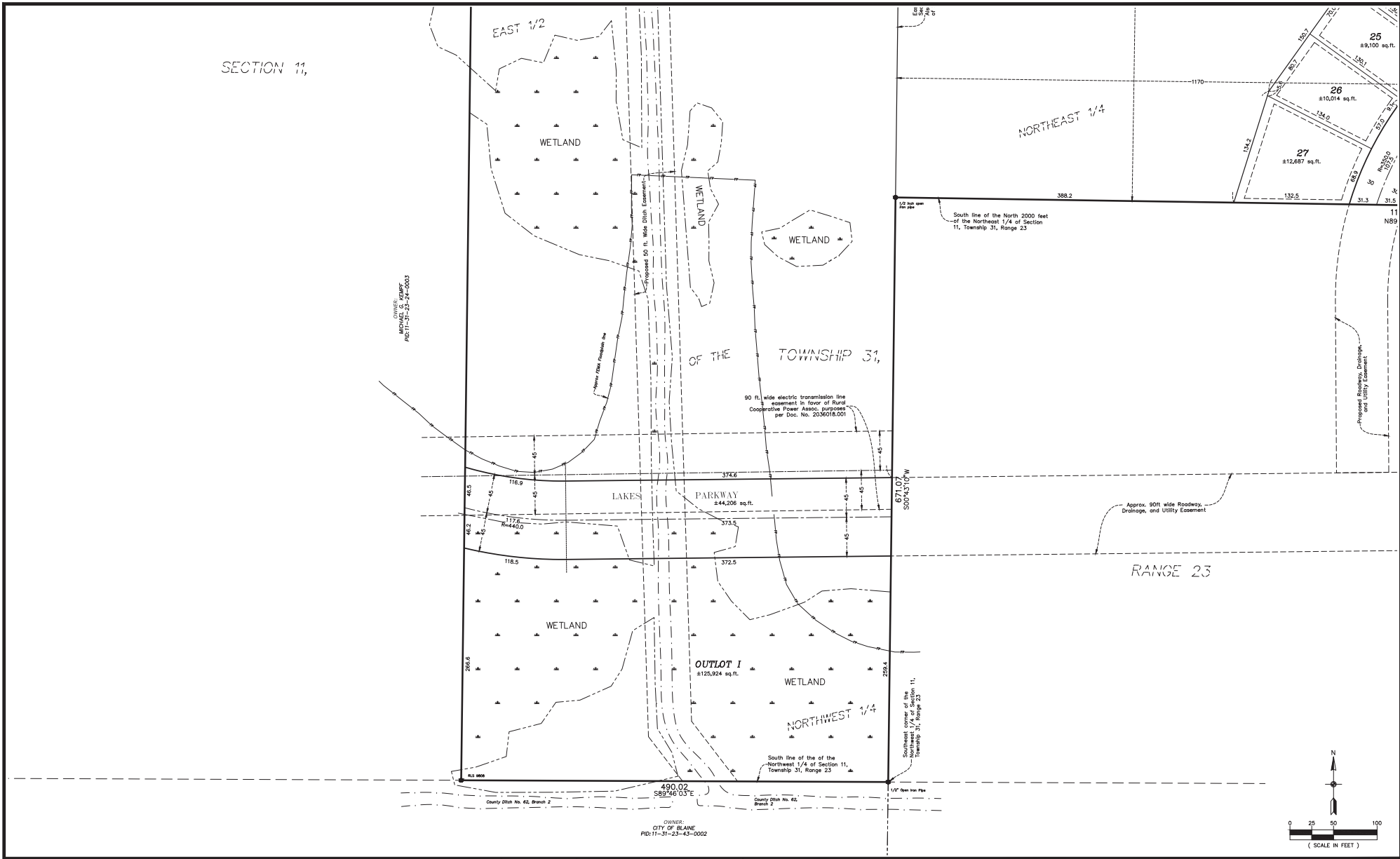
I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.  
 Print Name: Thomas R. Balluff, L.S.  
 Signature: *Thomas R. Balluff*  
 Date: 12/05/25 License #: 42351  
 DRAWN BY: NIS  
 ISSUE DATE: 12/05/25  
 FILE NO.: 2855  
 REVISIONS:  
 1. 12/12/25 Add Maintenance Access / City Comments

**PULTE HOMES OF MN, LLC**  
 1650 W. 82nd Street, Suite 300  
 Bloomington, MN 55431

**RAVENWOOD**  
 Blaine, Minnesota

**PRELIMINARY PLAT**

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**CARLSON ENGINEERING**  
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 300 PULTE AVENUE  
 SUITE 100  
 BLAINE, MN 55433  
 TEL: 763.428.3300  
 FAX: 763.428.3300  
 WWW.CARLSONENGINEERING.COM

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Print Name: Thomas R. Baillif, L.S.  
 Signature: [Signature]  
 Date: 12/05/25 License #: 42351

DRAWN BY: NIS  
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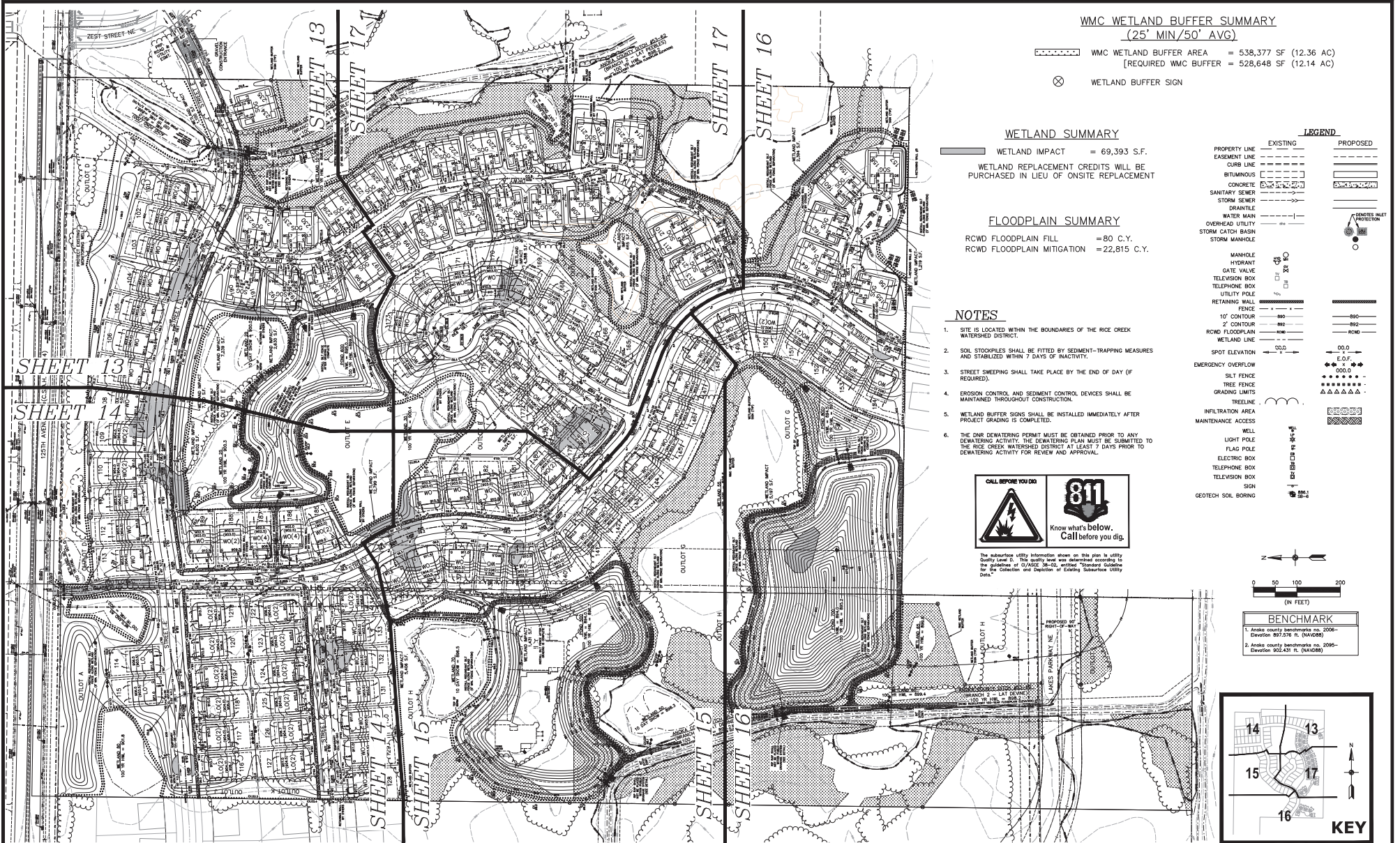
Revisions:  
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**PULTE HOMES OF MN, LLC**  
 1650 W. 82nd Street, Suite 300  
 Bloomington, MN 55431

**RAVENWOOD**  
 Blaine, Minnesota

**PRELIMINARY PLAT**

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**WMC WETLAND BUFFER SUMMARY**  
(25' MIN/50' AVG)

WMC WETLAND BUFFER AREA = 538,377 SF (12.36 AC)  
 (REQUIRED WMC BUFFER = 528,648 SF (12.14 AC))

⊗ WETLAND BUFFER SIGN

**WETLAND SUMMARY**

WETLAND IMPACT = 69,393 S.F.  
 WETLAND REPLACEMENT CREDITS WILL BE PURCHASED IN LIEU OF ONSITE REPLACEMENT

**FLOODPLAIN SUMMARY**

RCWD FLOODPLAIN FILL = 80 C.Y.  
 RCWD FLOODPLAIN MITIGATION = 22,815 C.Y.

**NOTES**

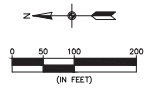
1. SITE IS LOCATED WITHIN THE BOUNDARIES OF THE RICE CREEK WATERSHED DISTRICT.
2. SOIL STOCKPILES SHALL BE FITTED BY SEDIMENT-TRAPPING MEASURES AND STABILIZED WITHIN 7 DAYS OF INACTIVITY.
3. STREET SWEEPING SHALL TAKE PLACE BY THE END OF DAY (IF REQUIRED).
4. EROSION CONTROL AND SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
5. WETLAND BUFFER SIGNS SHALL BE INSTALLED IMMEDIATELY AFTER PROJECT GRADING IS COMPLETED.
6. THE DNR DEWATERING PERMIT MUST BE OBTAINED PRIOR TO ANY DEWATERING ACTIVITY. THE DEWATERING PLAN MUST BE SUBMITTED TO THE RICE CREEK WATERSHED DISTRICT AT LEAST 7 DAYS PRIOR TO DEWATERING ACTIVITY FOR REVIEW AND APPROVAL.



The subsurface utility information shown on this plan is utility quality level 2. This quality level was determined according to the guidelines of OJ/ASCE 38-02, entitled "Standard Guidelines for the Collection and Inspection of Existing Subsurface Utility Data."

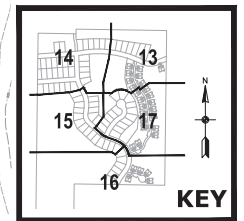
**LEGEND**

	EXISTING	PROPOSED
PROPERTY LINE	---	---
EASEMENT LINE	---	---
CURB LINE	---	---
BITUMINOUS	---	---
CONCRETE	---	---
SANITARY SEWER	---	---
STORM SEWER	---	---
DRAIN/TILE	---	---
WATER MAIN	---	---
OVERHEAD UTILITY	---	---
STORM CATCH BASIN	---	---
STORM MANHOLE	---	---
MANHOLE	---	---
HYDRANT	---	---
GATE VALVE	---	---
TELEVISION BOX	---	---
TELEPHONE BOX	---	---
UTILITY POLE	---	---
RETAINING WALL	---	---
FENCE	---	---
10' CONTOUR	---	---
2' CONTOUR	---	---
RCWD FLOODPLAIN	---	---
WETLAND LINE	---	---
SPOT ELEVATION	---	---
EMERGENCY OVERFLOW	---	---
SILT FENCE	---	---
TREE FENCE	---	---
GRADING LIMITS	---	---
TREELINE	---	---
INFILTRATION AREA	---	---
MAINTENANCE ACCESS	---	---
WELL	---	---
LIGHT POLE	---	---
FLAG POLE	---	---
ELECTRIC BOX	---	---
TELEPHONE BOX	---	---
TELEVISION BOX	---	---
SIGN	---	---
GEOTECH SOIL BORING	---	---

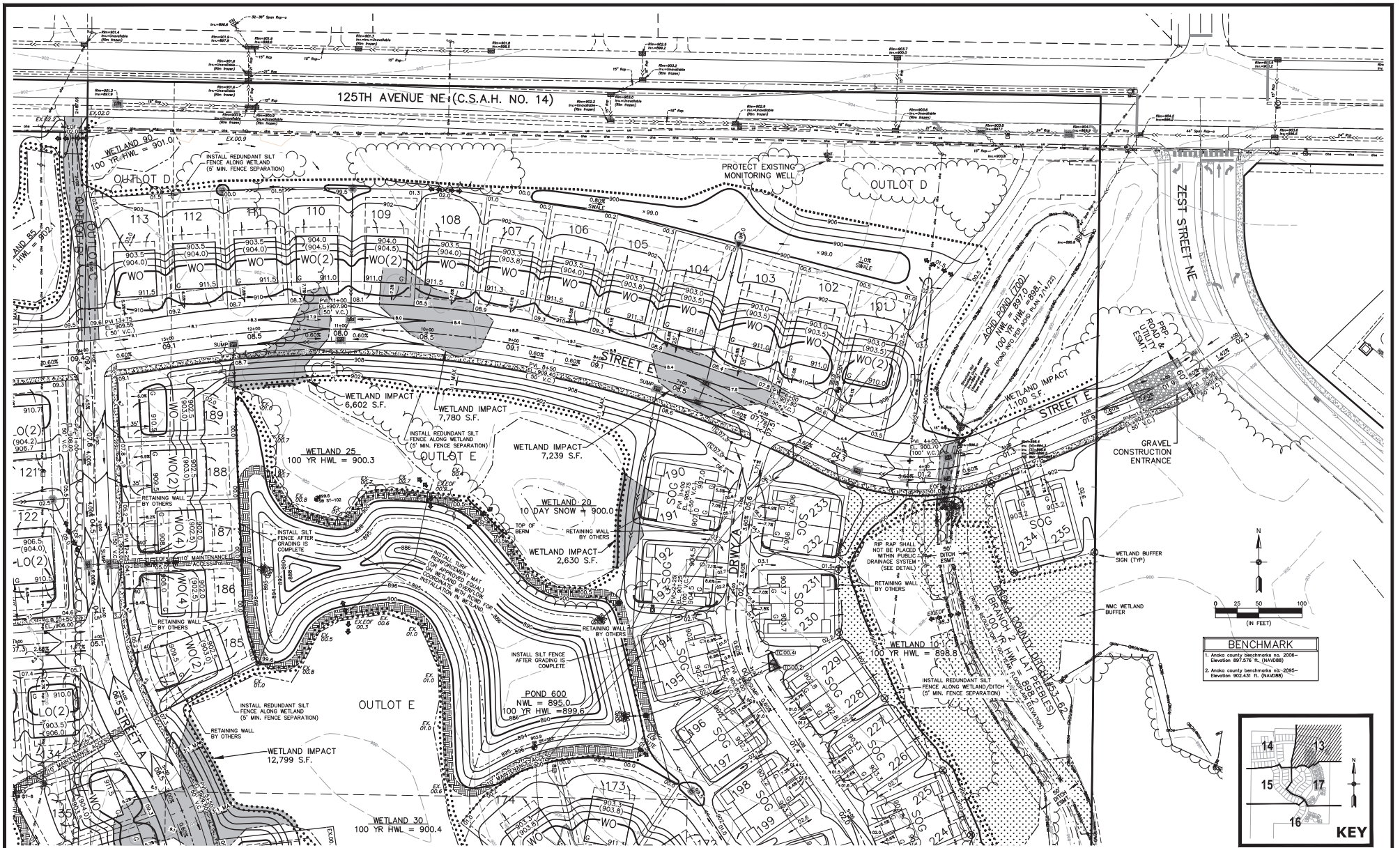


**BENCHMARK**

1. Anolis county benchmark no. 2006 - Elevation 937.376 ft. (NAVD83)
2. Anolis county benchmark no. 2005 - Elevation 932.431 ft. (NAVD83)



	I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota. Print Name: Brian J. Kiyofski, P.E. Signature: <i>[Signature]</i> Date: 12/25/25 License #: 25863	Drawn: LOC Assigned: BW Date: 12/25/25	Revisions: 1. 12/12/25 add Maintenance Access / City Comments	<b>PULTE HOMES OF MN, LLC</b> 1650 W. 82nd Street, Suite 300 Bloomington, MN 55431	<b>RAVENWOOD</b> Blaine, Minnesota	<b>GRADING INDEX</b>	12 of 20
	#11196						



**RESIDENTIAL ENGINEERING**  
 SURVEYING  
 PLANNING

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.  
 Print Name: Brian J. Kuyotafak, P.E.  
 Signature: *Brian J. Kuyotafak*  
 Date: 12/25/25 License #: 35863

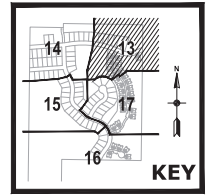
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 Revisions: 1. 12/23/25 add Maintenance Access / City Comments  
 Assigned: BW  
 Date: 12/25/25

**PULTE HOMES OF MN, LLC**  
 1650 W. 82nd Street, Suite 300  
 Bloomington, MN 55431

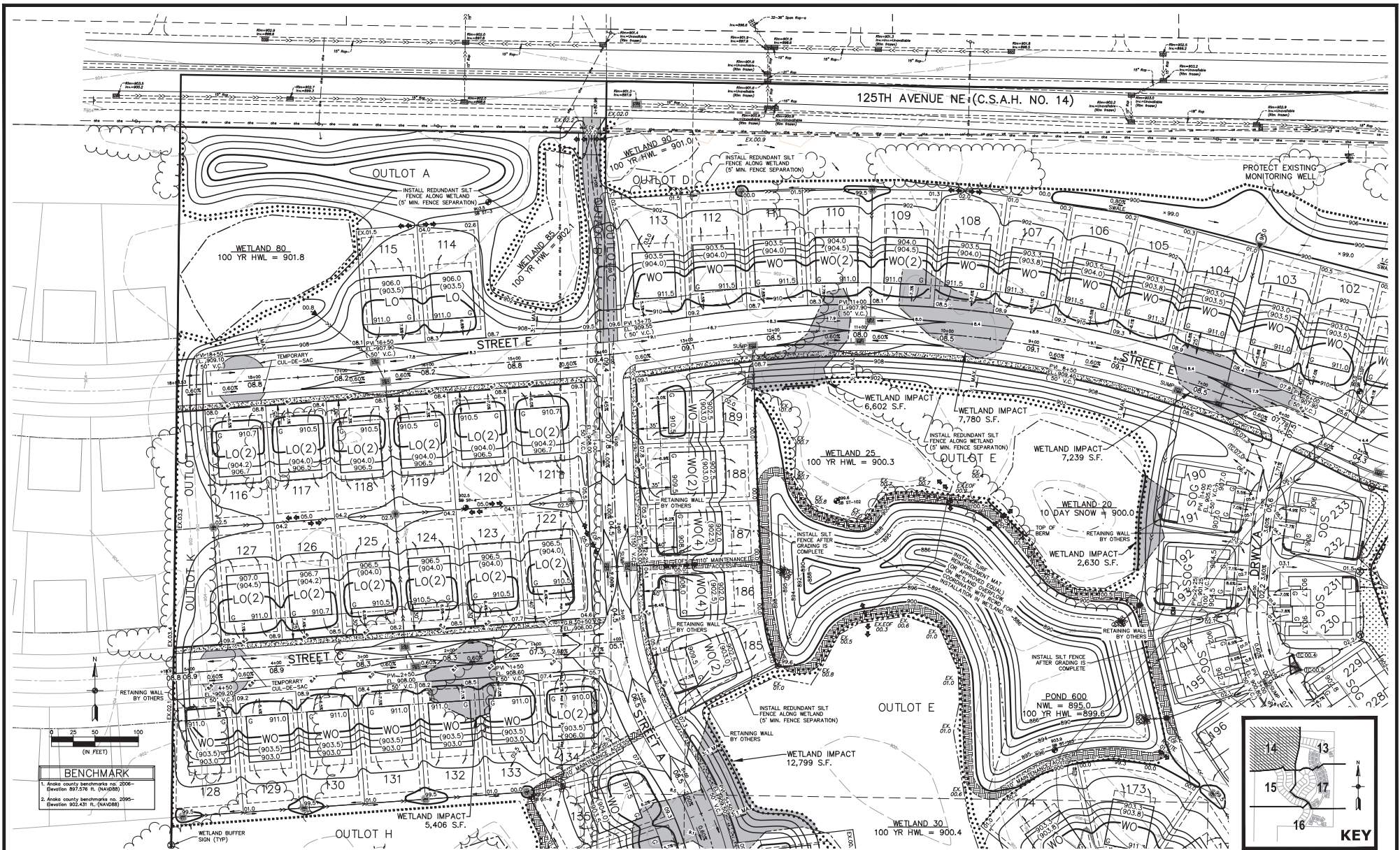
**RAVENWOOD**  
 Blaine, Minnesota

**PRELIMINARY GRADING & EROSION CONTROL PLAN**

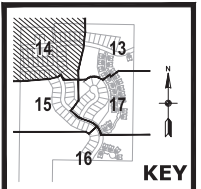
13 of 20



**BENCHMARK**  
 1. Anoka county benchmark no. 2036-Deviation 897.576 TL (NA/CORS)  
 2. Anoka county benchmark no. 2085-Deviation 902.421 RL (NA/CORS)



**BENCHMARK**  
 1. Andco county benchmarks no. 2006-  
 Elevation 997.976 ft. (NAVD83)  
 2. Andco county benchmarks no. 2095-  
 Elevation 992.431 ft. (NAVD83)



**PROFESSIONAL ENGINEER**  
 STATE OF MINNESOTA  
 LICENSE NO. 111181  
 EXPIRES 12/31/25

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota

Print Name: Brian J. Krystofis, P.E.  
 Signature: *Brian J. Krystofis*  
 Date: 12/19/25 License #: 25063

Drawn: LOC  
 Designed: BJK  
 Date: 12/19/25

Revisions:  
 1. 12/12/25 add Maintenance Access / City Comments

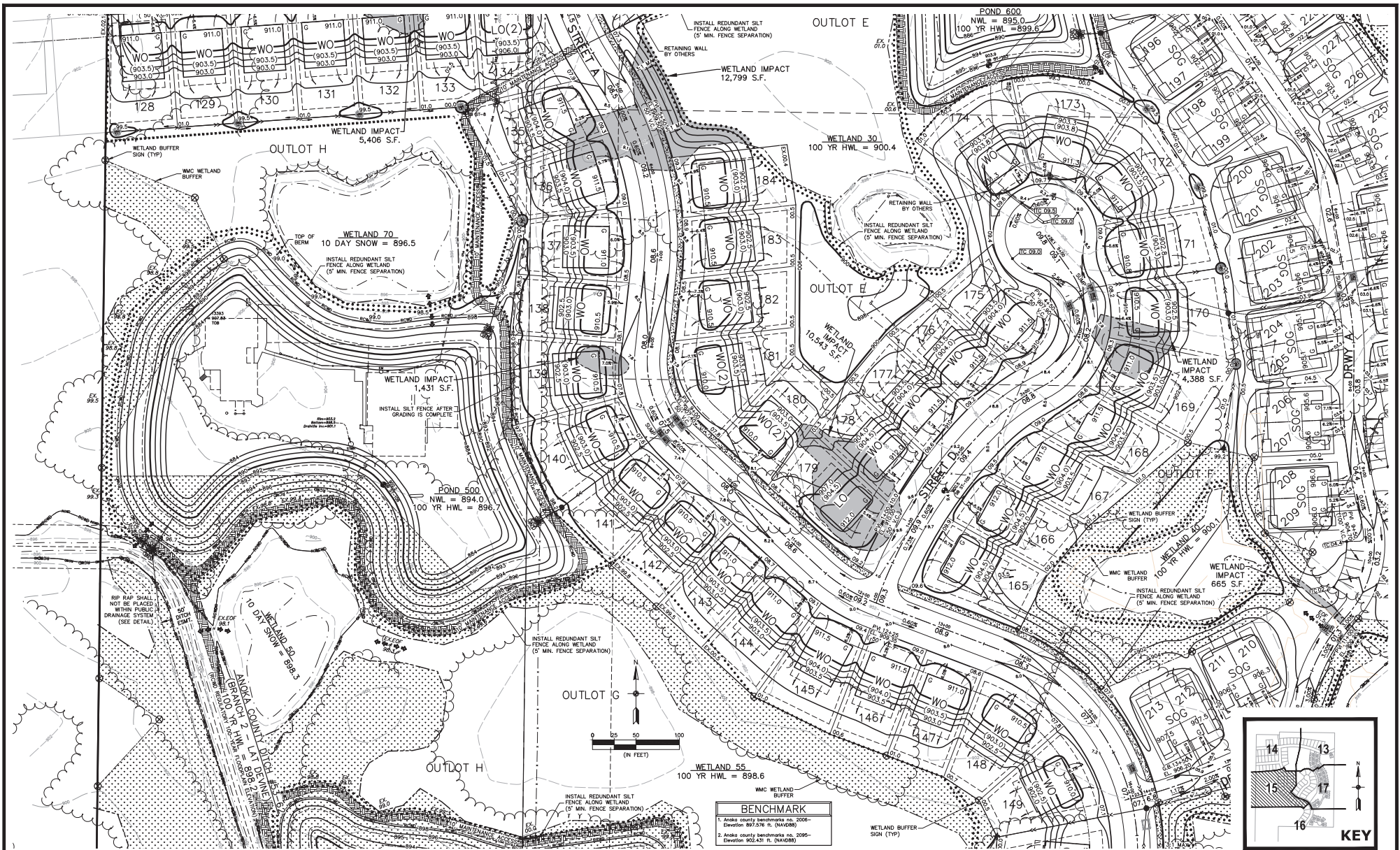
**PULTE HOMES OF MN, LLC**  
 1650 W. 82nd Street, Suite 300  
 Bloomington, MN 55431

**RAVENWOOD**  
 Blaine, Minnesota

**PRELIMINARY GRADING & EROSION CONTROL PLAN**

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#11196



**CARLSON ENGINEERING**  
 1500 W. 13TH STREET, SUITE 200  
 BLOOMINGTON, MN 55431  
 TEL: 763-251-1111  
 FAX: 763-251-1112  
 WWW.CARLSONENGINEERING.COM

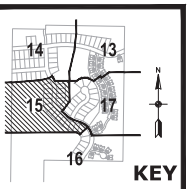
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.  
 Print Name: Brian J. Krystofis, P.E.  
 Signature: *Brian J. Krystofis*  
 Date: 12/9/25 License #: 25063  
 Drawn: LOC  
 Designed: BJK  
 Revisions:  
 1. 12/12/25 add Maintenance Access / City Comments  
 Date: 12/9/25

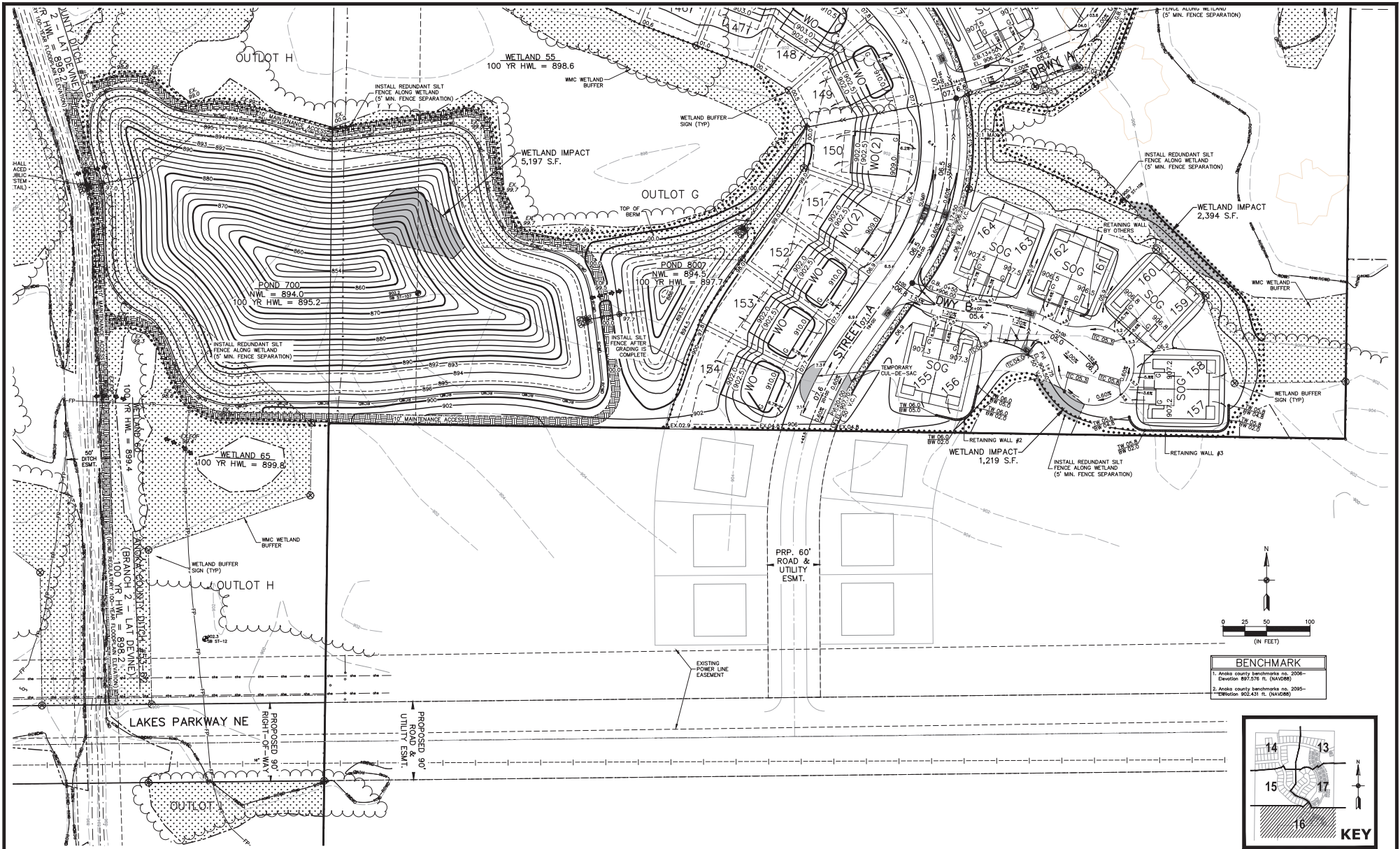
**PULTE HOMES OF MN, LLC**  
 1650 W. 82nd Street, Suite 300  
 Bloomington, MN 55431

**RAVENWOOD**  
 Blaine, Minnesota

**PRELIMINARY GRADING & EROSION CONTROL PLAN**

15 of 20





**CARLSON ENGINEERING**  
 PROFESSIONAL ENGINEERING  
 1500 W. WASHINGTON ST. SUITE 200  
 BLOOMINGTON, MN 55431  
 TEL: 763.281.2200  
 FAX: 763.281.2200  
 WWW.CARLSONENGINEERING.COM

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota

Print Name: Brian J. Krystofis, P.E.  
 Signature: *Brian J. Krystofis*  
 Date: 12/9/25 License #: 25063

Drawn: LOC  
 Designed: BJK  
 Date: 12/9/25

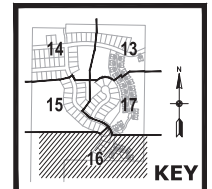
Revisions:  
 1. 12/12/25 add Maintenance Access / City Comments

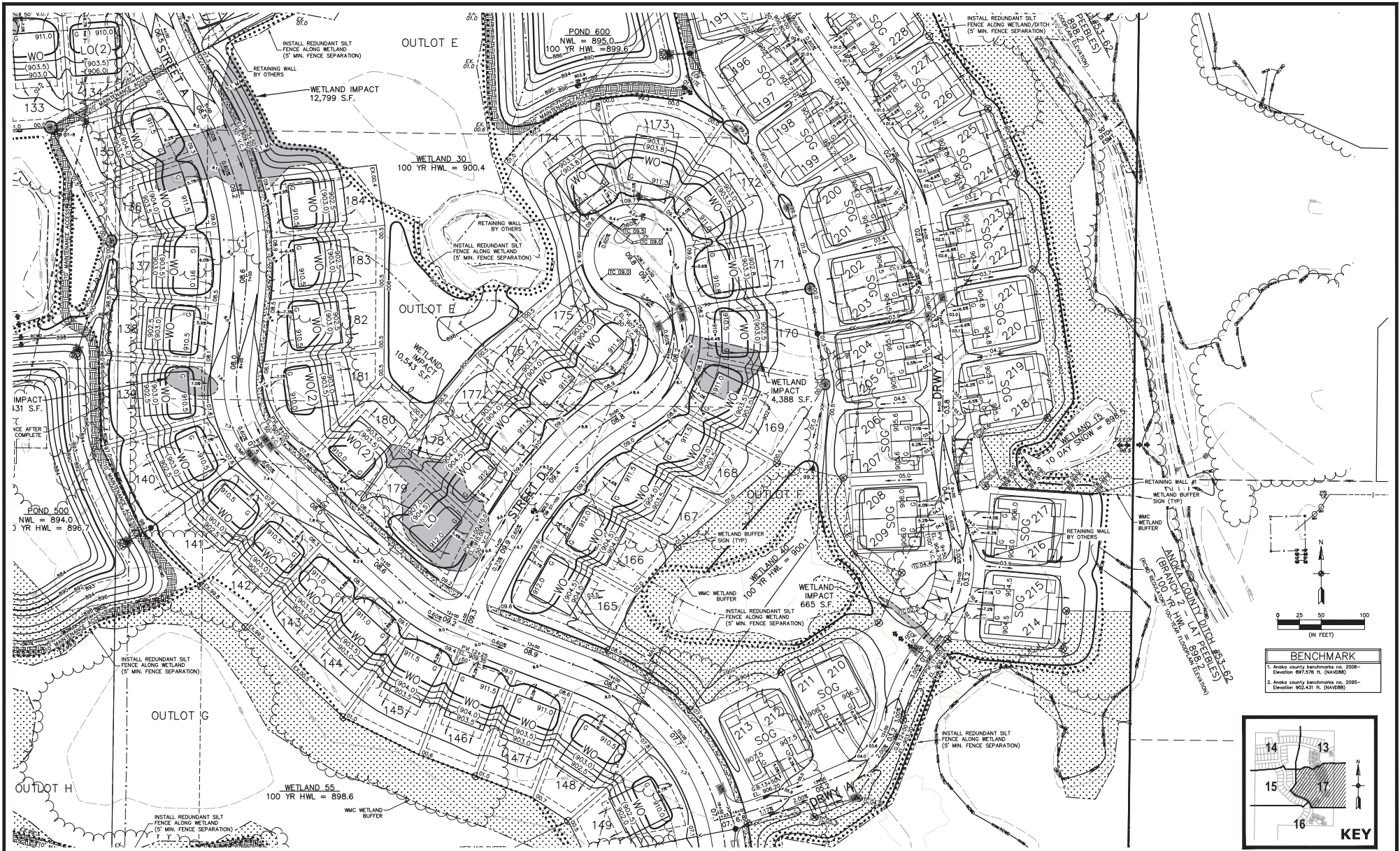
**PULTE HOMES OF MN, LLC**  
 1650 W. 82nd Street, Suite 300  
 Bloomington, MN 55431

**RAVENWOOD**  
 Blaine, Minnesota

**PRELIMINARY GRADING & EROSION CONTROL PLAN**

16 of 20  
 #11196





**CARLSON ENGINEERING**  
 1000 POND 500  
 1000 POND 600  
 1000 POND 700  
 1000 POND 800  
 1000 POND 900  
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 Date: 12/3/25 License #: 25063

Print Name: Brian J. Krystofis, P.E.  
 Signature: *Brian J. Krystofis*  
 Date: 12/3/25 License #: 25063

Revisions:  
 1: 12/12/25 add Maintenance Access / City Comments  
 Drawn: LOC  
 Designed: BJK  
 Date: 12/3/25

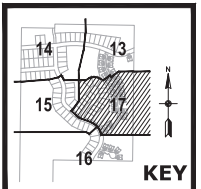
**PULTE HOMES OF MN, LLC**  
 1650 W. 82nd Street, Suite 300  
 Bloomington, MN 55431

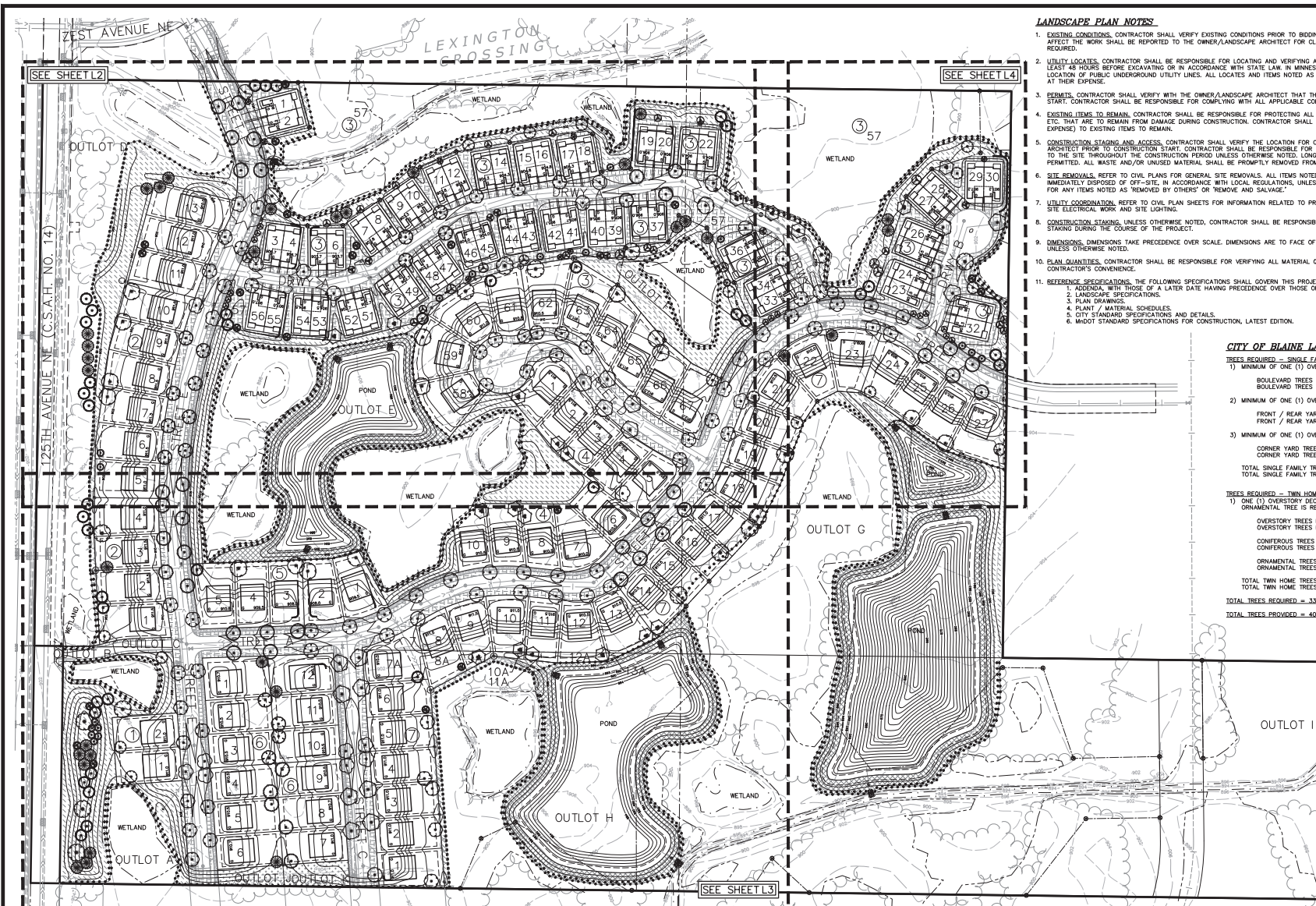
**RAVENWOOD**  
 Blaine, Minnesota

**PRELIMINARY GRADING & EROSION CONTROL PLAN**

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**BENCHMARK**  
 1. Anoka county benchmark no. 2006- Elevation 897.276 ft. (NAVD83)  
 2. Anoka county benchmark no. 2095- Elevation 922.431 ft. (NAVD83)





- LANDSCAPE PLAN NOTES**
- EXISTING CONDITIONS. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO BIDDING AND CONSTRUCTION START. ANY DISCREPANCIES FOUND THAT AFFECT THE WORK SHALL BE REPORTED TO THE OWNER/LANDSCAPE ARCHITECT FOR CLARIFICATION PRIOR TO BIDDING OR APPROVING ANY ADDITIONAL WORK REQUIRED.
  - UTILITY LOCATES. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND VERIFYING ALL PUBLIC AND PRIVATE UTILITIES, INCLUDING IRRIGATION LINES, AT LEAST 48 HOURS BEFORE EXCAVATING OR IN ACCORDANCE WITH STATE LAW IN MINNESOTA, CALL CORNER STATE ONE—CALL KT 651-454-0002 FOR FIELD LOCATION OF PUBLIC UNDERGROUND UTILITY LINES. ALL LOCATES AND ITEMS NOTED AS "FIELD VERIFY" ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR AT THEIR EXPENSE.
  - PERMITS. CONTRACTOR SHALL VERIFY WITH THE OWNER/LANDSCAPE ARCHITECT THAT THE REQUIRED PERMITS HAVE BEEN OBTAINED PRIOR TO CONSTRUCTION START. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE CODES, REGULATIONS, AND PERMITS GOVERNING THE WORK.
  - EXISTING ITEMS TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING PAVEMENT, STRUCTURES, UTILITIES, TREES, SITE AMENITIES, ETC. THAT ARE TO REMAIN FROM DAMAGE DURING CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY DAMAGE (AT CONTRACTOR'S EXPENSE) TO EXISTING ITEMS TO REMAIN.
  - CONSTRUCTION STAGING AND ACCESS. CONTRACTOR SHALL VERIFY THE LOCATION FOR CONSTRUCTION STAGING AND SITE ACCESS WITH THE OWNER/LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION START. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING PEDESTRIAN AND VEHICLE ACCESS WITHIN AND ADJACENT TO THE SITE THROUGHOUT THE CONSTRUCTION PERIOD UNLESS OTHERWISE NOTED. LONG-TERM STORAGE OF MATERIALS OR SUPPLIES ON-SITE WILL NOT BE PERMITTED. ALL WASTE AND/OR UNUSED MATERIAL SHALL BE PROMPTLY REMOVED FROM THE SITE.
  - SITE REMOVALS. REFER TO CIVIL PLANS FOR GENERAL SITE REMOVALS. ALL ITEMS NOTED TO BE REMOVED SHALL BE COMPLETED BY THE CONTRACTOR AND IMMEDIATELY DISPOSED OF OFF-SITE, IN ACCORDANCE WITH LOCAL REGULATIONS, UNLESS OTHERWISE NOTED. COORDINATE WITH OWNER/LANDSCAPE ARCHITECT FOR ANY ITEMS NOTED AS REMOVED BY OTHERS OR REMOVE AND SALVAGE.
  - UTILITY COORDINATION. REFER TO CIVIL PLAN SHEETS FOR INFORMATION RELATED TO PROPOSED UTILITIES. COORDINATE WITH ELECTRICAL CONTRACTORS FOR SITE ELECTRICAL WORK AND SITE LIGHTING.
  - CONSTRUCTION STAGING. UNLESS OTHERWISE NOTED, CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING CONTROL POINTS AND ALL CONSTRUCTION FIELD STAGING DURING THE COURSE OF THE PROJECT.
  - DIMENSIONS. DIMENSIONS TAKE PRECEDENCE OVER SCALE. DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVEMENT/WALKWAY, OR OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
  - PLAN QUANTITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL MATERIAL QUANTITIES PER PLAN. MATERIAL SCHEDULES ARE PROVIDED SOLELY FOR CONTRACTOR'S CONVENIENCE.
  - REFERENCE SPECIFICATIONS. THE FOLLOWING SPECIFICATIONS SHALL GOVERN THIS PROJECT ACCORDING TO THE FOLLOWING ORDER:
    - ADDENDUM, WITH THOSE OF A LATER DATE HAVING PRECEDENCE OVER THOSE OF AN EARLIER DATE.
    - LANDSCAPE SPECIFICATIONS.
    - PLAN DRAWINGS.
    - PLANT / MATERIAL SCHEDULES.
    - CITY STANDARD SPECIFICATIONS AND DETAILS.
    - MDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION, LATEST EDITION.

**CITY OF BLAINE LANDSCAPE REQUIREMENTS**

**TREES REQUIRED - SINGLE FAMILY**

- MINIMUM OF ONE (1) OVERSTORY DECIDUOUS TREE WITHIN THE BOULEVARD PER LOT.
 

BOULEVARD TREES REQUIRED =	79 (79 LOTS X 1)
BOULEVARD TREES PROVIDED =	79
- MINIMUM OF ONE (1) OVERSTORY DECIDUOUS OR EVERGREEN TREE WITHIN THE FRONT / REAR YARD.
 

FRONT / REAR YARD TREES REQUIRED =	79 (79 LOTS X 1)
FRONT / REAR YARD TREES PROVIDED =	79
- MINIMUM OF ONE (1) OVERSTORY DECIDUOUS TREE WITHIN CORNER LOT SIDE YARDS.
 

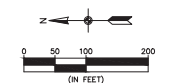
CORNER YARD TREES REQUIRED =	6 (6 CORNER LOTS X 1)
CORNER YARD TREES PROVIDED =	6
TOTAL SINGLE FAMILY TREES REQUIRED =	164
TOTAL SINGLE FAMILY TREES PROVIDED =	232

**TREES REQUIRED - TWIN HOMES**

- ONE (1) OVERSTORY DECIDUOUS SHADE TREE, ONE (1) CONIFEROUS TREE, AND ONE (1) ORNAMENTAL TREE IS REQUIRED FOR EACH TWIN HOME UNIT.
 

OVERSTORY TREES REQUIRED =	56 (56 UNITS X 1)
OVERSTORY TREES PROVIDED =	56
CONIFEROUS TREES REQUIRED =	56 (56 UNITS X 1)
CONIFEROUS TREES PROVIDED =	56
ORNAMENTAL TREES REQUIRED =	56 (56 UNITS X 1)
ORNAMENTAL TREES PROVIDED =	56
TOTAL TWIN HOME TREES REQUIRED =	168
TOTAL TWIN HOME TREES PROVIDED =	168

**TOTAL TREES REQUIRED = 332 (INCLUDES 254 REPLACEMENT TREES PER TREE PRESERVATION PLAN)**  
**TOTAL TREES PROVIDED = 400 (INCLUDES ADDITIONAL SCREENING TREES ALONG 125TH AVENUE NE)**



**CALL BEFORE YOU DIG**

**811**

Know what's below.  
Call before you dig.

**1**  
**L1** **OVERALL LANDSCAPE PLAN**

**CARLSON ENGINEERING**

125TH AVENUE NE, SUITE 110  
BLOOMINGTON, MN 55431  
TEL: 763-536-1111  
WWW.CARLSONENGINEERING.COM

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota

Print Name: Dan J. Rutledge, R.L.A.  
 Signature: [Signature]  
 Date: 12/5/25 License #: 56346

Drawn: R.M.  
 Designed: R.M.  
 Date: 12/5/25

Revisions:

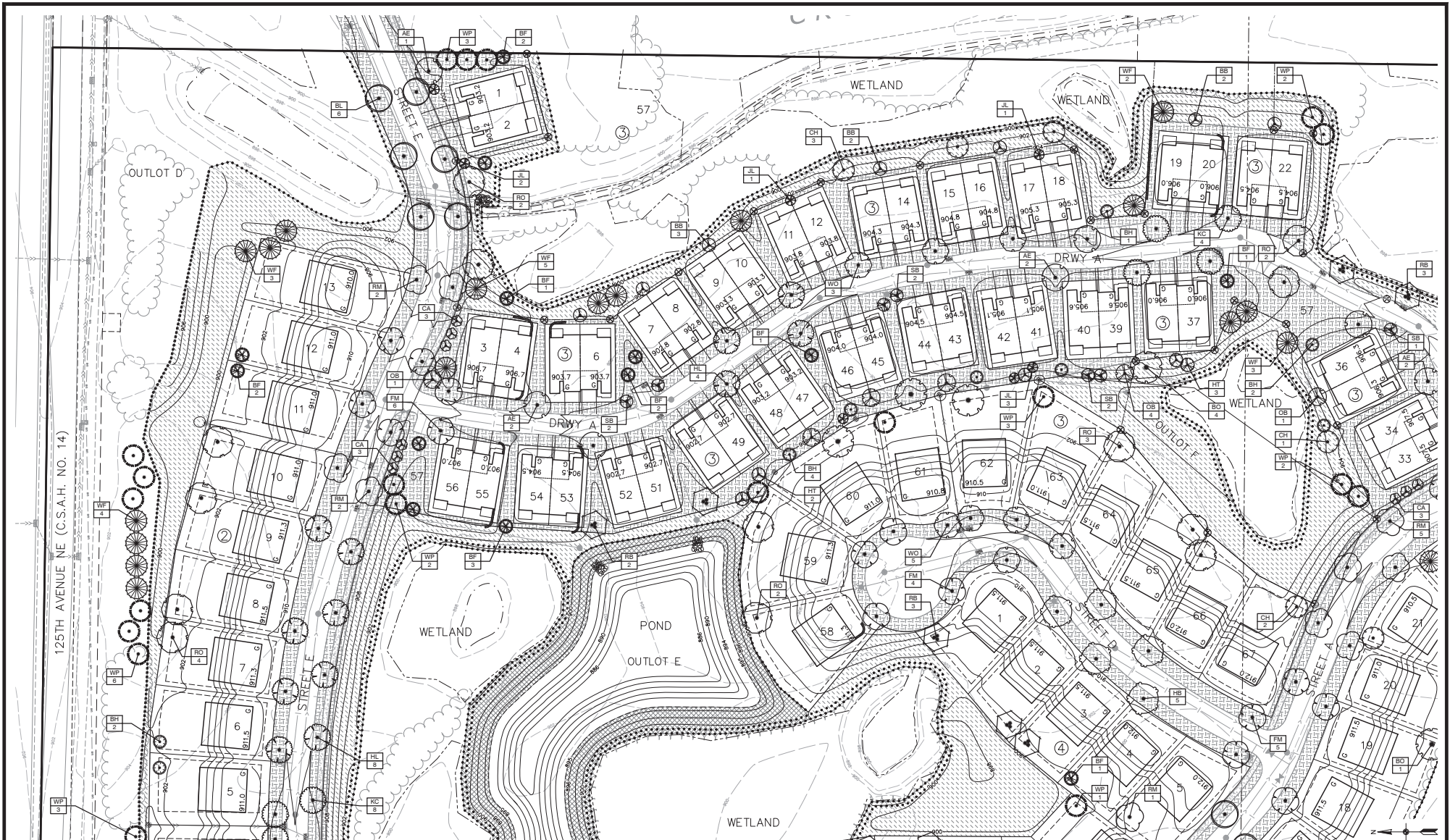
**PULTE HOMES OF MN, LLC**  
 1650 W. 82nd Street, Suite 300  
 Bloomington, MN 55431

**RAVENWOOD**  
 Blaine, Minnesota

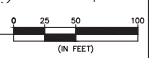
**PRELIMINARY LANDSCAPE PLAN**

L1 of 4

#11196



1 LANDSCAPE PLAN ENLARGEMENT - NORTHEAST  
L2



**PRELIMINARY DESIGN**  
 125TH AVENUE NE (C.S.A.H. NO. 14)  
 BLOOMINGTON, MN 55431  
 TEL: 763-438-1111  
 FAX: 763-438-1112  
 WWW.CARLSONENGINEERING.COM

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota

Print Name: Dan J. Rutledge, R.L.A.  
 Signature: [Signature]  
 Date: 12/5/25 License #: 55346

Drawn: R.M.  
 Designed: R.M.  
 Date: 12/5/25

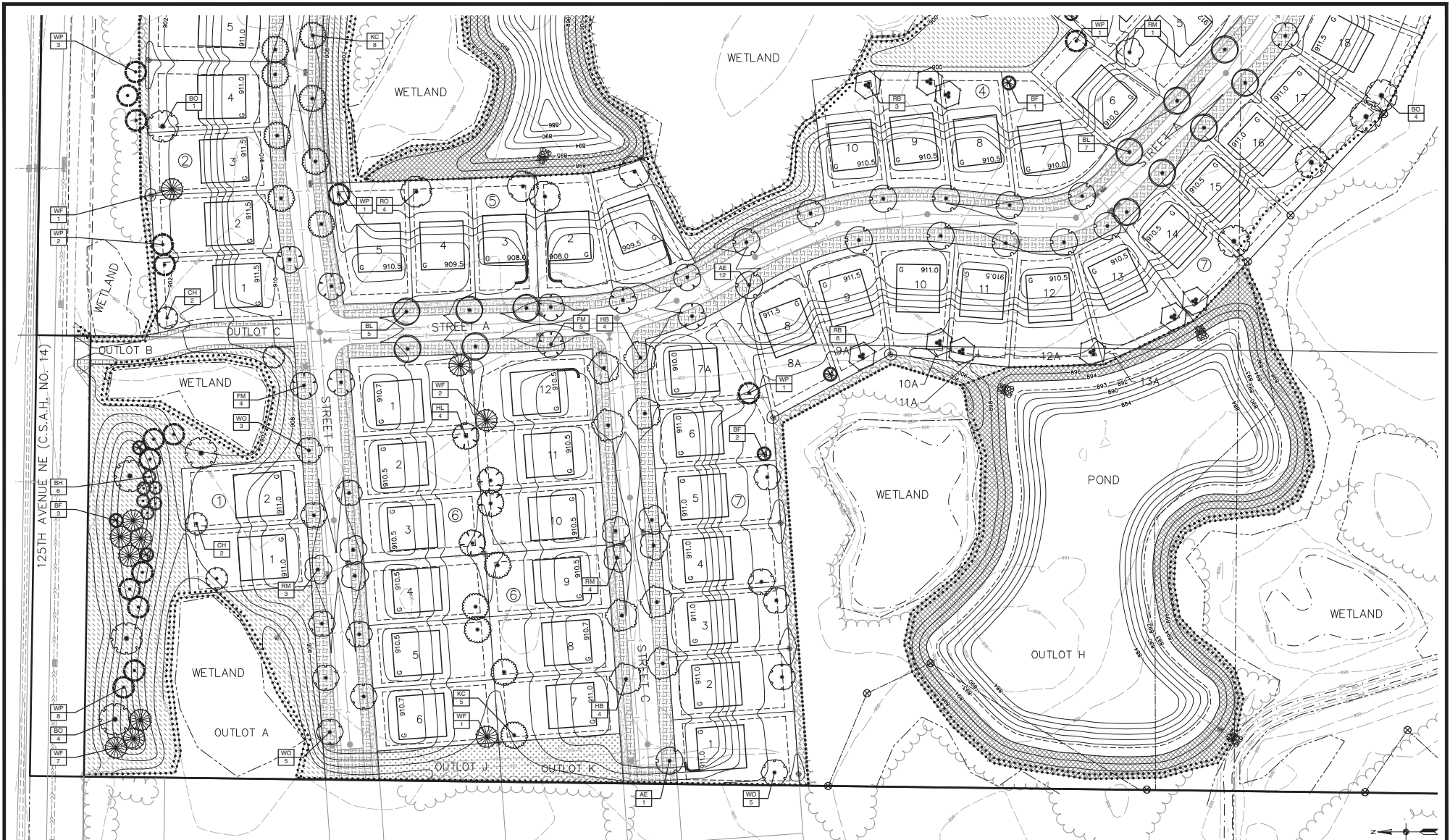
**PULTE HOMES OF MN, LLC**  
 1650 W. 82nd Street, Suite 300  
 Bloomington, MN 55431

**RAVENWOOD**  
 Blaine, Minnesota

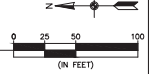
**PRELIMINARY LANDSCAPE PLAN**

L2 of 4

#11196



**1**  
**L3** LANDSCAPE PLAN ENLARGEMENT - NORTHWEST



**DESIGNER**  
 CARLSON ENGINEERING  
 125 W. 82ND STREET, SUITE 300  
 BLOOMINGTON, MN 55431  
 TEL: 763.551.1111  
 FAX: 763.551.1111  
 WWW.CARLSONENGINEERING.COM

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota

Print Name: Dan J. Rutten, R.L.A.  
 Signature: [Signature]  
 Date: 12/5/25 License #: 58346

Drawn: R.M.  
 Designed: R.M.  
 Date: 12/5/25

**PULTE HOMES OF MN, LLC**  
 1650 W. 82nd Street, Suite 300  
 Bloomington, MN 55431

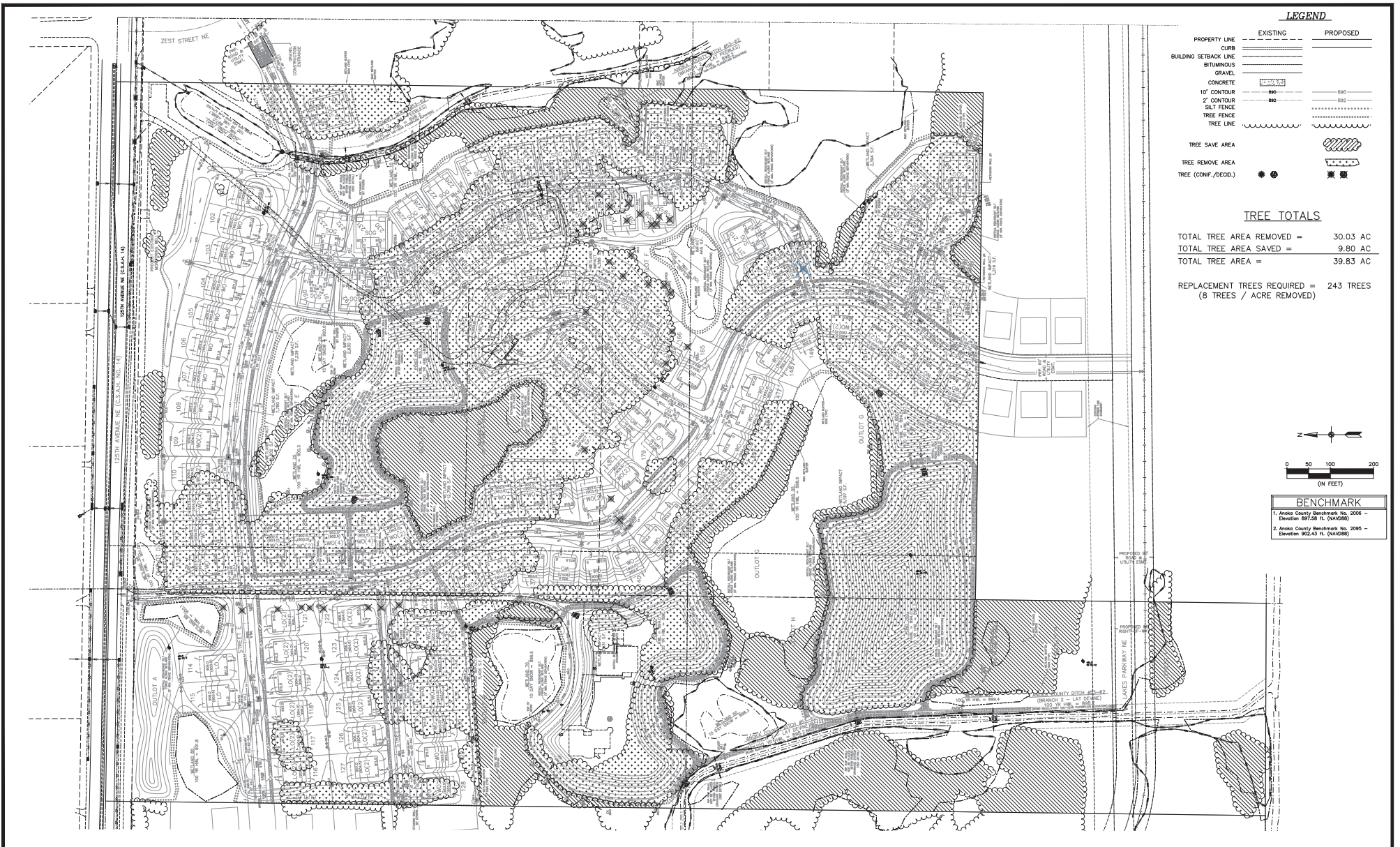
**RAVENWOOD**  
 Blaine, Minnesota

**PRELIMINARY LANDSCAPE PLAN**

**L3**  
 of  
**4**

#11196



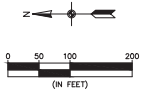


**LEGEND**

	EXISTING	PROPOSED
PROPERTY LINE	---	---
CURB	---	---
BUILDING SETBACK LINE	---	---
BITUMINOUS GRAVEL	---	---
CONCRETE	---	---
10' CONTOUR	---	---
2' CONTOUR	---	---
SILT FENCE	---	---
TREE FENCE	---	---
TREE LINE	---	---
TREE SAVE AREA		---
TREE REMOVE AREA		---
TREE (CONF./DECD.)	●	●

**TREE TOTALS**

TOTAL TREE AREA REMOVED =	30.03 AC
TOTAL TREE AREA SAVED =	9.80 AC
TOTAL TREE AREA =	39.83 AC
REPLACEMENT TREES REQUIRED =	243 TREES
(8 TREES / ACRE REMOVED)	



**BENCHMARK**

1. Anoka County Benchmark No. 2006 - Elevation 987.28 ft. (NAVD83)
2. Anoka County Benchmark No. 2095 - Elevation 925.43 ft. (NAVD83)

**CARLSON ENGINEERING**  
 CONSULTING ENGINEERS  
 1200 W. 13TH STREET, SUITE 200  
 BLOOMINGTON, MN 55403  
 TEL: 612-835-1111 FAX: 612-835-1112  
 WWW.CARLSONENGINEERING.COM

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 Print Name: Brian J. Kystofiak, P.E.  
 Signature: *Brian J. Kystofiak*  
 Date: 12/5/25 License #: 35863

Drawn: LOC  
 Revisions: 1: 12/12/25 add Maintenance Access / City Comments  
 Designed: BW  
 Date: 12/5/25

**PULTE HOMES OF MN, LLC**  
 1650 W. 82nd Street, Suite 300  
 Bloomington, MN 55431

**RAVENWOOD**  
 Blaine, Minnesota

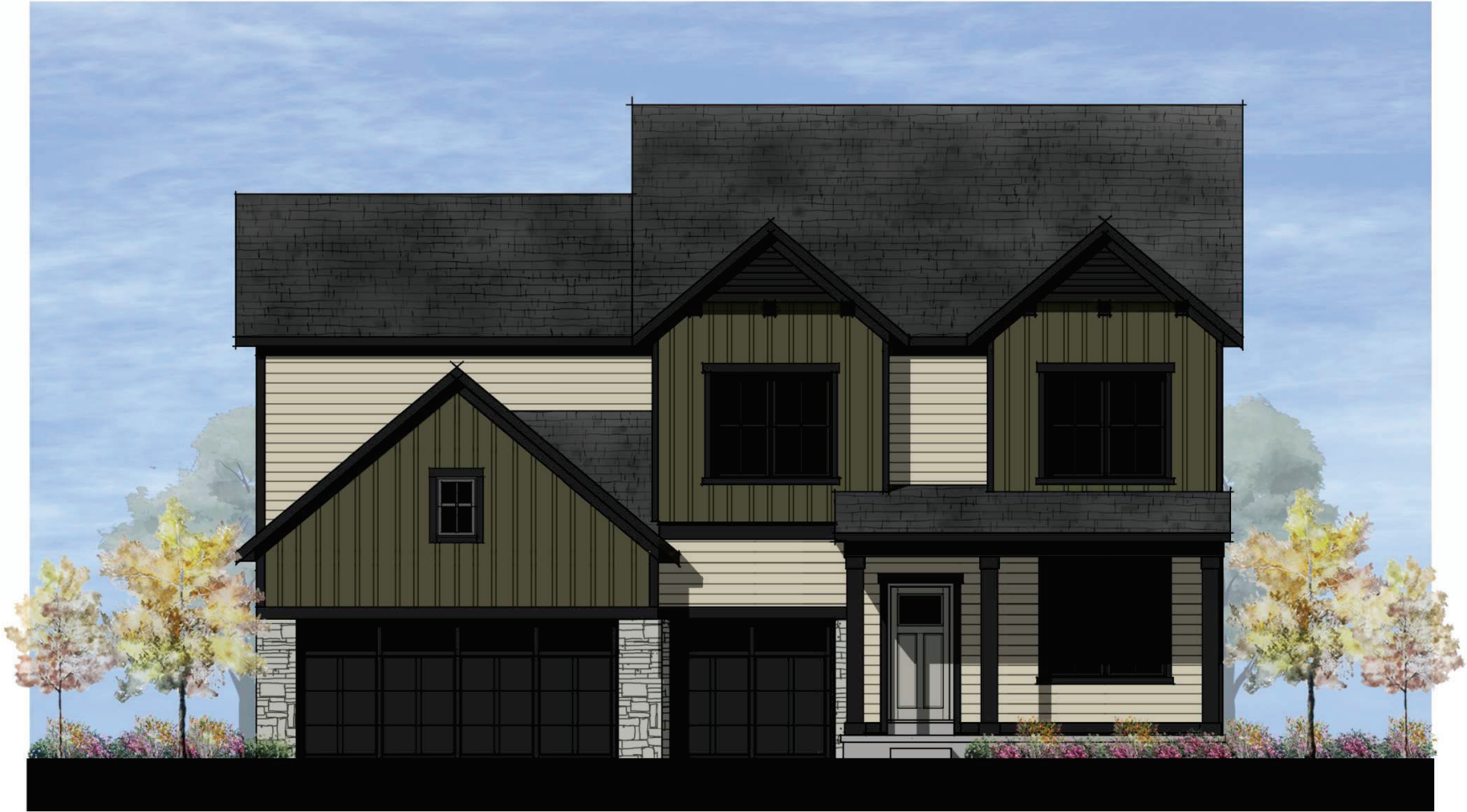
**TREE PRESERVATION PLAN**

T1 of T1

Small text at the bottom left corner, likely a reference to a drawing standard or software version.



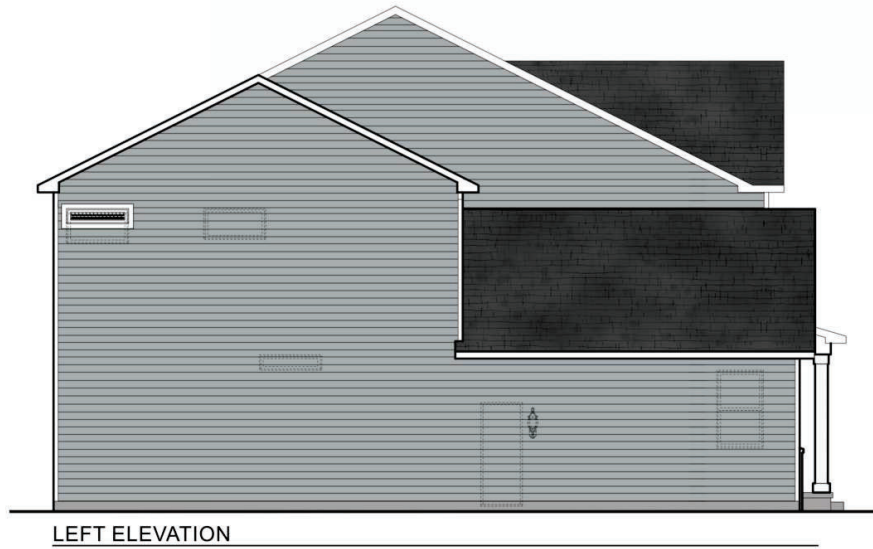
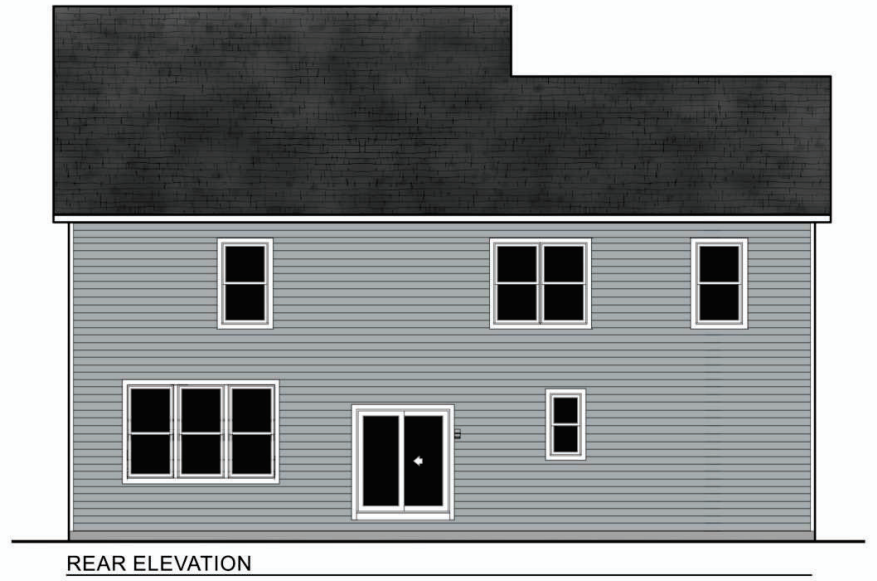
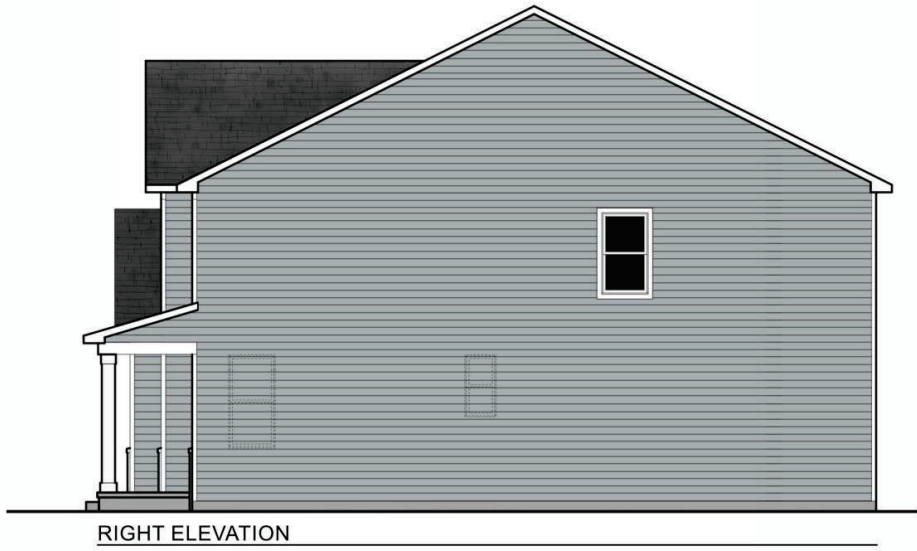
WESTCHESTER FH302

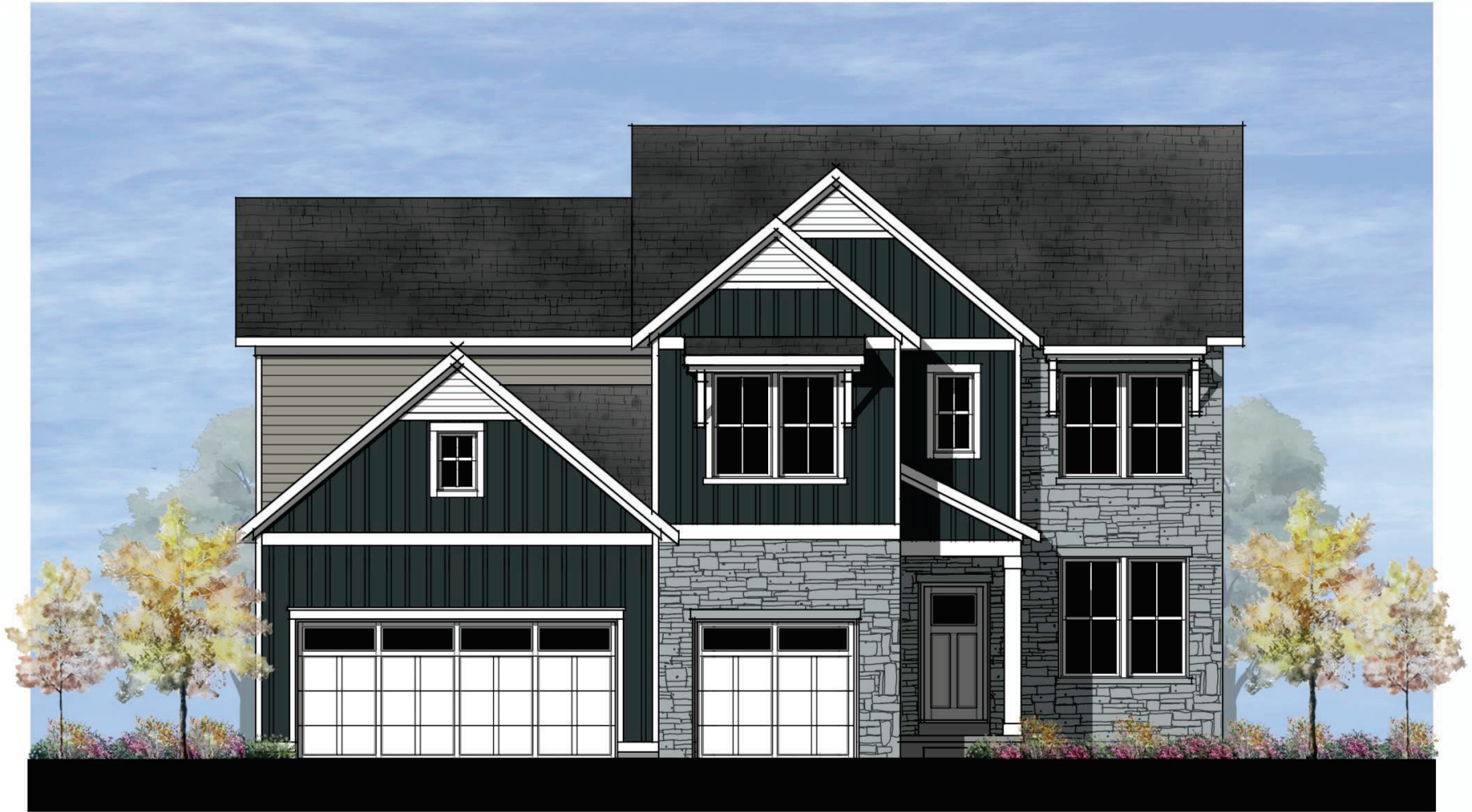


WESTCHESTER FH303



WESTCHESTER FH2G





DECATUR FH303



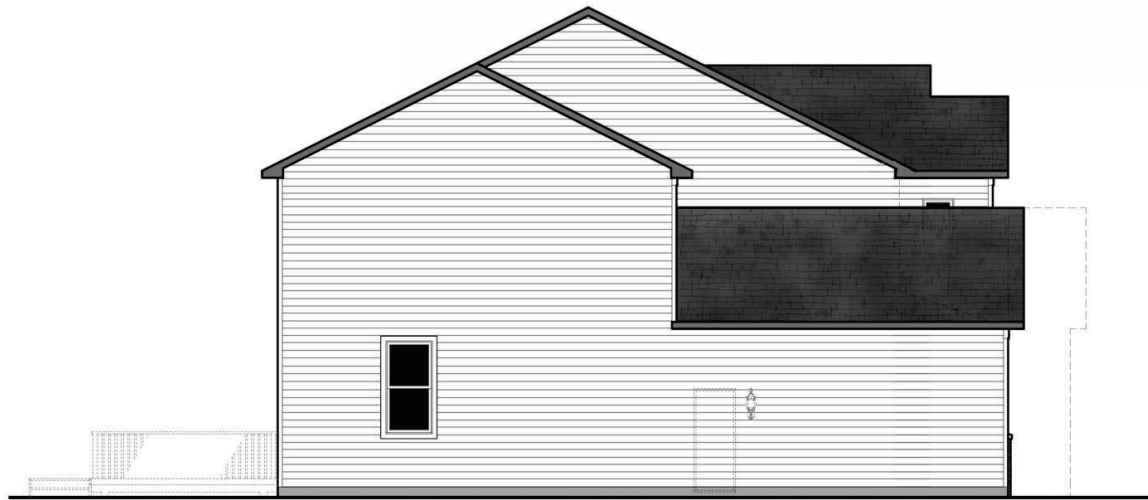
DECATUR FH301



RIGHT ELEVATION



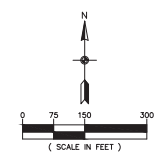
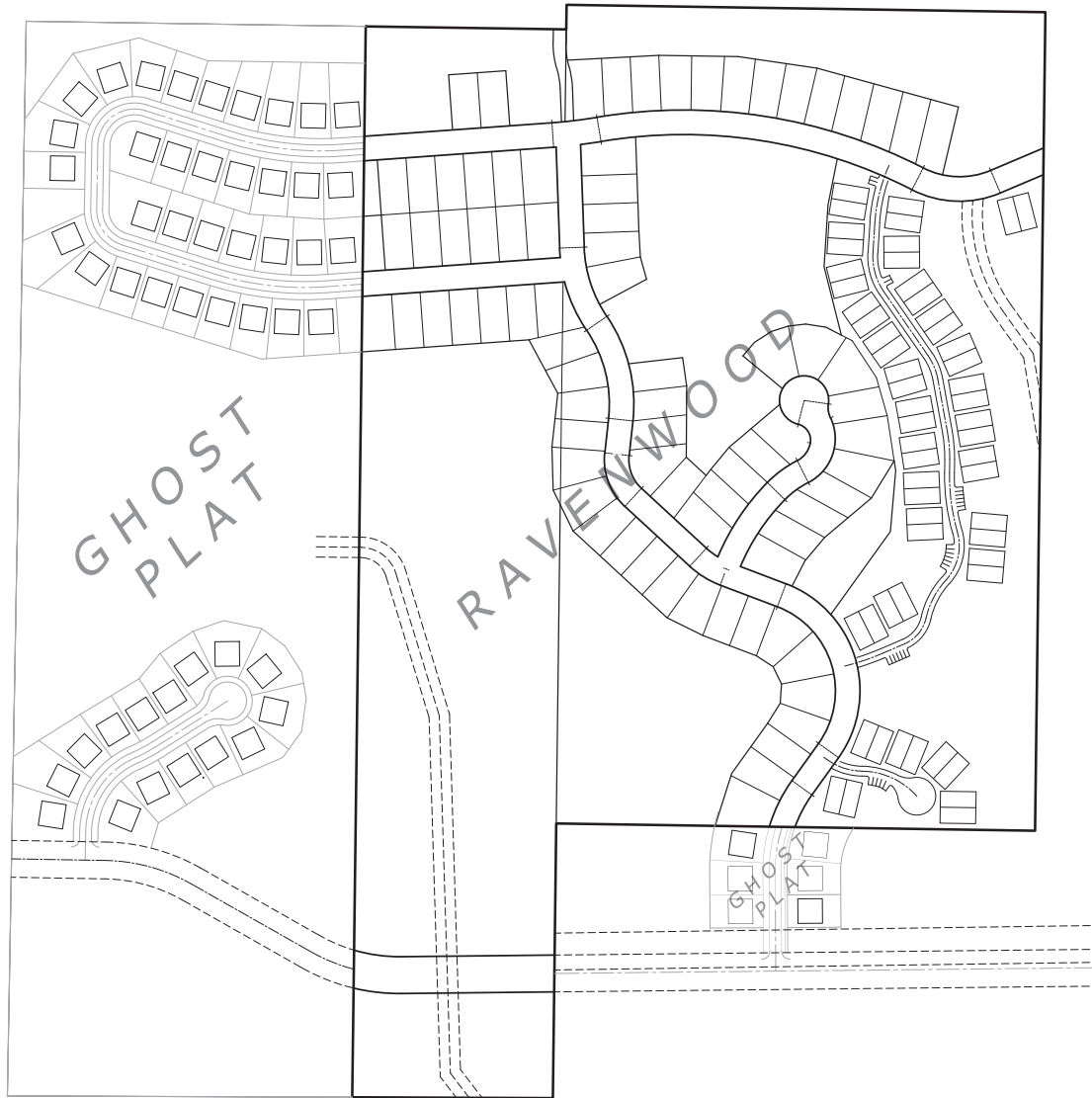
REAR ELEVATION



LEFT ELEVATION







**CARLSON ENGINEERING**  
 ENGINEERING  
 SURVEYING  
 PLANNING

10000 Highway 100, Suite 100, Blaine, MN 55425  
 TEL: 763.479.2222 FAX: 763.479.2223

**GHOST PLAT EXHIBIT**

**RAVENWOOD**  
 Blaine, Minnesota

**PULTE HOMES OF MN, LLC**  
 1650 W. 82nd Street, Suite 300  
 Bloomington, MN 55431

REVISIONS

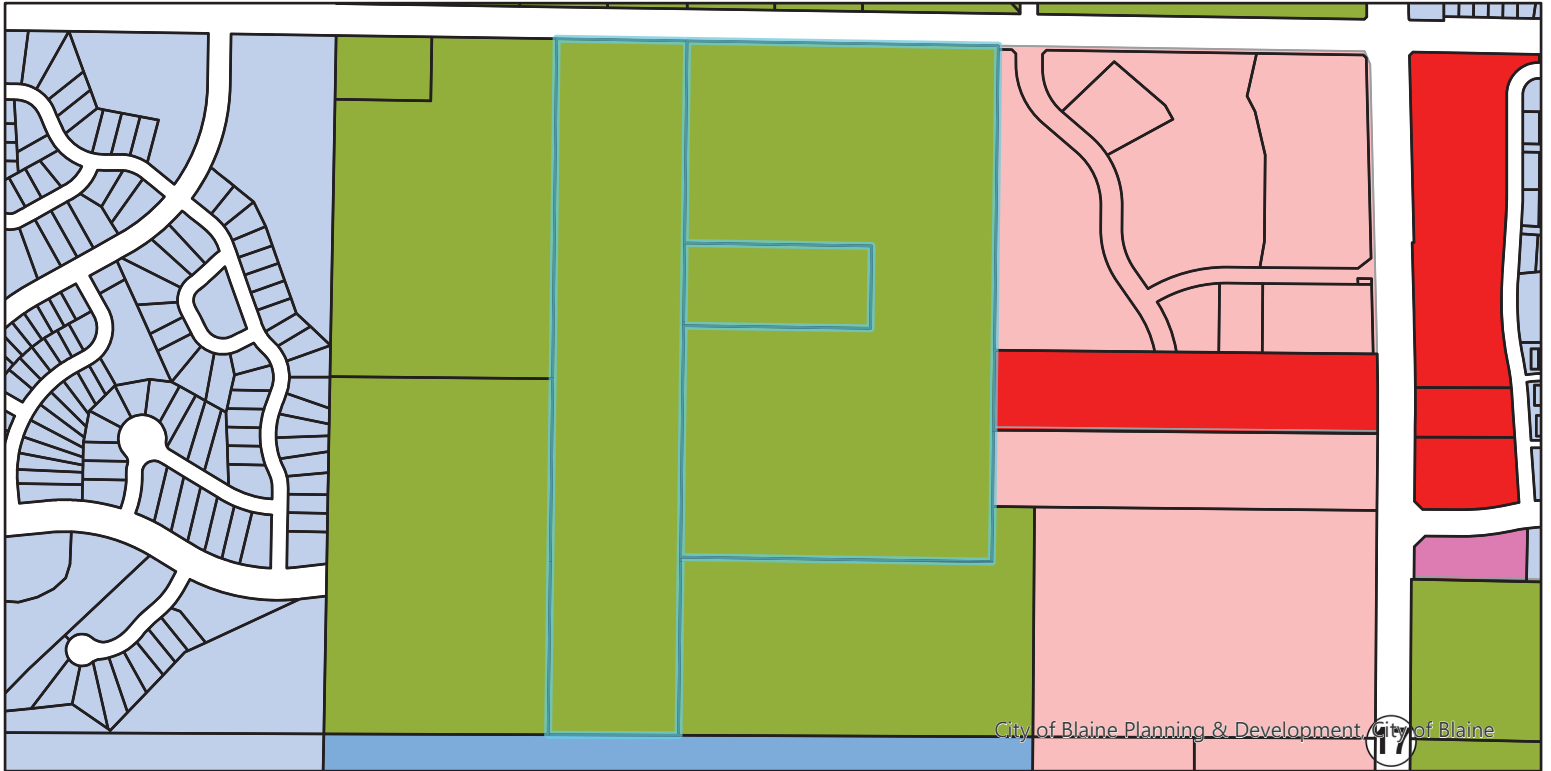
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DRAWN BY: Carlson Engineering  
 ISSUE DATE: 11/12/15  
 FILE NO: 2558

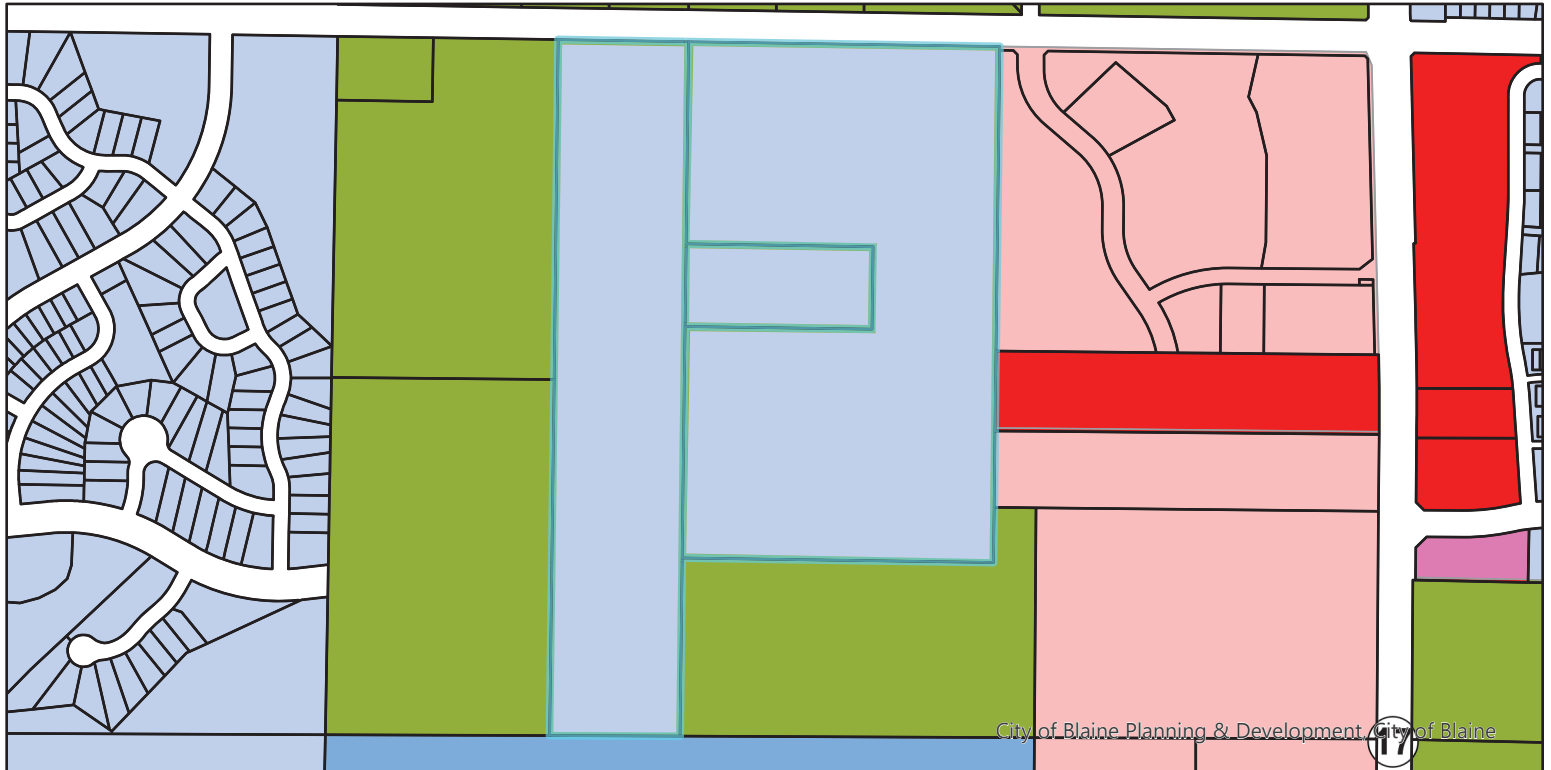
1 of 1







# Existing and Proposed Zoning

## Existing Zoning



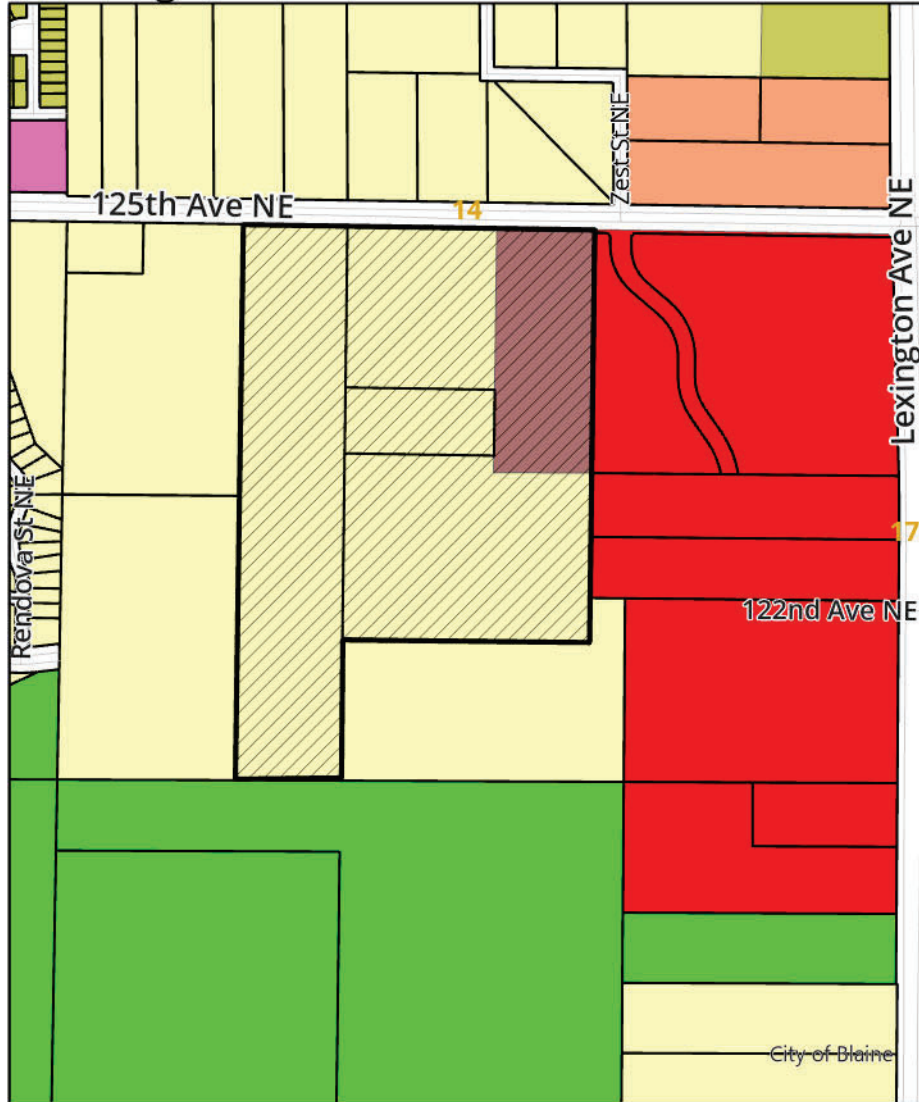
## Proposed Zoning



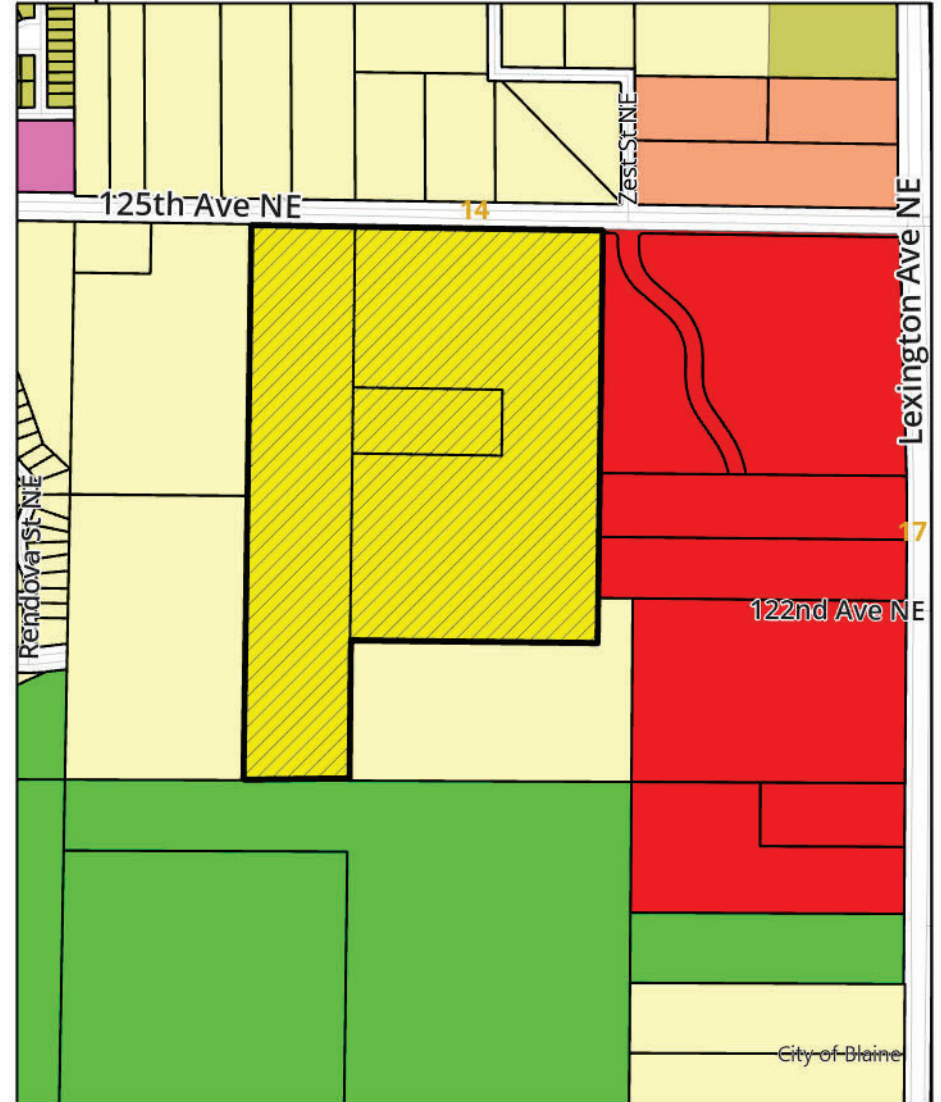
- |   |   |
|---|---|
|  B-2 - Community Commercial      |  FR - Farm Residential |
|  B-5 - Town Commercial           |  DF - Development Flex |
|  PBD - Planned Business District |  RF - Residential Flex |

# PC25-0056: Ravenwood

Existing Land Use



Proposed Land Use



- |  |  |
|--|--|
|  CC - Community Commercial                                 |  P/OS - Park/ Open Space                        |
|  LDR - Low Density Residential                             |  PC - Planned Commercial                        |
|  MDR - Medium Density Residential                          |  PI/PC - Planned Industrial/ Planned Commercial |
|  MDR/CC - Medium Density Residential/ Community Commercial |  L-MDR - Low to Medium Density Residential      |



# **Ravenwood**

## **City of Blaine, MN**

**APPLICATION FOR:  
Preliminary Plat, Rezoning/CUP, and Comprehensive Plan Amendment**

**BLAINE, MINNESOTA  
December 5, 2025  
Revised January 9, 2026**

## **Introduction**

Pulte Homes of Minnesota, LLC (“Pulte”) is pleased to be submitting this application.

Our company mission statement is “***Building Incredible Places Where People Can Live Their Dreams.***” We currently operate under three distinct brands of homebuilding throughout the country: Pulte Homes, Centex Homes, and Del Webb. The office for Pulte’s Minnesota Division is in Bloomington. We will sell and build over 700 homes in the Twin Cities a year under the Pulte Homes and Del Webb brands.

Pulte will act as both developer of the property and builder of the homes. The primary contact for Pulte is:

Dean R. Lotter, Director of Land Planning & Entitlement  
1650 West 82<sup>nd</sup> Street  
Suite 300  
Bloomington, MN 55431  
952-219-9082  
[Dean.Lotter@PulteGroup.com](mailto:Dean.Lotter@PulteGroup.com)

The owners of the property:

(1) Lisa McKinley  
3900 125<sup>th</sup> Avenue NE  
Blaine, MN 55449  
763-913-2854  
[Lisa.a.Mckinely@gmail.com](mailto:Lisa.a.Mckinely@gmail.com)

(2) Jeffery and Susan Kempf  
8852 Deer Trail  
Pequot Lakes, MN 56472  
612-816-5264  
[eljefe.kempf@gmail.com](mailto:eljefe.kempf@gmail.com)

The planner, surveyor, civil engineer, and landscape architect are:

Carlson McCain  
Attn: Brian J. Krystofiak  
3890 Pheasant Ridge Drive NE  
Suite 100  
Blaine, MN 55449  
763-489-7920  
csharp@carlson-engineering.com

## The Property –

This site is an assemblage of land owned by the Kempf family and the McKinley family. The Kempf parcel is abstract property, and the McKinley parcels are torrens property. Since there are updates needed to both legal descriptions; our plat contains the current legal descriptions for each parcel on the “existing conditions” page and the proposed legal descriptions on the preliminary plat index page. We will be working with the County Examiner of Titles Office and the title company to have the legal descriptions updated to reflect the proposed legal descriptions and to obtain updated title commitments for the site concurrently with our preliminary plat approval.

### Existing Legal Description:

- (1) THE N 2000 FT OF W 1170 FT OF NE1/4 OF SEC 11 TWP 31 RGE 23, EX S 310 FT OF N 1130 FT OF W 702.58 FT OF SD 1/4, EX RD, SUBJ T
- (2) THE S 310 FT OF THE N 1130 FT OF THE W 702.58 FT OF THE NE1/4 EX RD SUBJ TO EASE OF REC
- (3) THAT PRT OF E1/2 OF NW1/4 OF SEC 11 T31 R23 DESC AS FOL: COM AT N1/4 COR OF SD SEC TH W ALG N LINE OF SD SEC 490 FT, TH S PRL

### Property Identification Number

- (1) 11-31-23-12-0001
- (2) 11-32-23-12-0002
- (3) 11-31-23-24-0002

### Proposed Legal Descriptions:

#### Kempf Parcel (abstract property)

That part of the East Half of the Northwest Quarter of Section 11, Township 31, Range 23, Anoka County, Minnesota, described as follows: Commencing at the North One-Quarter corner of Section 11, Township 31, Range 23; thence West along the North line of Section 11, a distance of 490 feet; thence South and parallel to the East line of the Northwest Quarter of Section 11, to the South line of the said Northwest Quarter of Section 11; thence East along the south line of the said Northwest Quarter to the Southeast Corner thereof; thence North along the East line of said Northwest Quarter to the point of commencement, Anoka County, Minnesota.

EXCEPT Parcel 49, ANOKA COUNTY HIGHWAY RIGHT-OF-WAY PLAT NO. 46, Anoka County, Minnesota.

**McKinley Parcel (torrens property)**

The North 2000 feet of the West 1170 feet of Northeast Quarter (NE1/4) of Section Eleven (11), Township Thirty-one (31), North of Range Twenty-Three (23) West of the Fourth Principal Meridian EXCEPT the South 310.00 feet of the North 1130.00 feet of the West 702.58 feet thereof.

Also EXCEPTING Parcel 50, ANOKA COUNTY HIGHWAY RIGHT-OF-WAY PLAT NO. 46, Anoka County, Minnesota.

AND

The South 310.00 feet of the North 1130.00 feet of the West 702.58 feet of Northeast Quarter of Section 11, Township 31, North of Range 23 West of the Fourth Principal Meridian.

## The Site Plan

Pulte's site plan has gone through several revisions as we worked through our concept plan with the City Council. We presented our original plan in May of 2025 and a revised plan in October of 2025. Back in May, our approach to this site proposed a blend of townhomes and single-family homes. We considered site plans with only single-family lots. However, any site plan with only single family homes ran into difficulty complying with the City's comprehensive plan and the prescribed density ranges found therein. In order to comply with the City's approved 2040 Comprehensive Plan, we needed to include a portion of medium density, which is why our May 2025 site plan proposed townhomes and 65' single-family lots. Council feedback at the May 2025 work session indicated a desire by the Council for a site plan with larger lots, upscale homes, and a neighborhood without townhomes.

During the past summer, we contemplated changes to our site plan to reflect the Council's feedback, yet thread the needle on other things like density and navigating protected wetlands while also complying with the City's Comprehensive Plan. Protected wetlands on this site are found in abundant supply. The Rice Creek Watershed District (RCWD) has rules in place to protect higher quality wetlands. Any development of this site will need to avoid these wetlands to the greatest extent possible and abide by the RCWD's wetland buffering rules as they are the regulating body over wetlands. Additionally, the parcels that will comprise the neighborhood are guided for LDR by the City's Comprehensive Plan. LDR has a density requirement of 2.5 to 6 units/acre. When site planning any neighborhood, we review a city's comprehensive plan and create a plan that follows how the land is guided to the best of our ability. This plan was approved by both the City of Blaine and the Metropolitan Council. Any site plan not providing for the minimum required density likely wouldn't get sewer extension permits issued from the MPCA at the request of the Metropolitan Council.

During the months following the review of our initial site plan last May, we had meetings with most of the City Council. It was through these meetings that it became clearer that the lot size of single-family homes was less important than the quality of the exterior aesthetics of the homes. In order to thread the needle of City Council feedback and the approved Comprehensive Plan, we revisited our plans to make changes based on this information. At our second concept plan review, we introduced a site plan with more upscale single-family homes on larger lots along

with an aesthetically pleasing twin home product for the empty nester buyer. This proposal, along with the discussion about the protected wetlands and the density required by the City's comprehensive plan, seemed to be more well received by the Blaine Council.

### Density Requirement

At the May work session, most of the city council expressed a desire for the site plan to be all larger lots. This topic was further addressed at the October work session. Below is a calculation of the density of a site plan composing solely of 80' lots.

RAVENWOOD

City of Blaine

12/5/25

#### Density Calculations

<b>Number of Residential Units Proposed</b>	87		
<b>Total Acreage</b>	82.77		
<b>Exclusions</b>			
Wetlands and required buffers ( <i>Wetlands &amp; WMC Buffer</i> )	27.93		
Rare, threatened, or endangered species preservation ( <i>Rare Plants protection area in Outlot D</i> )	1.24		
Public parks and public open spaces			
Arterial Roads ( <i>Lexington Ave</i> )	1.26		
Future Development ( <i>Outlots J &amp; K</i> )	0.17		
Public stormwater in outlots to be deeded to the City* ( <i>All ponds receive public water</i> )	8.26		
Commercial Uses			
Other: ( <i>ACHD Pond Easement &amp; Electric Easement</i> )	1.56		
<b>Gross Density</b>	<b>1.05111</b>		
<b>Net Density</b>	<b>2.05431</b>		
* Confirm whether outlots are eligible to be deeded to the City with the engineering department			
Net density must match the land use designation from the Comprehensive Plan			
LDR	2.5-6 units per acre		
L-MDR	2.5-12 units per acre		
MDR	6-12 units per acre		
M-HDR	6-25 units per acre		
HDR	12-25 units per acre		
HDR2	12-60 units per acre		

An 80' wide lot plan yields a density of 2.05 units/acre. Larger acreage lots would aggravate the density calculation. Some smaller lots are needed on this site to be able to achieve the minimum density required for the site. Seventy-foot-wide lots on the interior of the site with twin homes on the east side of the site targeting the retiree population, would yield 3.1 units per acre and would comply with the City's comprehensive plan while keeping the density to the lower end of the guided density designation. The Met Council will be requiring a higher minimum density

from land use applications in the future. With the passage of time, site plans will be required to have a minimum 3.5 units/acre density. Supporting our plan now allows us and the City to keep the density to the lower end of the allowed density prescribed for LDR guided areas.

### **Creating lakes out of the existing wetlands**

Additional feedback that was received after the May work session suggesting we could convert the wetlands on our site into man made “lakes” like the existing neighborhood to the west. I investigated the possibility of doing this and it turns out this is not feasible. I presented this information to the city council at my second presentation this past October. It’s a salient point that bears repeating in our preliminary plat application. I discussed the possibility of digging up the wetlands and creating lakes in their place with our consultant. Our consultant, Melissa Barrett with Kjolhaug Consulting had the following response to question of replacing the wetlands with lakes.

***The neighborhood to the west (the Lakes) was a sod field. Very little of it was regulated wetland. Because of the poor soil (peat), the peat needed to be stripped and then the sand underneath was mined. Mined sand was used to make the new upland topography, and then the holes where sand was mined are now “lakes”. Working around wetlands was not something the project layout needed to consider.***

***The McKinley site has extensive, natural wetlands. Many of the wetlands are in the RCWD wetland management corridor (a contiguous corridor encompassing high priority wetland resources identified at a landscape scale). These wetlands need to be worked around as much as possible to satisfy wetland sequencing and garner a permit from the watershed and Corps of Engineers.***

### **Neighboring Development**

HJ Development’s site is proposed to be retail/commercial. As you move from east to west through the HJ site and cross over into the McKinley/Kempf site, develop goes from more intense to less intense. A commonly accepted planning practice is to build medium density homes adjacent to retail/commercial to act as a buffer between retail/commercial and the more upscale single-family homes. This allows for a soft transition as you travel further west through the McKinley/Kempf site into the larger single-family lots. The progression is similar to the Lakes development as you move through that neighborhood from the west to the east. In the Lakes development, next to busier streets there are quad homes, town homes, apartments and smaller single-family homes. As you move further away from the busier roads, the medium density development transitions to larger single-family homes. Eventually this medium density type development gives way to larger single-family homes. In our proposal, we propose to develop in a similar fashion, moving from the east to the west and we have the twin homes, a low to medium density use next to the more intense uses of the commercial area. This creates a buffer between the commercial and larger single-family homes.



## Rezoning Request

We are requesting that our site be rezoned to Development Flex. This zone will allow for both proposed home and lot types to exist. Below are our responses to the Development Flex criteria analysis.

### Development Flex Criteria:

The City Council shall consider the following criteria and objectives in processing the application for rezoning to the DF district and the application for the CUP:

1. The proposal shall provide for a wider range of housing types, price ranges and styles than could be accomplished under the existing zone.
  - Development Flex will allow the applicant to provide a low/medium density home product, in this case a twin home, along with the larger single-family lots that are proposed. The price ranges for the Twin from \$450,000 to \$550,000 and the single-family home pricing will be \$650,000 to \$800,000+. The single-family homes will serve the family that is growing and needs more space, while the twin homes will serve a completely different buyer in the market; the empty nester/retiree.
2. The proposal shall provide amenities and facilities and open spaces greater than the minimum requirements under existing zoning.
  - Pulte's site plan overachieves regarding the amount of open space. Our proposal, Ravenwood, protects and preserves the naturally occurring wetland/ponding features of the site. Thirty-five percent of this site is preserved for high quality wetlands and the necessary buffering. An additional 12% will be reserved for ponding. Additionally, we will contribute to the park dedication fund.

3. The proposed development is compatible with the purposes and intents of this ordinance and with the comprehensive plan.
  - Our proposal is to provide twin homes along with single family homes. Twin homes is becoming more in demand in communities throughout the market. Providing retiree targeted housing allows residents who no longer wish to have the responsibility of maintaining a larger home and yard, an option to stay in the community they love while giving up some of the responsibilities of mowing their lawns or removing snow from their driveway and front walkways. Pairing up twin homes with single family homes allows for a unique combination of housing that allows our proposal to comply with the density requirements of the City's comprehensive plan, while serving compatible home buyers.
4. The proposal shall in no way be detrimental to the environment. Scenic aspects and natural features, such as streams, trees, topography, and geological features, shall be protected and preserved to the greatest extent possible.
  - Our site plan will preserve all the wetlands located in the Rice Creek Watershed District's wetland management corridor located on our site. Nearly 35% of our plan preserves these higher quality wetlands. There is a public ditch in the northeast portion of the site that is being crossed by our entrance road but is being left alone in its current alignment and is being protected by the same buffering that the high-quality wetlands are being afforded. While we are impacting population of rare plants located towards the interior of the site, we have adjusted our northern disturbance boundary to avoid another rare plant population altogether.
5. The proposal shall not impose any undue burden upon the public services and facilities, such as fire and police protection, schools, streets, water systems, sanitary sewer systems, and storm sewer systems.
  - Our proposal complies with the comprehensive plan density range. The site is largely guided LDR with a density of 2.5 to 6 units/acre. Our proposal is coming in at 3.1 units per acre which is to the lower end of the density range. Conversations with city staff have indicated that water and sewer have capacity to serve our proposed development.
6. The proposed development is designed in such a manner to form a desirable and unified environment within its own boundaries, and also which will not be detrimental to future land uses in the surrounding areas.

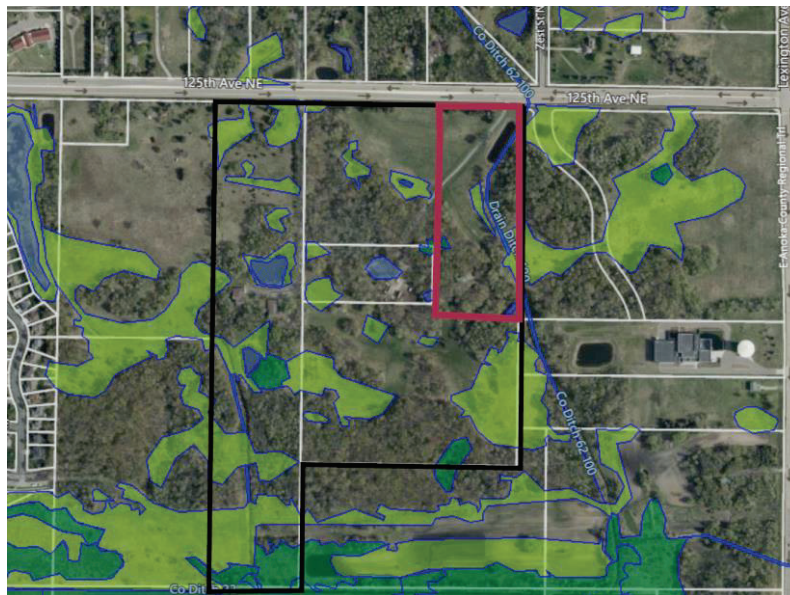
- With commercial/office development to the east, it makes sense to have a low/medium density housing element podded on the east side of our site. This creates a natural transition from a more intensive use to the less intensive use to the single-family homes we are proposing. We are also planning for street connections to the west of our site and to the south, so that our plan allows for access to other parcels as they develop at some point in the future.

7. The proposal is consistent with all other applicable city and state regulations.

- Our application to the Rice Creek Watershed will be submitted by December 9<sup>th</sup>, 2025. A rare plant application was submitted to MNDNR on December 3<sup>rd</sup>, 2025. A replacement and mitigation plan will be submitted to the local TEP and USACOE the week of December 8<sup>th</sup>, 2025. The applicant will comply with all rules and laws associated with developing this site.

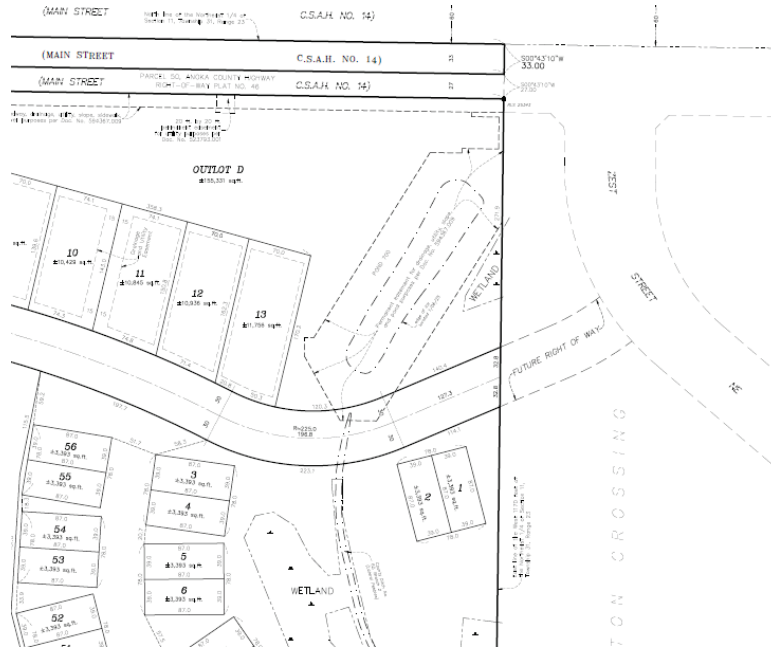
## Comprehensive Plan Amendment

With our request for preliminary plat approval and a rezoning to Development Flex, we are requesting a comprehensive plan amendment be approved. While a majority of the site is guided low density residential or LDR, a small portion located in the northeast corner of the site is guided planned industrial or planned commercial or PI/PC. The black outline in the graphic below is the McKinley and Kempf parcels under consideration for this development and the majority of which is guided for low density residential. The mauve outline indicates the approximate portion of the site that is guided PI/PC. If approved, our requested comprehensive plan amendment would guide the entire site including the mauve area from LDR or PI/PC to L-MDR which still has a starting density of 2.5 units per acre.



# Site Access

Access to the site would be primarily achieved with a connection to Zest. In addition to the Zest connection, temporary emergency access is proposed where there is an existing driveway. At some point in the future the Lakes Parkway will be constructed allowing for a permanent secondary access point into other developing areas and Pulte's site as well. When Lakes Parkway is constructed, temporary access from Main Street will no longer be needed and will go away. We have included in our preliminary plat what the proposed connection to Zest Street would look like.



## Key Facts

- Existing zoning
- Guided zoning
- Proposed zoning
- Proposed use

Farm Residential  
 Low Density Residential/Commercial  
 Development Flex (DF)  
 135 homes total  
     79 single family homes  
     56 twin homes

<b>Number of Residential Units Proposed</b>	135
<b>Total Acreage</b>	82.77
<b>Exclusions</b>	
Wetlands and required buffers ( <i>Wetlands &amp; WMC Buffer</i> )	27.93
Rare, threatened, or endangered species preservation ( <i>Rare Plants protection area in Outlot D</i> )	1.24
Public parks and public open spaces	
Arterial Roads ( <i>Lexington Ave</i> )	1.26
Future Development ( <i>Outlots J &amp; K</i> )	0.17
Public stormwater in outlots to be deeded to the City* ( <i>All ponds receive public water</i> )	8.26
Commercial Uses	
Other: ( <i>ACHD Pond Easement &amp; Electric Easement</i> )	1.56
<b>Gross Density</b>	<b>1.63103</b>
<b>Net Density</b>	<b>3.18772</b>

- Dimensions/Setbacks – Twin Home
  - Front Setback 18 feet
  - Front Garage Setback 25 feet
  - Side Yard Setbacks 10/10 feet
  - Side Corner 20 feet
  
- Dimensions/Setbacks – 70' Single Family Lots
  - Front setback 25 feet
  - Corner setback 20 feet
  - Rear setback 30 feet
  - Side setback 10 feet and 10 feet
  - Minimum lot width 70 feet

## Environmental Due Diligence

We have continued doing all the necessary due diligence on the site including environmental studies, geotechnical work. We conducted a rare plants survey for our site throughout this past growing season and identified two protected species of rare plants on the site. We have applied for a permit with the MNDNR regarding the impact on some protected plants. We adjusted our grading limits to avoid and protect another species of rare plants along the northern portion of the site. We also proved a tree coverage page in our preliminary plat work along with a landscaping plan.

## Park Dedication

It is the applicant's intent to meet the City's Park dedication requirements by paying park dedication fees.

## The Homes

Pulte Homes is known for the extraordinary steps that we take to ensure that we are designing and building homes that meet the needs and desires of home buyers. We continually reach out

to home buyers and Pulte homeowners to get feedback to improve our home designs. It is what we call Life Tested®. Through this intensive process, we have conceived of and incorporated innovative features such as the Pulte Planning Center, the Everyday Entry, Super Laundry, Oversized Pantry, and the Owner’s Retreat. Click on this link to learn more about Life Tested® process [Experience Life Tested | Pulte](#). This exhaustive process has played a major part in Pulte’s success in “**Building Incredible Places Where People Can Live Their Dreams.**”

We are proposing to build 70’ single-family lots with higher-end homes. Architecturally speaking, these homes will have LP siding with stone accents, 3 stall garages, varying roof pitches and more than 30 color schemes to ensure a diverse and rich feel to the development. Offering a twin home product here reduces the density of the site, when compared with townhomes, but still allows the application to meet the minimum density of the LDR designation. The twin home also provides an option for retirees who want to stay in Blaine but downsize the home in which they live. Twin home aesthetics are also important to the city council. We heard and understood this. Our response is to offer homes with LP siding on all sides and stone accents. Several color packages will be offered on the Twin homes as well. More information on the homes is available below.

## Energy Efficiency

The homes that Pulte will be constructing will have extremely high energy efficiency. Each home is tested using the Home Energy Rating System (HERS) index, which is the industry standard for measuring energy efficiency. Heating, cooling, and water heating constitute the largest cost of homeownership outside of the mortgage. The U.S. Department of Energy has determined that a typical resale home scores 130 on the HERS Index while a home built to the 2004 International Energy Conservation Code is awarded a rating of 100 (lower is more energy efficient). Pulte Homes measures the HERS score of every new home constructed. The average HERS score for our homes runs in the range of 47 to 53. We are building extremely energy-efficient homes that dramatically exceed the International Energy Conservation Code threshold.

## Phasing & Schedule

The City of Blaine’s application schedule suggests that staff review, and possible planning commission and council consideration would occur as follows:

Preliminary Plat Land Use App	December 5, 2025
Preliminary plat approval	February/Mach 2026
Site development	Spring 2026
Model home opens	late 2026/early 2027
Full build of homes	early 2029

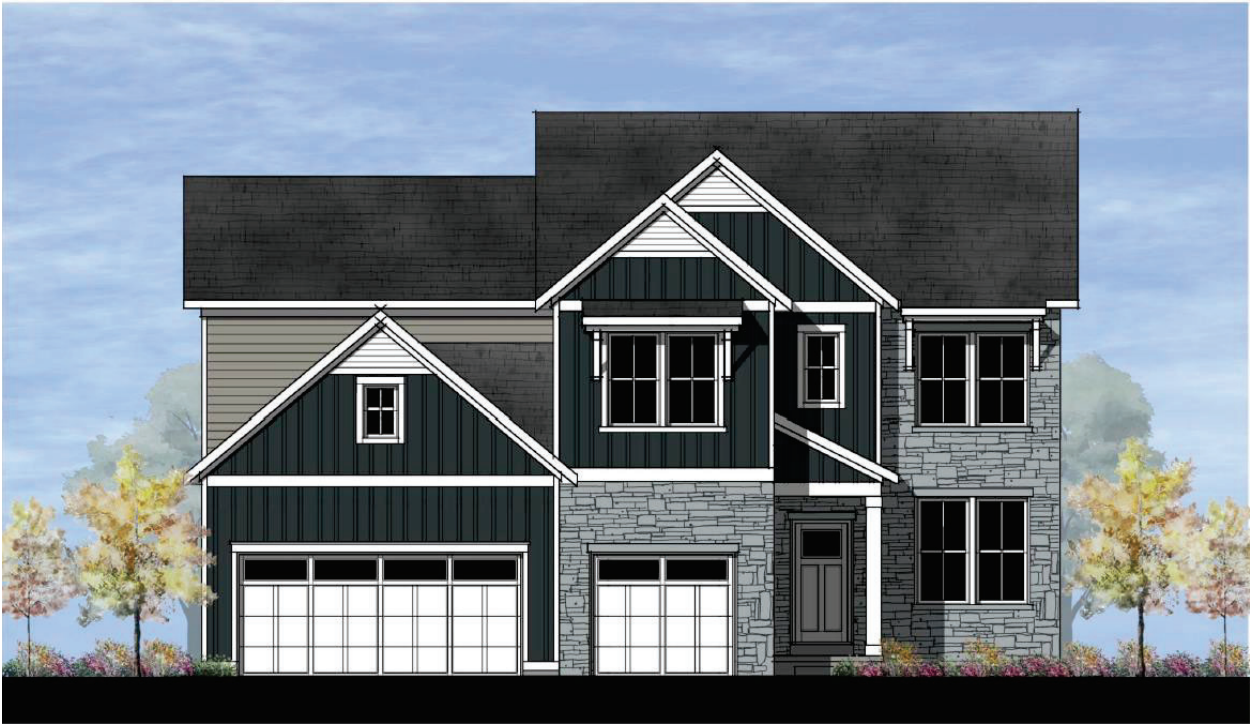
# Conclusion

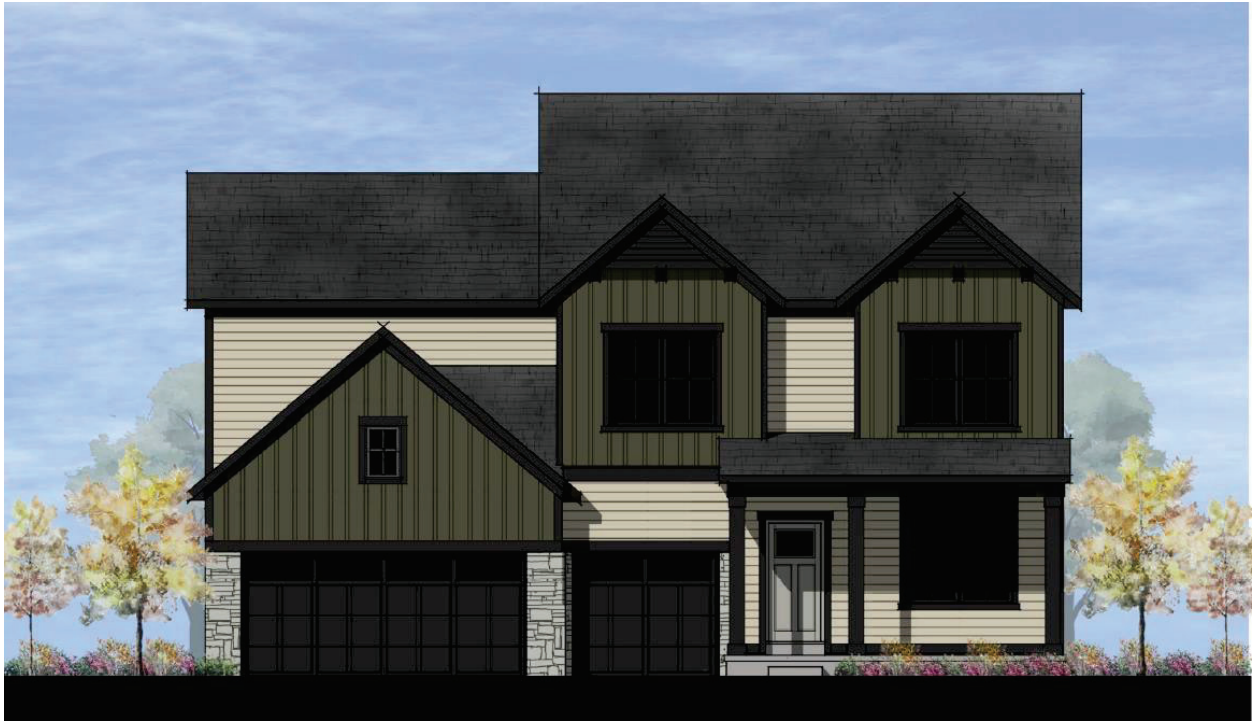
**Site Plan Adjustments and Density Reductions:** After adjusting our site plan from smaller single family lots to larger single family lots with more upscale homes and removing townhomes altogether and replacing them with twin homes, we have responded to some of the city council's concerns regarding our initial plan. We decreased the density and have agreed that the homes will have superior exterior finishes. The single-family homes on the revised plan will have stone and LP exteriors. Twin homes target an empty nester buyer, which seemed to appeal to the city council. These homes will also have stone and LP treatment on the exteriors. Our original plan had over 170 units and the revised plan has been reduced to 135 units; despite this reduction in the number of homes our plan still complies with the City of Blaine's Comprehensive Plan guidance for low density residential.

**Preservation of WMC Wetlands:** Additionally, there are numerous wetlands throughout the site that are considered high quality by the Rice Creek Watershed District (RCWD) and are in the RCWD's wetland management corridor (WMC). These WMC wetlands need to be preserved and also require buffering around them for protection. We designed our site to preserve these higher quality wetlands and comply with buffering requirements.

**Approvals Sought:** We are seeking preliminary plat approval, a rezoning/CUP of the site to Development Flex and a Comprehensive Plan Amendment, guiding the entire site to L/MDR, along with the ability to connect to Zest Street which will require access through city owned property.

# Conceptual Home Elevations – Upscale Single-Family Homes.





Conceptual Twin Homes





# Neighborhood Meeting Summary

February 5, 2026

The neighborhood meeting had 5 neighbors attend the meeting. The three McKinley sisters and their realtor were present as well. We presented a PowerPoint. Haley Daily Sievers from Pulte and Brian Krystofiak from Carlson Engineering also attended.

A sign in sheet was available but only two people signed the signup sheet – Mike Ferraio (sp?) and Nate Raich.

There were only a few questions asked at the end of the presentation.

One question was about access into and out of the site. Using the presentation as a visual, it was illustrated how people would gain access to the site.

Another person asked about when Lakes Parkway will be built. It was stated that while the Lakes Parkway connection has been planned for a while, we couldn't suggest when it will be built.

One person in attendance expressed concern that future residents of our neighborhood driving into The Lakes neighborhood and using their public parks. We responded to the effect that the public is free to use any public park in the City or elsewhere for that matter.

One person in attendance stated that they were a developer that lived in The Lakes and he thought our site plan was excellent.

Dean Lotter  
Director of Land Planning and Entitlements  
Pulte Group



# City of Blaine

## Planning Commission

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February 10, 2026 | 7:00 PM  
Blaine City Hall  
10801 Town Square Drive NE  
Blaine, MN 55449

### MINUTES

#### 1. Call to Order

The Blaine planning commission met in the City Hall Chambers on Tuesday, February 10, 2026. Chair Goracke called the meeting to order at 7:00PM.

#### 2. Roll Call

Members Present: Commission Members Halpern, Howard, Olson and Chair Goracke.

Members Absent: Commission Members Geiselhart, Gorzycki and Swanson.

Staff Present: Shawn Kaye, Planner  
Alex Koberoski, Assistant Planner  
Teresa Barnes, Project Engineer

#### 4. Public Hearing

**4.2.** 2025-681 Case File No. 25-0056 // Pulte Group // 3700 and 3900 125th Avenue NE  
The applicant is requesting the following:

1. Rezoning from Farm Residential (FR) to Development Flex (DF).
2. Comprehensive plan amendment from Planned Industrial/Planned Commercial (PI/PC) and Low Density Residential (LDR) to Low-Medium Density Residential (L-MDR).
3. Preliminary plat to subdivide approximately 83 acres into 79 single family lots, 56 twinhome lots, one common lot and 11 outlots to be known as Ravenwood
4. Conditional use permit to allow construction of 79 single family homes and 56 twin homes in a Development Flex (DF) zoning district.

*Sponsors: Shawn Kaye, Planner*

The report to the planning commission was presented by Shawn Kaye, Planner. The public

hearing for Case File 25-0056 was opened at 7:12PM.

Dean Lotter, Pulte Homes representative, thanked the commission for considering this request. He commented he began evaluating this site in 2025. He reported this project had a lot of wetlands and situations that had to be managed. He noted he was available for comments or questions.

Laura McKinley, 3900 125th Avenue NE, one of the property owners, explained her family was supportive of the proposal. She indicated she has lived in the community for decades and has seen the community grow and prosper. She stated development wasn't for everyone and she now was ready to leave the city of Blaine. When she came to this conclusion, she began a partnership with Pulte Homes because it seemed like a really good fit. She asked that the commission support the proposed request and move this item forward to the city council.

Kathy Todych, representative of the sellers, explained she has lived in six different northern suburbs over the past 25 years. She discussed how the McKinley sisters have cared for this land for more than 50 years. She indicated the McKinley sisters have purchased rural land in hopes of relocating their farms in a quieter setting. After decades of being responsible property owners, the McKinley sisters were ready to move forward with the next chapter of their lives. She commented on the housing shortage that was facing the metro area and noted Pulte Homes was well positioned to help address this need. She reported Pulte Homes has taken the time to meet with neighbors and hear their concerns. She noted the proposed development includes twin homes for seniors as well as single-family homes. She requested the city move forward with the proposed development without requiring the homes to be \$1+ million like the homes in the Hidden Forest development in Ham Lake. She commented further on how there was a need for twin homes in the community.

Amy Peterson, 9932 Fillmore St NE, explained she supported the city moving forward with a responsible Blaine-appropriate housing development that supports families, existing neighborhoods and commercial investments that were being made in this area. She reported Blaine was a strong suburban community not a niche luxury market, when it came to housing. She indicated the median value home in Blaine was \$391,450. She commented on how one-acre lots with million dollar homes would serve on a small narrow buyer pool. She supported this project moving forward with standard sized suburban lots with high quality homes that would be more attainable for families. She noted this development would provide a balanced mix of housing types. She indicated there was a demand for additional housing in Anoka County between now and 2030 of over 18,000 housing units. She encouraged the commission to support the proposed development as it would bring stable housing to the community.

Alex Pavlov, 362 98th Avenue NE, explained he was a local realtor. He stated he was excited about the proposed housing project and noted there was a growing need for one level living options for seniors in the community. He encouraged the city to continue to invest in one level living options because this would free up existing housing units while also allowing seniors to age in place.

John Solem, 3421 126th Circle NE, explained he was a full-time employee of the federal government, part-time real estate agent, and was also a member of the national guard. He

stated he appreciated the sense of community that would be created through the proposed development and urged the city to not pursue larger lots and more expensive homes. He noted he moved to Blaine six years ago, and he greatly appreciated the sense of community he found in his neighborhood. He was of the opinion Pulte Homes did a wonderful job creating community and encouraged the planning commission to move this project forward.

Galen Wax, 3775 125th Avenue NE, indicated he was a life-long resident of Blaine and noted he supported this project moving forward. He asked how utilities would be brought to this development.

Project Engineer Barnes explained utilities would be brought from the Zest Street connection and would extend through the proposed streets to the south. She indicated there would be a looped watermain through this development.

Mr. Wax inquired if there would be a traffic signal at Zest Street.

Project Engineer Barnes reported a traffic signal would be constructed this summer at the Zest Street and Main Street intersection.

Ron Van Wald, 12527 Leyte Street NE, Unit D, thanked the planning commissioners for their service to the city of Blaine. He explained he was a neighbor to the McKinley sisters. He reported he has an adult son that was severely disabled and noted he has lived in this area of Blaine for the past 10 years. He indicated he supported the proposed development and encouraged the planning commission to do the same.

The public hearing was closed at 7:34PM.

Chair Goracke asked when project construction would begin if the project were approved.

Mr. Lotter explained he was working on getting approvals from all of the proper agencies and noted he hoped to begin construction in April or May of this year.

Commissioner Halpern questioned if this project would be entered and exited off of Zest Street.

Project Engineer Barnes reported this was the case. She noted there were future plans to connect the road to the Lakes Parkway extension.

Commissioner Olson asked if the development would have sidewalks.

Project Engineer Barnes explained sidewalks were part of the development.

**Motion by Commissioner Halpern to recommend approval of Planning Case 25-0056A a rezoning from Farm Residential (FR) to Development Flex (DF) with the following rationale:**

**Case 25-0056A:**

1. The DF zoning standards to be incorporated are consistent with and will complement homes and housing options that have been constructed within recent developments. The standards will create an attractive benchmark of quality homes with a desired range in appearance, style, density, and construction value and market appeal.
2. The DF zoning district allows the City the opportunity to have some flexibility when approving developments that warrant higher standards than what is allowed with the traditional zoning districts. It affords the City the opportunity to provide input on items that would benefit the surrounding neighborhoods and the City as a whole.

**Motion by Commissioner Halpern to recommend approval of Planning Case 25-0056B a comprehensive plan amendment from Planned Industrial/Planned Commercial (PI/PC) and Low Density Residential (LDR) to Low-Medium Density Residential (L-MDR) with the following rationale:**

**Case 25-0056B:**

1. The proposed L-MDR land use is consistent with adjacent residential uses.
2. The L-MDR land use designation to allow twinhomes is an appropriate land use to be located adjacent to existing commercial land use.
3. The proposed land use allows for construction of a variety of housing products to meet market demands for a range in density.

**Motion by Commissioner Halpern to recommend approval of Planning Case 25-0056C a preliminary plat to subdivide into 79 single family lots, 56 twinhome lots, one common lot and 11 outlots to be known as Ravenwood with the following conditions:**

**Case 25-0056C:**

1. Park dedication will be required for the 135 new lots being constructed at the rate of \$5,800 per unit (2026 rate), for a total park dedication fee of \$783,000 if paid in 2026. This amount must be paid prior to releasing the plat mylars for recording at Anoka County.
2. The developer will be responsible for trunk sanitary sewer area charges. These charges become due with platting for upland acreage. The 2025 rate for Sanitary Sewer District 7 is \$8,760.00 per upland acre and will be applied to the acreage platted. This will be updated once the 2026 indexed rates become available.
3. Developer to install grouped mailboxes with design and locations approved by the City and US Postal Service.
4. All development signage by separate review.
5. Each single family lot in the development will be required to have the standard two trees with a minimum of 2½-inch caliper per lot. One tree will be required in the front yard and one tree may be planted in the rear or front yard. One additional tree is required on corner lots.

6. The twinhome development is required to plant one overstory, one conifer, and one ornamental tree per unit.
7. 43 trees shall be planted adjacent to 125th Avenue.
8. The developer must meet the City's Tree Preservation requirements by planting 254 replacement trees for the lots that are preliminary platted (31.65 disturbed acres). This requirement can be met with the required front and rear yard trees, plantings adjacent to Lexington Avenue, and required trees for the twinhome development.
9. The developer is responsible for recording the plat mylars with Anoka County. Proof of recording must be provided to the City prior to issuance of building permits.
10. Execution and recording of a Development Agreement, which sets forth in greater detail the plat conditions as well as other responsibilities for the development of this plat.
11. The overall development shall be certified by a Professional Engineer licensed in the State of Minnesota and indicate all structures shall be protected from flooding.
12. Plans and specifications must be approved by the City prior to start of construction.
13. An Anoka County right-of-way permit is required prior to start of any site work.
14. Rice Creek Watershed District (RCWD) permit is required prior to city approval of construction plans and specifications.
15. The developer will be required to grant right of entry to the City of Blaine so that a second monitoring well can be constructed within the existing easement area.
16. Development requires a National Pollutant Discharge Elimination System (NPDES) Phase II General Storm Water Permit for Construction Activity from Minnesota Pollution Control Agency (MPCA). A prerequisite to the MPCA permit application includes preparation of a site Storm Water Pollution Prevention Plan (SWPPP) for the development site.
17. Construction contract documents shall include a mass (rough) grading, erosion protection, sediment control, development, utilities, roadway, and storm drainage plan sheets. Supporting wetland delineation report, geotechnical investigation report, soil boring logs, and hydrology report shall be included in the submittal for city review and approval.
18. The developer shall provide an exhibit that denotes the public versus private areas of the storm drainage system. Outlots that will remain private shall also be included in the exhibit.
19. The grading plan shall provide greater detail on protecting existing trees and provide additional information on adjacent property.
20. Standard utility and drainage easements must be dedicated along all lot lines and over areas of delineated wetlands, wetland mitigation, infiltration trenches, drainage swales, and storm water management ponds.
21. A protective buffer strip of natural vegetation, at least 15-feet in width (25-feet is preferred) shall surround all wetlands. This buffer strip shall be placed in easement.
22. The developer is to provide access for inspection and maintenance of storm water management infrastructure. Restrictions will be placed on lot lines as needed to limit fences and landscaping to ensure access.

23. The developer has responsibility to comply with any 125<sup>th</sup> Avenue NE improvements associated with this development per Anoka County plat review comments, if any.
24. The developer shall provide a construction cost estimate that includes costs for the construction of the section of Lakes Parkway that is within the property limits. This additional escrow funds will be required to be provided to the City to allow for completion of this roadway when necessary.
25. All local public streets require dedication of 60 feet of right-of-way and shall be constructed to 29 feet back to back of width.
26. All streets will follow the Anoka County street name grid system.
27. Street and utility extensions are required to the edge of the plat for each future connection to the adjacent parcels.
28. Sidewalks and or trails are required on all streets and location will be determined in the plan review process.
29. Streetlights shall be installed in the manner, location and type prescribed by the city engineer. The developer shall pay the costs of all of the street lighting installations. The City agrees to pay the cost of maintaining the portion of lights that are installed that reflect the normal and typical lighting requirements of the City. Additional lights, and those within neighborhoods that are installed by the developer, will be required to be maintained by the homeowners association.
30. Hydrant locations must be reviewed and approved by the Fire Department.
31. Water and sanitary sewer availability charges (WAC & SAC) become due with each building permit at the rate established at the time the building permit is issued.
32. As-built surveys shall be required to verify structure elevations, custom grading requirements, and final lot grading elevations.
33. The developer shall process a Letter of Map Change with FEMA prior to issuance of building permits within the unnumbered A-Zone on the FEMA flood map. Developer shall provide all FEMA paperwork and structure as-built surveys to homeowners at time of lot closing. Developer is responsible for following through with FEMA (as necessary) to receive final FEMA documents, to provide those documents to the homeowners, and to record the final documents on the certificate of title for each parcel in the development.

**Motion by Commissioner Halpern to recommend approval of Planning Case 25-0056D a conditional use permit to allow construction of 79 single family homes and 56 twin homes in a Development Flex (DF) zoning district with the following conditions:**

**Case 25-0056D:**

**Single Family 70 foot Lots — DF Development Standards**

**Permitted Uses:**

1. Single-family detached dwellings
2. Group family daycare

### Accessory Uses:

1. Private attached garages - one detached accessory structure, with area less than 120 square feet, will be permitted.
2. Private swimming pools meeting the requirements of Blaine Municipal Code Chapter 18 Article III.
3. Keeping of not more than two (2) boarders and/or roomers per dwelling unit.

### Conditional Uses:

1. Home occupations listed as Conditional Uses in Section 129-10

### Standards:

1. Setbacks
  - Front yard setback - 25 feet
  - Side yard setback - 10 feet (house and garage)
  - Corner side yard setback - 20 feet
  - Rear yard setback - 30 feet
2. Maximum building height - 2 1/2 stories or 35 feet.
3. It shall be required for all single-family dwellings that there be an attached garage constructed of a minimum of four hundred (400) square feet, with no dimension less than 20 feet. Total garage space shall not exceed one thousand (1,000) square feet.
4. The minimum finished floor area above grade for all homes shall be 1,700 square feet above ground for a single-level home and 2,600 square feet above ground for a two-story home.
5. All homes shall have a minimum depth and width of 24 feet.
6. All single-family homes will have varying roof styles and exterior treatments. Use of premium materials such as LP siding, stone, brick, etc., to be used on all front elevations. LP siding or equivalent is required on all elevations. All homes to incorporate multiple gables or varied rooflines and articulation of the front façade.
7. All residential dwellings must be built in conformance with the current edition of the Minnesota State Building Code.
8. Driveways shall not be constructed closer than three feet to the property line. All driveways and approaches shall be hard surfaced using concrete, bituminous asphalt or other city-approved material that is consistent in durability and quality.
9. It shall be required that all yards of a new single-family dwelling be sodded over a minimum of 4-inches of topsoil (black dirt containing not more than 35 percent sand). Yards may be seeded over 4-inches of black dirt if underground irrigation is installed with the home.
10. Each lot in the development will be required to have the standard two trees with a minimum of 2½-inch caliper per lot. One tree will be required in the front yard and one tree may be planted in the rear or front yard. All corner lots require one additional tree.

11. The developer to require the homeowners association to maintain all common areas.
12. All development entrance signage by separate permit.
13. 43 trees shall be planted adjacent to 125th Avenue.

## **Twinhome Lots**

### **Permitted Uses:**

1. Twinhome attached dwellings
2. Group family daycare

### **Accessory Uses:**

1. Private attached garages — No detached accessory structures.
2. Keeping of not more than two (2) boarders and/or roomers per dwelling unit.

### **Conditional Uses:**

1. Home occupations listed as Conditional Uses in Section 129-10

### **Standards:**

1. Setbacks
  - Front yard porch setback - 18 feet to back of curb
  - Front yard garage/house setback - 25 feet to back of curb
  - Side yard setback (between buildings) - 20 feet
  - Corner side yard setback - 20 feet
2. Maximum building height - 2 1/2 stories or 35 feet.
3. It shall be required for all single-family dwellings that there be an attached garage constructed of a minimum of four hundred (400) square feet, with no dimension less than 20 feet. Total garage space shall not exceed one thousand (1,000) square feet. Detached garages or accessory storage buildings are not permitted.
4. The minimum finished floor area above grade for all homes shall be 1,700 square feet above ground.
5. Use of premium materials such as LP siding with stone accents is to be used on all front elevations. LP siding or equivalent is required on all elevations.
6. All residential dwellings must be built in conformance with the current edition of the Minnesota State Building Code.
7. It shall be required that all yards of the twinhomes be sodded over a minimum of 4-inches of topsoil (black dirt containing not more than 35 percent sand). Yards may be seeded over 4-inches of black dirt if underground irrigation is installed with the home.
8. It shall be required that all rear yards provide a minimum of 20-ft from the rear of the structure to any platted stormwater feature.
9. The twinhome development is required to plant one overstory, one conifer, and one ornamental tree per unit.

- 10. Underground irrigation must be used for all landscaped areas.**
- 11. The developer to require the homeowners association to maintain all common areas.**
- 12. All development entrance signage by separate permit.**
- 13. All site plan and unit plans require approval from the Planning Department prior to any work being performed onsite.**
- 14. In addition to the two garage stalls per unit and driveway parking, there shall be one parking space for each three units for guest parking.**

**Motion seconded by Commissioner Olson. The motion passed 4-0.**

Chair Goracke noted this would be on the agenda of the March 2, 2026 city council meeting.



# City of Blaine Staff Report

File Number: ORD 26-2601

Agenda Date	Status
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March 2, 2026

In Control	File Type
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City Council

Ordinance

**Development Business** - Sheila Sellman, Community Development Director

## Agenda Item # 9.3

First Reading

Ordinance Approving Amendments to Residential Sections and Performance Standards of the City of Blaine Zoning Ordinance Regulating Accessory Dwelling Units. City of Blaine (Case File No. 26-0003/SAS)

## Executive Summary

Ordinance amendment to remove detached accessory dwelling units from city code.

## Background

Planning Commission Public Hearing	02/10/26
City Council (1st Reading)	03/02/26
City Council (2nd Reading)	03/16/26

Staff report prepared by Sheila Sellman, Community Development Director.

In June 2025, the City adopted an interim ordinance for a moratorium on accessory dwelling units (ADU) within the City. The moratorium is for one year and expires on June 2, 2026. Upon denying an application for a detached ADU, the council discussed the intent of the accessory dwelling unit ordinance and determined the current regulations do not align with the original intent. The Council had concerns with the current regulations as it relates to zoning districts, location, lot size and other requirements.

At the June 16, 2025 council workshop, council reviewed the history of the ADU ordinance and were presented with other cities' ordinances in the packet. The Council discussed the intent of ADUs and had a general consensus that ADUs were intended for family members. There was an overall consensus that ADU's should not be rental units. The Council directed staff to bring back the topic at a future workshop.

The Council had a second workshop meeting on ADU's on January 5, 2026. The discussion centered around if ADU's should still be allowed and what parameters, if any, should be implemented. Council consensus was to remove detached ADU's from the ordinance completely and to continue to allow attached. The Council's consensus was that detached ADUs could alter the character of single-family neighborhoods and potentially increase density in areas intended to remain single-family.

The proposed ordinance amendments will remove detached ADU's from the ordinance while allowing attached ADU's to continue. The language for attached ADU's stays the same as what was originally in the code, but is combined and organized in a different manner. There are no actual language changes proposed, with the exception of clarifying noise abatement standards.

### Strategic Plan Relationship

Not applicable.

### Board/Commission Review

The Planning Commission voted unanimously to approve the code amendment. The meeting minutes are attached for reference on the public hearing comments.

### Financial Impact

Not applicable.

### Public Outreach/Input

Notices of a public hearing were:

1. Published in Blaine/Spring Lake Park/Columbia Heights/Fridley Life.
2. Posted on the City website.

### Staff Recommendation

By motion, introduce the ordinance for first reading and direct that it be placed on file for second reading at the March 16, 2026, council meeting.

### Attachment List

1. Public Comments
2. City Response to Institute for Justice Letter - February 24 2026
3. Unapproved 021026 PC Minutes



# City of Blaine

Signature Copy

Ordinance: ORD 26-2601

## First Reading

### Ordinance Approving Amendments to Residential Sections and Performance Standards of the City of Blaine Zoning Ordinance Regulating Accessory Dwelling Units. City of Blaine (Case File No. 26-0003/SAS)

**THE CITY OF BLAINE DOES ORDAIN:** (Added portions are underscored and deleted portions are shown in overstrike.)

#### Chapter 109 RESIDENTIAL DISTRICTS

##### ARTICLE III. FARM RESIDENTIAL (FR)

###### Section 109-52 Accessory Uses

(5) Attached accessory dwelling unit or ~~detached accessory dwelling unit~~ consistent with the standards outlined in section ~~129-23109-54~~, subject to approval of an administrative permit.

##### ARTICLE IV. RESIDENTIAL ESTATE (RE)

###### Sec. 109-84 Accessory Uses

(6) Attached accessory dwelling unit or ~~detached accessory dwelling unit~~ consistent with the standards outlined in section ~~129-23 109-54~~, subject to approval of an administrative permit.

##### ARTICLE V. SINGLE-FAMILY (R-1)

###### Sec. 109-119 Conditional Uses

~~(8) Detached accessory dwelling unit consistent with the standards outlined in section 129-25~~

##### ARTICLE VII. SINGLE-FAMILY (R-1AA)

###### Section 109-173 Conditional Uses

~~(8) Detached accessory dwelling unit consistent with the standards outlined in section 129-25~~

##### ARTICLE I. - IN GENERAL

###### Sec. 129-23. Standards for accessory dwelling units.

(a) ~~Generally. Accessory dwelling units (ADUs) must comply with the following standards:~~

~~(1) Either the home or the accessory dwelling unit shall be occupied by the owner of the property. Owner occupancy requirement shall be recorded to the property.~~

~~(2) Utilities for the home and ADU shall not be separately metered and water and sewer shall be connected to the same lines as the home.~~

~~(3) Home and accessory dwelling unit together must have at least three off-street parking spaces that can be directly accessed. Parking spaces may be garage spaces or paved, outside parking spaces. A parking space located on a driveway in front of a garage cannot meet the requirement.~~

~~(4) ADUs may not include more than two bedrooms.~~

- (5) Occupancy of the ADU is limited to up to two adult individuals, whether related or unrelated, and the parents and children of each, if any, residing in the same dwelling unit and maintaining a common residence with no more than one person per 150 square feet.
- (6) No home occupations involving outside customers coming to the property shall occur in the accessory dwelling unit.
- (7) No more than one accessory dwelling unit permitted per property.
- (8) Accessory dwelling units must meet all architectural standards of the zoning district, including any standards established by conditional use permit in the Development Flex zoning district and be consistent in color and material to the home.
- (9) The home and accessory dwelling unit are considered separate dwellings for the purposes of rental licensing and a rental license is required when either the home or accessory dwelling unit is occupied by someone other than the owner of the property or a member of the owner's family.
- (10) The home and the accessory dwelling unit must remain on the same parcel. The parcel may not be divided through any means, including, but not limited to, filing of a plat, a waiver of platting, or a common interest community.
- (11) Accessory dwelling units must be located on a permanent foundation.
- (b) Standards for attached ADUs. Attached ADUs must comply with the following standards:
- (1) Allowed as a permitted use in the R-1, R-1A, R-1AA, R-1B, RE, FR, and DF districts when accessory to a single-family home with an administrative permit.
  - (2) Must meet living space setbacks.
  - (3) No more than one door may be located on the front façade of the home unless designed in a manner to minimize the visibility from the street of the second door, subject to zoning administrator approval.
  - (4) Maximum size of 50 percent of the finished square footage of the primary residence or 960 square feet, whichever is less in the R-1, R-1A, R-1AA, R-1B, and DF districts. Maximum size of 50 percent of the finished square footage of the primary residence or 1200 square feet, whichever is less in the RE and FR districts.
  - (5) Noise abatement standards of 129-19 apply to attached ADUs if located southeast or northeast of the county airport or within 500 feet of any arterial roadway.
  - (6) The home and ADU are considered a two-family home for the purpose of application of the state residential code unless the home and the ADU are connected by a passageway at least 40 inches in width without a door.
- (c) Standards for detached ADUs. Detached ADUs must comply with the following standards:
- (1) Allowed as a conditional use in the R-1, R-1A, and R-1AA, and a permitted use with an administrative permit in the RE and FR districts.
  - (2) Must be located in the rear yard.
  - (3) Maximum size of 50 percent of the finished square footage of the primary residence, 25 percent of the square footage of the rear yard, or 960 square feet, whichever is less in all zoning districts except RE and FR. Maximum size of 50 percent of the finished square footage of the primary residence, 25 percent of the square footage of the rear yard, or 1,200 square feet, whichever is less in the RE and FR districts.
  - (4) Detached accessory dwelling units are not permitted on properties with detached accessory buildings, unless the ADU is constructed as part of the same structure as the accessory building.
  - (5) The footprint of accessory dwelling unit and any attached or detached accessory structures may not total more than 1,200 square feet in size in the R-1, R-1A, R-1AA zoning districts, 2,000 square feet in the RE district, and 3,000 square feet in the FR district. If an accessory dwelling unit is located above

a garage, the footprint of the accessory dwelling unit and the garage is counted once, not one time for the garage and one time for the accessory dwelling unit.

(6) The detached accessory dwelling unit shall be architecturally compatible with the principal structure.

(7) Must meet a ten-foot setback from side and rear lot lines in the R-1, R-1A, and R-1AA districts, 20-foot setback from side lot lines and 30 feet from rear lot lines in RE and FR districts.

(8) The detached accessory dwelling unit must be at least 15 feet from the principal structure.

(9) The accessory dwelling unit shall not exceed the height of the principal building.

(Code 2004, pt. 3, § 33.25; Ord. No. 21-2489, 12-20-2021)

(a) Generally. Attached Accessory dwelling units (ADUs) are allowed as permitted use in the R-1, R-1A, R-1AA, R-1B, RE, FR and DF districts when accessory to a single family home with an administrative permit and must comply with the following standards:

(1) Must meet living space setbacks

(2) No more than one door may be located on the front façade of the home unless designed in a manner to minimize the visibility from the street of the second door, subject to zoning administrator approval.

(3) Accessory dwelling units must meet all architectural standards of the zoning district, including any standards established by conditional use permit in the Development Flex zoning district and be consistent in color and material to the home.

(4) Maximum size of 50 percent of the finished square footage of the primary residence or 960 square feet, whichever is less in the R-1, R-1A, R-1AA, R-1B, and DF districts. Maximum size of 50 percent of the finished square footage of the primary residence or 1200 square feet, whichever is less in the RE and FR districts.

(5) Occupancy of the ADU is limited to up to two adult individuals, whether related or unrelated, and the parents and children of each, if any, residing in the same dwelling unit and maintaining a common residence with no more than one person per 150 square feet.

(6) ADUs may not include more than two bedrooms.

(7) Home and accessory dwelling unit together must have at least three off-street parking spaces that can be directly accessed. Parking spaces may be garage spaces or paved, outside parking spaces. A parking space located on a driveway in front of a garage cannot meet the requirement.

(8) Accessory dwelling units must be located on a permanent foundation.

(9) Either the home or the accessory dwelling unit shall be occupied by the owner of the property. Owner occupancy requirement shall be recorded to the property.

(10) Utilities for the home and ADU shall not be separately metered and water and sewer shall be connected to the same lines as the home.

(11) No home occupations involving outside customers coming to the property shall occur in the accessory dwelling unit.

(12) No more than one accessory dwelling unit permitted per property.

(13) Noise abatement standards of 129-19 apply to attached ADUs if located southeast or northeast of the county airport that are bounded by 85th Avenue, 35W, 95th Avenue and the airport and bounded by 101st Avenue, Naples Street, 109th Avenue and Radisson Road.

(14) The home and accessory dwelling unit are considered separate dwellings for the purposes of rental licensing and a rental license is required when either the home or accessory dwelling unit is occupied by someone other than the owner of the property or a member of the owner's family.

(15) The home and the accessory dwelling unit must remain on the same parcel. The parcel may not be divided through any means, including, but not limited to, filing of a plat, a waiver of platting, or a common interest community.

(16) The home and ADU are considered a two-family home for the purpose of application of the state residential code unless the home and the ADU are connected by a passageway at least 40 inches in width without a door.

**INTRODUCED** and read in full this 2nd day of March, 2026.

**PASSED** by the City Council of the City of Blaine the      day of      , 20      .



INSTITUTE FOR JUSTICE

February 9, 2026

**Via e-mail**

Alan Goracke, Chair, and  
Members of the Planning Commission  
10801 Town Square Drive NE  
Blaine, MN 55449  
Planning@BlaineMN.gov

*Re: Public comment in opposition to proposed ban on detached ADUs  
(PC26-0003/SAS)*

Dear Chair Goracke and Commissioners,

We are attorneys with the Institute for Justice (IJ), a nonprofit public-interest law firm that defends the constitutional rights of property owners nationwide. We write on behalf of IJ and of Alex and Lynda Pepin, Blaine residents whom we represent in a separate lawsuit against Blaine.

We are deeply troubled by the proposal to repeal the portions of Blaine's zoning code that legalize detached ADUs. First, as described below, banning detached ADUs is bad policy, unnecessarily stripping thousands of Blaine homeowners of a flexible option for their property, even as the need for more housing options remains as important as ever. Second, the proposal is also likely unconstitutional, drawing irrational distinctions between allowable uses and giving legal effect to certain negative sentiments that have been expressed against residents with lower incomes. Finally, a better solution to Blaine's concerns would be to make detached ADUs a permitted accessory use, rather than a conditional use, putting such homes on equal footing with garages and other accessory buildings.

We therefore respectfully urge Blaine to reject the proposed ban on detached ADUs and instead make them a permitted accessory use.

**I. Banning detached ADUs is unwise and unnecessary.**

At the outset, banning detached ADUs is an unnecessary step in the wrong direction. When Blaine legalized detached ADUs in 2021, it did so after careful study and lengthy deliberations. What that thoughtful process revealed, and what is still true today, is that ADUs provide numerous benefits to the community. They

help to alleviate the affordable housing crisis, both by increasing the overall supply of housing and by specifically allowing a naturally affordable housing type.<sup>1</sup>

Detached ADUs also give homeowners the option to age in place or to accommodate family members at different life stages.<sup>2</sup> And they can provide homeowners with an extra source of income.

Balanced against those widely recognized benefits, detached ADUs involve few or no costs. Blaine carefully tailored the requirements for detached ADUs to match or be stricter than existing requirements for detached accessory buildings such as garages, which residents have regularly built in their yards for years. Legalizing detached ADUs simply meant that a homeowner could choose to use these long-accepted and uncontroversial backyard accessory buildings for housing in addition to parking or storage. Blaine also estimated that detached ADUs would only lead to a gentle, imperceptible increase in density, and that the total number of applications would be modest. Experience has confirmed that prediction. Indeed, the Pepins were the only homeowners to ever apply for an ADU.

In short, the existing rules are working, and they remain as important as ever. Housing affordability is still an issue.<sup>3</sup> Blaine still needs more housing, and it still needs more options to accommodate people at different life stages.<sup>4</sup> If anything, it should consider revising and streamlining the rules to encourage more applications for detached ADUs. The proposed ban is a step in the wrong direction and will accomplish nothing except to harm ordinary people.

## **II. The proposed ban on detached ADUs is likely unconstitutional.**

The proposed ban on detached ADUs is not just bad policy, it also contains potentially fatal constitutional concerns. Under both equal protection and substantive due process principles, zoning classifications must be reasonably related to furthering a legitimate government interest. *See, e.g., Catherine H. Barber Mem'l Shelter, Inc. v. Town of North Wilkesboro*, 576 F. Supp. 3d 318, 337–43 (W.D.N.C. 2021) (treating homeless shelter differently from similar uses violated equal protection); *Connor v. Township of Chanhassen*, 249 Minn. 205, 216, 81

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<sup>1</sup> *See, e.g.,* Ellie Sheild and David Luberoff, *Accessory Dwelling Units: Lessons for Massachusetts from Around the Country* 10, Harvard University Joint Center for Housing Studies (Nov. 2023), [https://www.jchs.harvard.edu/sites/default/files/research/files/harvard\\_jchs\\_adus\\_sheild\\_luberoff\\_2023.pdf](https://www.jchs.harvard.edu/sites/default/files/research/files/harvard_jchs_adus_sheild_luberoff_2023.pdf).

<sup>2</sup> *See, e.g.,* *The ABCs of ADUs: A Guide to Accessory Dwelling Units and How They Expand Housing Options for People of All Ages*, AARP (2d ed. 2021), <https://www.aarp.org/content/dam/aarp/livable-communities/housing/2022/ABCs%20of%20ADUs-web-singles-082222.pdf>.

<sup>3</sup> *See, e.g.,* Blaine Comprehensive Plan 37, 49.

<sup>4</sup> *See, e.g., id.* at 38.

N.W.2d 789 (1957) (forbidding repair shop from moving to different portion of property violated substantive due process). Yet the proposed detached ADU ban, untethered as it is from any discernible problem in need of solving, does not reasonably further any legitimate public interest and is therefore likely unconstitutional.

Under the proposed ban, homeowners will still be able to build essentially the same building, if not a larger one, in their backyard, so long as it is used for something *other* than a dwelling, like a garage, shed, or workshop. *E.g.*, Blaine, Minn. Code § 109-118(1). And they can have others live with them, by building an addition to their home or renovating a basement to accommodate multigenerational living or by building an attached ADU. *E.g.*, *id.* § 100-2(b) (defining, e.g., “family” to include parents and children), § 109-118(6). But that same building in that same backyard would suddenly be illegal if it’s used as a home rather than for parking or storage, even though nothing else about how the property is being used is changing. That doesn’t make sense.

The lack of any legitimate purpose for banning detached ADUs points to a related constitutional infirmity: the proposed ban appears to be reacting to certain statements expressing displeasure about the kinds of people who might be able to live in less expensive homes. “[M]ere negative attitudes, or fear, unsubstantiated by factors which are properly cognizable in a zoning proceeding, are not permissible bases” for a zoning restriction. *City of Cleburne v. Cleburne Living Ctr.*, 473 U.S. 432, 448 (1985). But there is reason to believe that such attitudes are driving the proposed ban here.

In 2021, Blaine did not just legalize ADUs—it did so enthusiastically.<sup>5</sup> The provisions sat on the books for years without comment or controversy. Yet the first application to build a detached ADU, by the Pepins, led to a heated controversy involving misstatements and unfounded assumptions about the anticipated occupants. The Pepins simply wanted to offer their detached ADU at a reduced, affordable rent to a family in need. But there were false accusations that the occupants would be drug addicts or criminals, and complaints that lower-income residents should not be in a single-family neighborhood. If the Pepins wanted to help other families, they were told, they should do it somewhere else, not in Blaine.

Responding to those negative comments, Blaine immediately imposed a moratorium on new ADU applications and has now proposed banning detached

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<sup>5</sup> *See, e.g.*, November 9, 2021 Planning Commission meeting (member comments such as “I love the idea of this” and “I think this is great”).

ADUs entirely. Yet doing so in the absence of any actual issues caused by detached ADUs, in the aftermath of complaints about potentially allowing a family with a lower income to live in a single-family neighborhood, suggests that the ban rests on a “bare ... desire to harm a politically unpopular group.” *Id.* at 446–47 (quoting *U.S. Dep’t of Agric. v. Moreno*, 413 U.S. 528, 534 (1973)). It is irrelevant if city officials do not themselves harbor that animus: Blaine cannot sidestep constitutional requirements by deferring to negative attitudes and fears expressed by some members of the public. *Id.* at 448.

In short, banning detached ADUs bears no relationship to a legitimate government interest, but it does fulfill a desire to exclude certain kinds of people from certain kinds of neighborhoods. That’s unconstitutional.

### **III. A better way forward: Rather than ban detached ADUs, Blaine should treat them as a permitted accessory use.**

Rather than move backwards on housing affordability and take choices away from homeowners, Blaine should chart a different path that improves its regulations.

The proposed ban is directed at the wrong target. It responds to the negative sentiments expressed during the public hearing on the Pepins’ detached ADU application by blocking future applications. But it’s not the detached ADU causing the problem; it’s the public hearing. As numerous scholars have noted, public hearings on zoning matters are routinely and systematically used to block housing perceived (rightly or wrongly) to be associated with lower-income occupants.<sup>6</sup> Blaine’s potential willingness to accept and codifying that anti-housing stance here—a dynamic that has been repeated for decades across countless hearings in thousands of jurisdictions—is exactly why we have underbuilt millions of homes and created an affordable housing crisis.

The solution is not to ban the housing options that are likely to spark anti-housing opposition, but to put that housing on an equal footing with other buildings that are already allowed. Blaine should make detached ADUs a permitted accessory use authorized under a by-right administrative permit, instead of a conditional use.

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<sup>6</sup> See, e.g., Joshua Braver & Ilya Somin, *The Constitutional Case Against Exclusionary Zoning*, 103 *Tex. L. Rev.* 1, 51–52 (2024); Anika Singh Lemar, *Overparticipation: Designing Effective Land Use Public Processes*, 90 *Fordham L. Rev.* 1083, 1117–22 (2021); Richard D. Kahlenberg, *Excluded: Why Snob Zoning, NIMBYism, and Class Bias Build the Walls We Don’t See* 40, 109, 128–33 (2023).

In R-1 zones, for example, accessory buildings like garages, sheds, workshops, and the like are allowed by right as accessory uses. Only when the combined size of accessory units exceeds 1,000 square feet is it necessary for a conditional use permit. Detached ADUs, however, are singled out as requiring a conditional use permit, no matter the size of the unit or the total number and size of the other accessory units.

Blaine should revise its code to treat detached ADUs more like detached garages and other accessory buildings. If the design requirements in § 129-23 are satisfied, and if the building would be subject to a by-right permit as a detached garage or shed, then it should be subject to a by-right permit as a detached ADU. In other words, if the same size building is already allowed, it shouldn't matter if it's used for cars, tools, or lawn equipment, or instead as a home for a family. People should be treated at least as well as cars and lawnmowers, not worse.

\* \* \*

Minnesotans have a long tradition of providing shelter to others, especially those who have fallen on hard times. Now, more than ever, is not the time for Blaine to turn its back on that history, to turn away potential neighbors simply because they might have less, and to strip rights from all homeowners simply because some of them might choose to use their property to help a family that has fallen on hard times.

We respectfully urge Blaine to reject the proposed ban on detached ADUs and instead to make such homes easier to build.

Sincerely,



Joseph Gay and Matthew Liles  
INSTITUTE FOR JUSTICE



February 9, 2026

Blaine Planning Commission  
10801 Town Square Drive NE  
Blaine, MN 55449

To Whom it May Concern,

The Saint Paul Area Association of Realtors® (SPAAR) is a professional organization of over 7,500 Realtors® in 12 Minnesota counties and 200+ cities and townships. SPAAR's Realtor® members and staff are committed to working with you to further strengthen Minnesota's vibrant communities through by advancing the dream of homeownership and promoting sustainable community development.

SPAAR opposes the Blaine Planning Commission's proposed amendments to Zoning Code Chapter 109: Ordinance Approving Amendments to Residential Districts and Performance Standards for Accessory Dwelling Units. Permissive accessory dwelling unit (ADU) regulations have proven to have a positive effect on the housing market, which is currently in crisis. Minnesota has an estimated housing shortage of 100,000 units. ADUs and other alternative housing types help to reduce this gap.

This is an unprecedented time for the nationwide housing market and Minnesota is no exception. Many homeowners are aging in place, remaining in homes that no longer serve their interests, and young people are having a difficult time finding housing that they can afford. ADUs are an important solution to the housing crisis. Adding an ADU to one's property provides multi-generational families with the opportunity to live more closely and affordably. Additionally, ADUs can also generate income to help families better afford their mortgage payments. By disallowing detached accessory dwelling units, the ordinance becomes unnecessarily restrictive and will make ADU development in Blaine extraordinarily difficult.

The regulations outlined in Zoning Code Chapter 109 are sufficient. The amendments being proposed for the February 10, 2026, meeting are unnecessarily restrictive. The existing code is in line with similar municipalities in the Twin Cities who have had success with this sort of policy. Removing a constituent's ability to build a detached ADU would make Blaine's policy one of the strictest in the 7-County Metro. By not allowing detached ADUs, the City of Blaine is inhibiting homeowners from freely using their property as they see fit, therefore infringing on their property rights.

Members of the Saint Paul Area Association of Realtors® (SPAAR) urge the Blaine Planning Commission to reconsider the rollback of their accessory dwelling unit policy and continue to allow for property owners to build both detached and attached ADUs with the requirements that were previously outlined in the original ordinance. Please don't hesitate to reach out if we can provide any useful information or data as these amendments are considered.

Sincerely,

John Tschida  
2026 Government Affairs Committee Chair  
Saint Paul Area Association of Realtors® (SPAAR)



**Reply to Stillwater**

February 24, 2026

**VIA EMAIL**

Sheila Sellman  
Community Development Director  
City of Blaine  
Planning and Community Development  
10801 Town Square Drive NE  
Blaine, MN 55449

**Re: Accessory Dwelling Units. Proposed Amendments to Residential Sections and Performance Standards of the City of Blaine Zoning Ordinance Regulating Accessory Dwelling Units.**

**Response to February 9, 2026 letter from the Institute for Justice addressed to Blaine Planning Commission Members.**

Dear Ms. Sellman:

The following is a response to the letter, dated February 9, 2026, addressed to the City of Blaine Planning Commission, representing in part that the proposed ADU code amendment contains potentially fatal constitutional concerns. The Institute is wrong.

Under well-established Minnesota and federal law, zoning amendments are legislative determinations entitled to a strong presumption of validity.

**I. The Proposed Amendment Falls Squarely Within the City's Delegated Legislative Authority.**

Minnesota municipalities derive their zoning authority from the Municipal Planning Act, Minn. Stat. §§ 462.351–.365, and related statutory provisions. As the Minnesota Supreme Court has made clear, a municipality has no inherent power to zone but instead exercises authority delegated by the Legislature. *See Costley v. Caromin House, Inc.*, 313 N.W.2d 21, 27 (Minn. 1981). Within that delegated framework, however, municipalities possess broad discretion to adopt and amend zoning regulation consistent with statutory procedures. *Id.*

The adoption or amendment of a zoning ordinance constitutes a legislative act. *See State, by Rochester Ass'n of Neighborhoods v. City of Rochester*, 268 N.W.2d 885, 888 (Minn. 1978). Courts afford substantial deference to such legislative determinations. *Id.* A zoning classification must be upheld unless

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**Hudson Office**  
430 Second Street  
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Phone: 715-386-3733  
Fax: 715-386-6456

opponents demonstrate that it is unsupported by any rational basis related to “public health, morals, or general welfare, or that the classification amounts to a taking without just compensation.” *Id.* The proposed amendment here, whether to retain, revise, or appeal the current detached ADU provisions, represents a legislative reconsideration of land use classification within Blaine’s residential district, of which is a function expressly delegated to city councils under Minnesota law.

## **II. The Applicable Constitutional Standard is Deferential to Municipalities.**

The Institute’s letter erroneously suggests that banning detached ADUs would violate equal protection and substantive due process principles because it would draw “irrational distinctions” between permissible uses.

Under both federal and Minnesota law constitutional law, however, zoning classifications that do not implicate a suspect class or fundamental right are reviewed under the rational basis standard. *Rochester Ass’n of Neighborhoods*, 268 N.W.2d at 888; *Village of Euclid, Ohio v. Amber Realty Co.*, 272 U.S. 365, 395 (1926). The United States Supreme Court has long recognized zoning as a valid exercise of police power so long as the classification bears a rational relationship to legitimate governmental interest. *See Village of Euclid, Ohio*, 272 U.S. at 395.

Minnesota courts have reaffirmed that principle repeatedly. In *Rochester Ass’n of Neighborhoods*, the Minnesota Supreme Court held that when a municipality adopts or amends a zoning ordinance, its classification must be upheld unless opponents prove that it lacks any rational basis related to promoting public health, safety, morals, or general welfare. 268 N.W.2d at 888. Similarly, courts will not interfere with municipal zoning decisions unless they are shown to be arbitrary, confiscatory, or discriminatory. *Olsen v. City of Hopkins*, 276 Minn. 163, 167 (1967).

Importantly, rational basis review does not require a municipality to demonstrate that its legislative choice is the best policy, the most efficient policy, or the least restrictive policy. The United States Supreme Court held that “we do not require [government] to have chosen the least restrictive means of achieving its legislative end.” *Heller v. Doe by Doe*, 509 U.S. 312, 330 (1993). Minnesota courts apply the same deferential standard to municipal ordinances. In *Fletcher Properties, Inc. v. City of Minneapolis*, the court stated that a “legislative body need not choose the best or most exact mechanism to achieve the purpose; it must merely choose a *reasonable method*.” 947 N.W.2d 1, 10 (Minn. 2020) (emphasis added). Moreover, the court went on to state that “[a] law is not arbitrary or capricious when it emerged from a reasoned, deliberative process, rather than as a result of legislative chance, whim, or impulse.” *Id.*

The question is only whether the legislative judgment is one that could reasonably relate to legitimate planning objectives, such as neighborhood character, infrastructure, land use compatibility, or implementation of a comprehensive plan. The City of Blaine has started the legitimate planning review regarding the advisability of prohibiting detached ADUs. Prematurely, the Institute’s letter presupposes both the planning review result and the record in support of the resulting decision. Even if reasonable minds disagree regarding the advisability of prohibiting detached ADUs, that disagreement does not make the City’s policy choice into a constitutional violation.

### **III. Distinctions Between Use Classifications Do Not Render the Amendment**

The Institute’s letter also contends that it would be irrational to allow detached accessory structures such as garages or sheds while prohibiting their use as independent dwellings. What is irrational is the Institute equating residential living spaces with storage spaces. Land use regulations routinely and rationally distinguish between structures based on use. Zoning codes across Minnesota differentiate between principal uses, accessory uses, residential occupancy, commercial activity, storage, parking, and other classifications. *See* Minn. Stat. § 462.357. Courts have long-upheld use-based distinctions so long as they bear a rational relationship to planning objectives. *Mendota Golf, LLP v. City of Mendota Heights*, 708 N.W.2d 162, 175, 180 (Minn. 2006) (“land use planning and regulation are within a city’s legislative prerogative”) (“[w]e uphold a city’s land use decision unless the party challenging that decision establishes that the decision is ““unsupported by any rational basis””).

A detached garage or storage building functions very differently from a structure used as a separate dwelling. The two create distinct occupancy patterns, traffic impacts, utility demands, and density effects. Whether those differences are significant enough to justify a prohibition is legitimately a municipal judgment call.

### **IV. Allegations of Animus Do Not Alter the Constitutional Framework**

The Institute’s letter further suggests that repeal of the detached ADU provisions could be viewed as codifying negative sentiments expressed during public hearings, and any resulting amendment could be viewed as constitutionally suspect. Minnesota courts recognize that zoning decisions are not invalid simply because neighbors express concerns. *See Swanson v. City of Bloomington*, 421 N.W.2d 307, 313 (Minn. 1988) (Neighborhood feelings, without more, may not serve as the sole basis for a zoning decision, but may be taken into account as one factor among others); *Northpointe Plaza v. City of Rochester*, 457 N.W.2d 457 (Minn. Ct. App. 1990)( local officials may consider neighborhood opposition when it is tied to something more concrete than non-specific complaints). As noted in the legal analysis above, what matters is whether the decisions rests on legitimate public welfare considerations.

Here, the City Council is entitled to evaluate neighborhood compatibility, infrastructure capacity, long-term planning objective, etc.

### **Conclusion**

For these reasons, repeal of the detached ADU provisions would not be considered “likely unconstitutional.” Under Minnesota law and federal precedent, zoning amendments are presumed valid and will be upheld so long as they bear a rational relationship to a legitimate governmental interest. Noteworthy, the City is actively considering the Institute’s policy concerns, as well as policy issues and considerations raised by others, as the City engages in its legitimate, legislative decision-making process.

Sincerely,

*/s/ Eric Larson*

Eric D. Larson  
Blaine City Attorney



# City of Blaine

## Planning Commission

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February 10, 2026 | 7:00 PM  
Blaine City Hall  
10801 Town Square Drive NE  
Blaine, MN 55449

### MINUTES

#### 1. Call to Order

The Blaine planning commission met in the City Hall Chambers on Tuesday, February 10, 2026. Chair Goracke called the meeting to order at 7:00PM.

#### 2. Roll Call

Members Present: Commission Members Halpern, Howard, Olson and Chair Goracke.

Members Absent: Commission Members Geiselhart, Gorzycki and Swanson.

Staff Present: Shawn Kaye, Planner  
Alex Koberoski, Assistant Planner  
Teresa Barnes, Project Engineer

#### 4. Public Hearing

- 4.3.** 2026-34 Case File No. 26-0003 // Accessory Dwelling Units // City of Blaine  
The City is proposing amendments to residential sections and performance standards of the City of Blaine Zoning Ordinance Regulating Accessory Dwelling Units.  
*Sponsors: Sheila Sellman, Community Development Director*

The report to the planning commission was presented by Alex Koberoski, Assistant Planner. The public hearing for Case File 26-0003 was opened at 7:41PM.

Amy Peterson, resident of Blaine, asked what the biggest challenge was when it came to ADU's. She reported there was an extreme housing shortage at this time and ADU's could assist in providing units for seniors or other family members in the community.

Chair Goracke reported ADU's were not being eliminated. He explained attached ADU's would be allowed, while detached ADU's would not.

The public hearing was closed at 7:43PM.

**Motion by Commissioner Halpern to recommend approval of Planning Case 26-0003 amendments to Residential Sections and Performance Standards of the City of Blaine Zoning Ordinance Regulating Accessory Dwelling Units. Motion seconded by Commissioner Howard. The motion passed 4-0.**

Chair Goracke noted this would be on the agenda of the March 2, 2026 city council meeting.



# City of Blaine Staff Report

File Number: ORD 26-2600

Agenda Date	Status
March 2, 2026	
In Control	File Type
City Council	Ordinance

**Administration** - Cathy Sorensen, City Clerk

## Agenda Item # 10.1

First Reading

Amending Chapter 90 - Vegetation Article III.- Shade Tree Management, Sec. 90-57. - Declaration of Nuisance and Sec. 90-62. Abatement Methods; Protection of Healthy Trees During Abatement

## Executive Summary

Council is asked to hold first reading of an ordinance amending the vegetation section of city code to change how enforcement occurs for hazardous trees on private property.

## Background

At the January 26, 2026, retreat, council provided direction to amend the ordinance to no longer require enforcement of hazardous trees on private property unless the tree poses a risk to public property. This proposed amendment would not change how the city enforces disease-related trees on both private and public properties. Ash trees would not fall under the disease tree code, as Emerald Ash Borer infestation is considered widespread.

## Strategic Plan Relationship

N/A

## Board/Commission Review

N/A

## Financial Impact

N/A

## Public Outreach/Input

N/A

## Staff Recommendation

Hold first reading of the ordinance as proposed and schedule second reading for March 2, 2026.

## Attachment List

None



# City of Blaine

## Signature Copy

Ordinance: ORD 26-2600

### First Reading

## Amending Chapter 90 - Vegetation Article III.- Shade Tree Management, Sec. 90-57. - Declaration of Nuisance and Sec. 90-62. Abatement Methods; Protection of Healthy Trees During Abatement

**THE CITY OF BLAINE DOES ORDAIN: (Added portions are underscored and deleted portions are shown with overstrike.)**

Sec. 90-57. Declaration of nuisance.

The following things are public nuisances within the city:

- (1) Any living or standing elm tree or part thereof infected to any degree with the Dutch elm disease fungus, *Ceratorcystis ulmi* (Buisman) Moreau, or which harbors any of the elm bark beetles, *Scolytus multistriatus* (Eichh.) or *Hylurgopinus rufipes* (Marsh).
- (2) Any bark intact, dead or dying elm tree or part thereof, or an elm wood, including, but not limited to, logs, branches greater ~~that~~ than two inches in diameter, stumps, roots, firewood or other elm material, which has not been stripped of its bark and burned, or sprayed with an effective elm bark beetle insecticide that poses a threat, as determined by city forester, of harboring or acting as a breeding site for the elm bark beetles, *Scolytus multistriatus* (Eichh.) or *Hylurgopinus rufipes* (Marsh).
- (3) Any living or standing oak tree or part thereof infected to any degree with the oak wilt fungus, *Ceratocystis fagacearum*, that has been determined by the city forester to pose a threat of overland transmission of the fungus to other oak trees, in order t.~~To reduce incidents of overland or long range spread of oak wilt fungus and to prevent oak wilt fungus from producing spores during the hazardous spring period.~~
- (4) Any bark intact, dead or dying oak tree or part thereof, or an oak tree wood, including, but not limited to, logs, branches greater than two inches in diameter, stumps, roots, firewood, or other oak material, which has not been stripped of its bark and burned, or sprayed with an effective fungicide that poses a threat, as determined by city forester, of harboring or acting as a breeding site for the oak wilt fungus, *Ceratocystis fagacearum*. Any tree that wilted from oak wilt in July or August of one year may be declared a nuisance for the spring of the following year as determined by the city forester. The hazardous spring period for overland or long range spread of oak wilt fungus is defined as April 15 to July 1. Dead standing wood or tree material of the red oak group that has advanced beyond the potential for spore production is not considered a nuisance unless it constitutes a hazard to life or property. The red oak group is defined as including, but not limited to, Northern red oak, Northern pin oak, black oak, scarlet oak, Eastern pin oak, red oak, pin oak.
- (5) Other shade trees with epidemic diseases or epidemic insect infestations.
- (6) ~~Any tree considered in the opinion of the city forester to pose eminent danger to life or property to adjoining properties. Trees of such condition will be determined hazardous.~~ Hazard trees. Any tree located on private property may be considered a public nuisance if:
  - (a) the city forester has determined the tree has defects in its structure, roots, or branches that are likely to cause failure; and

(b) the failure of the tree or any portion of it is likely to damage public property or improvements. Trees of such condition will be determined hazardous.

Sec. 90-62. Abatement methods; protection of healthy trees during abatement.

(a) *Dutch elm disease.* All bark intact wood and tree parts thereof, determined to be a public nuisance, as defined in section 90-57(1) and (2), must be debarked, shipped for salvage, or removed to an authorized wood waste disposal site, within 21 days of receipt of official notification per § 90-61. Stumps of trees declared public nuisance must be either removed, or ground out, or debarked to the ground line.

(b) *Oak wilt disease.* Diseased trees will be abated as described:

(1) The diseased tree may be used as fuel wood or be salvaged for other purposes, provided that the requirements of this article are met. The wood must be debarked, dried or completely covered with four mil or greater black plastic from April 15 to July 1, of the year following the appearance of the oak wilt symptoms. After this time, the wood or tree material will no longer be a public nuisance. Any wood or tree material declared a public nuisance and not salvaged will be disposed of by chipping, or removing to an authorized wood waste disposal site prior to April 15, of the year following the appearance of the symptoms. Recognizing the hardship of multiple tree removals, the city will pay landowners with more than three trees marked for removal per year, a payment of an amount as declared by council to landowners who comply with the initial removal deadline.

(2) Stumps of a diseased tree declared a public nuisance, as defined in section 90-57(3) and (4), must be removed, or ground out, or debarked to ground line, or completely covered with a minimum of two inches of compacted soil, or sealed in four-mil or greater black plastic to eliminate all possibilities of spore formation and overland disease spread.

(3) To prevent root graft transmission of the disease, a barrier must be created between diseased and healthy trees, either by cutting the root system with a 54-inch blade or longer by using a vibratory cable plow, or by digging a trench to a minimum depth of 54 inches in the soil surrounding the diseased trees or by treating the soil surrounding the diseased trees with a fumigant, sodium N-Methyldithiocarbamate (SMDC), presently sold under the trade names Vapam and VPM. Such abatement procedures will be carried out in accordance with current technical and expert opinions and plans as may be designated by the state commissioner of agriculture.

(c) *Hazard trees.* Hazard trees described in section 90-57 must be abated by removal or other prescribed corrections to the tree to eliminate ~~eminent danger~~ damage to life or public property to adjoining properties or improvements.

**INTRODUCED** and read in full this 2nd ay of March, 2026.

**PASSED** by the City Council of the City of Blaine this \_\_\_\_ day of \_\_\_\_ 2026.



# City of Blaine Staff Report

File Number: RES 26-41

Agenda Date	Status
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March 2, 2026

In Control	File Type
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City Council

Resolution

**Administration** - Daniel Schluender, Director of Engineering

## Agenda Item # 10.2

Resolution Authorizing Submittal of LCCMR Grant Application for the Blaine Wetland Sanctuary (BWS) Trail, Improvement Project No. P2405 (25-08)

## Executive Summary

Council is requested to approve the opportunity to apply for the LCCMR - ENRTF Grant for the Blaine Wetland Sanctuary (BWS) Trail Development, Improvement Project No. P2405 (25-08). The grant submission deadline is March 18, 2026.

## Background

The LCCMR is made up of 17 members: 5 Senators, 5 Representatives, 5 citizens appointed by the governor, 1 citizen appointed by the Senate, and 1 citizen appointed by the House. The function of the LCCMR is to make funding recommendations to the legislature for special environment and natural resource projects, primarily from the Environment and Natural Resources Trust Fund (ENRTF), which is funded by Minnesota Lottery proceeds. These projects help maintain and enhance Minnesota's environment and natural resources. The LCCMR developed from a program initiated in 1963. Since 1963, approximately \$1.5 billion has been appropriated to more than 2,600 projects recommended to the legislature by the Commission to protect and enhance Minnesota's environment and natural resources. Approximately \$121 million is anticipated to be available from the Trust Fund through this RFP for projects beginning July 1, 2027.

The grant RFP will be submitted to receive partial funding for the BWS Trail Project. Per the grant rules the City must match a minimum of 25% of the project cost for a capital improvement project as we are proposing. The LCCMR grant application will be for the construction costs only and staff is recommending this application apply for funding for the first 2 phases of the trail (southern trail segments). The total estimated construction costs for the first 2 trail phases approx. \$5,871,000, therefore a maximum application of \$4,403,00 for the LCCMR Grant can be submitted.

Application timeline is as follows:

March 18, 2026 Final submission deadline for proposals responding to 2027 RFP  
 May 2026 All submitted proposals distributed to LCCMR members for evaluation (Evaluation #1)  
 June 9, 2026 Member Evaluation #1 deadline  
 July 15, 2026 Member Evaluation #2 deadline  
 July 30, 2026 Subset of proposals selected for recommendation to the Legislature for funding  
 December 16, 2026 Funding recommendations are adopted by the LCCMR in legislative bill format, as they will be presented to the Legislature.  
 June 2027 LCCMR approves work plans for projects funded.  
 July 1, 2027 Money from the Environment and Natural Resources Trust Fund becomes available for expenditure, and projects with an approved work plan may begin.

The Grant RFP with a complete timeline is attached.

### Strategic Plan Relationship

The project aligns with the City's strategic initiatives for providing a Well-maintained Infrastructure and increasing non-tax revenue sources.

### Board/Commission Review

Not required.

### Financial Impact

This project was previously identified in the 2024-2028 Capital Improvement Program as "Blaine Wetland Sanctuary Trail Development", which was adopted by the City Council via resolution 23-207 on December 18, 2023. The 2024 CIP includes \$1,000,000 for consulting services and for Phase 1 construction.

The consulting contract with Stantec for preliminary and final design was previously approved. All work under the preliminary phase of that contract has been completed at this time. Permitting, plans and specifications are at approximately 90% complete with the project nearly ready for bidding. If the LCCMR Grant is awarded, there may be additional requirements that will add additional costs associated with the preliminary environmental exploration and documentation. This would require an expansion to the current consulting contract with Stantec. We are not seeking any reimbursement for the upfront engineering and design costs for the project as this work was been completed before the grant approval is received.

The final project plans have broken the entire project into several segments to allow for effective phasing of the project for cost and constructability.

Phase 1 (Segments 1A & 1B)	\$3,987,000 (construction total)
Phase 2 (Segment 2)	\$1,884,000 (construction total)
Phase 3 - future (Segment 3)	\$3,498,000 (construction total)

The attached grant is proposed to reimburse the City for 75% of the construction costs of phase 1 and 2 of this project, up to \$4,403,000. Phase 3 will be a future project 100% funded by the City at this time.

If the grant is awarded, Phase 1 & 2 construction costs will then be identified in 2027 once the project has received grant approval and has competitively bid.

### Public Outreach/Input

Not applicable.

### Staff Recommendation

By motion, approve the opportunity to apply for a LCCMR Grant for the BWS Trail Project in the amount of \$4,403,000 be applied for.

### Attachment List

1. 2027\_lccmr\_RFP
2. 2025 BWS Master Plan Trail 11-12-25



## Minnesota's Environment and Natural Resources Trust Fund

*Minnesota Constitution Art. XI, Sec.14:* "The assets of the fund shall be appropriated by law for the public purpose of protection, conservation, preservation, and enhancement of the state's air, water, land, fish, wildlife, and other natural resources."

### Summary

The Legislative-Citizen Commission on Minnesota Resources (LCCMR) welcomes proposals for projects of all sizes that address the priorities and requirements described within this Request for Proposal (RFP) and that aim to protect, conserve, preserve, and enhance Minnesota's air, water, land, fish, wildlife, and other natural resources. The LCCMR reviews applications and makes funding recommendations to the Minnesota Legislature from the Environment and Natural Resources Trust Fund (ENRTF). Approximately \$121 million is anticipated to be available from the Trust Fund through this RFP for projects beginning July 1, 2027. The standard project length is three years, but shorter and longer projects will also be considered. Proposals must be submitted online at [lccmrprojectmgmt.leg.mn](http://lccmrprojectmgmt.leg.mn) by March 18, 2026.

### Funding Available

Approximately \$121 million is anticipated to be available through this RFP for projects beginning July 1, 2027. The LCCMR makes recommendations to the Minnesota Legislature for funding from the Environment and Natural Resources Trust Fund. Recommended projects must be approved by the 2027 Legislature through an appropriations bill, signed into law by the governor, and have a work plan approved by the LCCMR before funds can be spent. For non-state entities, payment is made by [reimbursement](#) for expenses incurred, and fiscal oversight is provided through a grant agreement with the Minnesota Department of Natural Resources (DNR). Final reimbursement is contingent on final report approval by the LCCMR at the end of the project. The standard project length is three years, but shorter and longer projects will also be considered.

### Amount of Request

There is no minimum or maximum request amount. All proposals should strive to maximize efficiency and return on investment for the proposed expenditures.

### Applicant Eligibility

The RFP is open to all who want to apply and who have demonstrated financial capacity. Applicants must be available to make a formal presentation to the LCCMR if selected and to respond to staff or commission member questions.

### Online Proposal System

All proposals must be submitted through the LCCMR's [online proposal submission system](#). Early account registrations and proposal submissions are strongly encouraged.

### Deadline for Submission

Final proposals must be submitted online by March 18, 2026, at 4:30 PM.

Information from this document may be copied and distributed to others. This publication can be made available in alternate formats, such as large print or audio format, upon request.

**Legislative-Citizen Commission on Minnesota Resources**  
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# Proposal and Appropriation Timeline

## LCCMR Members

as of 11/19/2025

### Co-Chairs

Rita Albrecht  
Sen. Fong Hawj  
Rep. Sydney Jordan

### Co-Vice Chairs

Sen. Steve Green  
Rep. Josh Heintzeman  
Seth Moore

Michelle Beeman  
William Faber  
Rep. Peter Fischer  
Monica Hedstrom  
Shona Langseth  
Rep. Leon Lillie  
Sen. Jennifer A. McEwen  
Sen. Aric Putnam  
Michael Reese  
Rep. Roger Skraba  
Sen. Torrey Westrom

## LCCMR Staff

### Director

Becca Nash

### Assistant Director

Michael Varien  
Mike Campana

### Project Analyst and Communications Specialist

Noah Fribley

### Project Analyst and Grant Monitoring Specialist

Erin Barton  
Lisa Bigaouette  
Tom Dietrich  
Tiffany Schaufler

### Business Analyst

Ajeev Shah

### Commission Assistant

Diana Griffith

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Up-to-date information on deadlines and meetings can be found on the [meeting schedule page](#) of our website.

November 19, 2025	Funding priorities determined and 2027 RFP adopted.
January 7, 2026	2027 RFP issued.
March 18, 2026	<b>Final submission deadline for proposals responding to 2027 RFP</b>
May 2026	All submitted proposals distributed to LCCMR members for evaluation (Evaluation #1)
June 9, 2026	Member Evaluation #1 deadline
June 17, 2026	A subset of high-ranking proposals selected for further consideration are invited to give presentations before the LCCMR.
June 29-30 and July 1-2, 2026	<b>Selected proposals present before the LCCMR.</b> LCCMR members begin further evaluation of selected proposals (Evaluation #2).
July 15, 2026	Member Evaluation #2 deadline
July 30, 2026	Subset of proposals selected for recommendation to the Legislature for funding
August–December 2026	Projects recommended for funding begin submitting work plans for LCCMR staff review, and research projects recommended for funding undergo peer review.
December 16, 2026	Funding recommendations are adopted by the LCCMR in legislative bill format, as they will be presented to the Legislature.
January–May 2027	LCCMR recommendations presented to the Legislature for consideration via introduction as an appropriations bill. Bill is considered and acted upon by the Minnesota House and Senate. Upon passage, the bill goes before the governor to be signed into law.
June 2027	LCCMR approves work plans for projects funded.
July 1, 2027	Money from the Environment and Natural Resources Trust Fund becomes available for expenditure, and projects with an approved work plan may begin.
July–September 2027	Minnesota DNR conducts fiscal capacity reviews and sends grant agreements to non-state entities receiving ENRTF funds.

## About the LCCMR

The Legislative-Citizen Commission on Minnesota Resources (LCCMR) is made up of 17 members: five Senators, five Representatives, five citizens appointed by the governor, one citizen appointed by the Senate, and one citizen appointed by the House. The function of the LCCMR is to make funding recommendations to the Legislature for special environment and natural resource projects, primarily from the Environment and Natural Resources Trust Fund.

# 2027 Funding Priorities

All proposals must meet the constitutional aim to protect, conserve, preserve, and enhance Minnesota's air, water, land, fish, wildlife, and other natural resources, especially those that may be substantially impaired or destroyed in any area of the state.

Proposals should address one or more of the priorities described in the categories below, with a priority on proposals that meet the purposes of the Reinvest in Minnesota program as provided in [M.S. 84.95, Subd 2](#). However, proposals pertaining to environmental or natural resource issues not directly addressed below may also be considered. Categories and priorities are not listed in order of importance.

Proposals that address prevention strategies for protecting natural resources, that include citizen and community involvement in scientific efforts, or that implement or identify clear strategies for implementing research results are strongly encouraged.

Proposals will not be considered for:

- Construction of buildings or building infrastructure for environmental education or renewable energy purposes, unless for research or demonstration.
- Development of new school curriculum, except to allow new modules within existing curriculum or update existing curriculum to reflect current state of knowledge or art.

*Please make sure you are familiar with all requirements (see pages 8-9) before you begin your proposal, particularly if your proposal will include fee title land acquisition, easement acquisition, restoration, or capital construction.*

## A. Resiliency

Proposals that help Minnesota's environment, natural resources, and communities achieve resilience in the face of climate change, land use changes, and extreme weather events. The LCCMR seeks projects proposing to do one or more of the following:

1. Identify, assess, and/or prioritize potential threats to the environment and natural resources.
2. Research, demonstrate, and/or promote comprehensive and viable solutions for reducing the impacts of climate change, land use changes, or extreme weather events on the environment and natural resources, through both engineered and natural solutions targeted at critical areas.
3. Research and/or develop technologies and measures to detect or address emerging or emergency threats to the environment and natural resources.
4. Broaden understanding and implementation of effective climate adaptation management practices for natural resources among public and private landowners through education, outreach, technical assistance, and/or the development of collaborations and networks to share and learn about new and innovative practices.
5. Support the development of local climate resiliency and adaptation plans for natural resources.
6. Create collaborations and build partnerships among all parties – including academic institutions, government agencies, non-government organizations, communities, and the private sector – to foster innovation and leverage resources and expertise to better address emerging threats to the environment and natural resources.
7. Enhance coordination and interagency collaboration among federal, state, tribal, and local governments to ensure a unified response to emerging environmental or natural resource issues.

## 2027 Funding Priorities (Continued)

8. Implement proactive measures to prevent or minimize the impacts from emerging environmental or natural resource issues.
9. Implement land and water management practices and/or protect and restore wetlands, forests, prairies, and other critical systems to enhance biodiversity and provide multiple community resilience benefits.

### B. Water

Proposals that help ensure Minnesota's waters are better managed for both water quantity and quality to support aquatic life, drinking water, recreation, and other uses. The LCCMR seeks projects proposing to do one or more of the following:

1. Research impacts of runoff, stormwater, or contaminants on surface water or groundwater quality and develop practical solutions to prevent or address these impacts.
2. Research current and future water supply and use to support planning efforts and implementation of best management practices and ensure the state's water resiliency and sustainability.
3. Increase understanding and awareness of weather and climate patterns and their potential impact on water resources.
4. Demonstrate innovative practices, strategies, and/or partnerships that prevent or reduce water issues in urban, suburban, or rural regions.
5. Implement measures to improve water quality and/or restore or enhance habitats, shoreline, or natural hydrology in lakes, rivers, wetlands, and other surface waters, with an emphasis on efforts that incorporate coordination and collaboration among tribal, state, and local agencies and community partners.
6. Provide educational opportunities or technical assistance programs for teachers, students, state and local decision-makers, landowners, or the public on how to improve and protect water resources, including groundwater, surface water, and stormwater systems.
7. Monitor and assess the condition of groundwater or surface water, including lakes, rivers, and wetlands, on a regular cycle and provide a long-term data set to support decision-making and evaluate efforts.

### C. Education and Outdoor Recreation

Proposals that contribute to all Minnesotans, especially young people, having access to and taking advantage of opportunities to connect to the lands and waters of Minnesota, including through culturally relevant and innovative approaches.\* The LCCMR seeks projects proposing to do one or more of the following:

1. Address social, economic, or physical barriers to natural resources-based outdoor recreation through programs that encourage inclusivity and address inequities so that public lands and waters are accessible to all.
2. Assess programs, activities, or physical spaces for their accessibility and effectiveness and/or implement changes to adapt and retrofit them to welcome more people.
3. Provide evidence-based, hands-on, and engaging curriculum, programs, or natural-resource-based outdoor events to bring a diversity of students and/or adults to outdoor experiences.
4. Create mentorship programs, leadership opportunities, and/or learning experiences for a diversity of young people to explore and pursue careers in the environment and natural resources.
5. Enhance environmental education initiatives by integrating diverse cultural perspectives, experiences, and partnerships that foster environmental stewardship in all communities.

## 2027 Funding Priorities (Continued)

6. Develop local or regional plans to enhance natural resources-based outdoor recreational opportunities in communities across the state.
  7. Collaborate or partner with indigenous, local, BIPOC, or underserved communities to develop culturally relevant, inclusive, and accessible environmental, natural resource, or natural resources-based outdoor recreation programs, practices, curriculum, or facilities.
  8. Design and/or develop culturally relevant, accessible, and resilient outdoor recreation facilities and infrastructure – including recreation areas, parks, trails, fishing piers, or shelters – that create new natural resources-based experiences.
  9. Expand networks of trails, parks, or natural areas to protect and connect green spaces seamlessly, improve accessibility and safety, and/or encourage all Minnesotans to recreate and engage with nature.
- \* Generally, only elements of baseball fields, basketball courts, splash pads, playground equipment, and other recreational facilities and infrastructure that improve or enhance natural resources or users' experience with natural resources are eligible.

### D. Fish and Wildlife

Proposals that help ensure Minnesota has healthy and diverse aquatic and terrestrial wildlife and plants that sustain and enhance the state's environment, economy, and quality of life. The LCCMR seeks projects proposing to do one or more of the following:

1. Research species or ecosystems and develop strategies to effectively manage, maintain, protect, and restore healthy habitats and populations.\*
  2. Monitor the health of natural systems to support and improve species management and conservation strategies.
  3. Support and provide technical assistance and/or planning support to private landowners on cost-effective, proven strategies and technologies to develop and restore diverse, native habitat.
  4. Promote public awareness on the importance of diverse wildlife and plant populations through comprehensive education programs.
  5. Prevent the introduction, reduce the spread, or develop and demonstrate alternative control techniques for invasive species.\* Standard control, removal, and maintenance activities of invasive species will not be considered.
  6. Develop plans and/or implement conservation actions to protect, conserve, or restore species, with a priority on efforts that maintain or create connected, continuous habitat or address the needs of vulnerable, declining, poorly understood, or sensitive species.
  7. Evaluate the effectiveness of current management practices and past investments to sustain and enhance wildlife and native plant populations.
- \* All proposals related to invasive species research must consider the research priorities established by the University of Minnesota's Minnesota Invasive Terrestrial Plants and Pests Center or Minnesota Aquatic Invasive Species Research Center. All research proposals should be submitted to the Centers when applicable. The Centers will keep the LCCMR updated on the status of proposals received.

## 2027 Funding Priorities (Continued)

### E. Energy

Proposals that move Minnesota forward towards achieving reliance on renewable energy in all sectors, including transportation, building, industry, and agriculture. The LCCMR seeks projects proposing to do one or more of the following:

1. Research and develop new and innovative renewable energy or fuel technologies along with environmental considerations, including biofuels, e-fuels, sustainable aviation fuels, and energy storage.
2. Evaluate, demonstrate, and/or assess renewable energy systems or fuels for economic viability, compatibility with other land uses, and environmental and natural resource impacts over the full lifecycle of the technology.
3. Develop and/or implement plans that identify, prioritize, and coordinate efforts to reduce energy consumption and to transition to renewable energy through land use planning, infrastructure, education and awareness, and other methods.
4. Encourage and support the use of renewable energy and energy efficiency in agriculture, mining, industry, utilities, transportation, homes, or businesses.
5. Ensure equitable access to renewable energy and/or energy efficiency programs in all communities.
6. Provide inclusive education and experiential learning programs to build a skilled and diverse workforce for the renewable energy sector.

### F. Land

Proposals that help ensure Minnesota's public and private lands – including forests, grasslands, wetlands, and agricultural lands – provide long-term benefits to fish, wildlife, and people. The LCCMR seeks projects proposing to do one or more of the following:

1. Develop, demonstrate, and/or evaluate new and innovative practices and processes on public and private lands, including agricultural and forest land, that provide multiple, long-term environmental benefits, including benefits related to habitat, water quality and quantity, soil health, and carbon sequestration, and take into account economic considerations.
2. Enhance education, technical assistance, or public outreach to promote the application of practices beneficial to the environment, natural resources, and all Minnesotans.
3. Acquire and conserve minimally disturbed lands that provide the greatest capacity for multiple conservation benefits to humans, fish, wildlife, and water resources.
4. Restore and enhance lands to provide high-quality natural resource, ecological, or recreational value.
5. Implement natural resource corrective actions where delay will be detrimental to the environment and natural resources.
6. Foster collaboration among diverse groups, demonstrate the support of multiple stakeholders, and/or incorporate outreach to local and tribal communities to better protect lands.

## 2027 Funding Priorities (Continued)

### G. Small Projects

The LCCMR seeks and encourages proposals for projects under \$300,000, especially from political subdivisions and non-profits, to quickly and efficiently provide environmental and natural resource benefits in Minnesota. Proposals should address one or more of the priorities listed in the above categories A through F.

## Evaluation Criteria

All proposals must be eligible for funding, as defined by law (see page 11) and as indicated in this RFP, and clearly articulate how the project will meet the constitutional purpose of protecting, conserving, preserving, or enhancing the state's air, water, land, fish, wildlife, or other natural resources. The following criteria are considered in evaluating and selecting individual proposals to recommend for funding:

**Funding Priorities:** The proposal responds to RFP funding priorities.

**Environmental or Natural Resource Benefits:** The extent to which the project will benefit Minnesota's environment, natural resources, or how Minnesotans experience them relative to the amount requested.

**Outcomes/Results:** The proposal clearly identifies the work that will be done, and the specific outputs, results, and likely outcomes that will benefit the environment and natural resources, or how Minnesotans experience them.

**Capacity:** The proposal and past performance demonstrate the applicant's administrative, financial, professional, scientific, and/or technical capacity to manage the project and deliver on proposed outputs and results in a timely, accountable, and effective manner.

**Completeness and Clarity:** The proposal is clear, sufficiently detailed, and includes all required information and attachments needed to fully evaluate the proposal.

Additional factors may also be considered, as applicable, in evaluating and selecting proposals, including but not limited to:

**Information and Dissemination:** The project will contribute to the knowledge base *and* disseminate that information so that it can be used to benefit efforts to protect, conserve, restore, enhance, or manage the environment and natural resources.

**Innovation:** The project will employ or demonstrate innovative approaches to more effectively and efficiently solve specific environmental and natural resource issues.

**Timeliness and Readiness:** The proposal includes work that is urgent or would significantly benefit from funding in the current cycle *and* demonstrates readiness for that work to begin as soon as funds are available.

**Leverage:** The project will leverage additional efforts, resources, or non-state funds.

**Collaboration/Coordination:** The project will use a collaborative, multi-disciplinary approach with project partners from a diversity of agencies, organizations, or communities and/or will include meaningful engagement with those entities in completing the proposed work.

Finally, the commission may consider how the selected proposals as a whole provide benefits to and address needs in all areas and communities of the state.

# Requirements

## Project Requirements

All projects must comply with [Article XI, Section 14 of the Minnesota Constitution](#), [Minnesota Statute 116P](#), and the Environment and Natural Resources Trust Fund (ENRTF) [General Project Requirements](#) and [Acknowledgement Requirements and Guidelines](#).

## Work Plan and Progress Reports

Project managers of recommended projects must submit a work plan. Successfully funded projects must have an approved work plan, and no funds may be spent until the work plan has been approved. The project manager must submit annual or semiannual progress reports, and modifications to the approved work plan and budget expenditures must be made through the LCCMR amendment process.

## Financial Capacity

A pre-award financial capacity assessment is required for all non-profit organizations, for-profit organizations, and political subdivisions. To help us evaluate financial capacity, the following must be submitted with your proposal. Additional information may be required at later stages in the grant proposal process.

### *Non-profit organizations*

- Most recently filed IRS Form 990 or 990-EZ.
- If exempt from 990 requirements: a copy of your IRS determination letter and your most recent board- or managing group-reviewed financial statements.
- Most recent audited financial statements if you had \$750,000 or more in revenue in the last fiscal year and were required to have an audit (see [current non-profit audit revenue thresholds](#)).
- Evidence of good standing with the Secretary of State.

### *For-profit organizations*

- Your most recently filed federal and state tax returns. This information will be considered non-public data.
- If exempt from tax return requirements: your most recent financial statements, including balance sheet, income statement, and statement of cash flows. This information will be considered non-public data.
- Evidence of good standing with the Secretary of State.
- Disclosure of any liens on assets filed with the Secretary of State or county recorder, or if no liens, a signed statement that no current liens are filed.

### *Political subdivision*

- Most recent audit report (if required; see [current political subdivision audit revenue thresholds](#)).

## Additional Requirements for Capital Construction Projects

All applicants requesting funds for predesign, design, construction, or renovation of a building, trail, campground, or other long-lived (10 years or more) fixed capital asset costing \$10,000 or more must read and understand the following summary document regarding a **25% non-ENRTF match** and other requirements:

- ENRTF [Capital Construction Project Requirements](#)

A completed [Capital Construction Project Questionnaire](#), [Budget Addendum](#), and aerial map must be submitted with your proposal. The map must include location within the state, parcel boundaries, and clearly delineate what will be constructed using the requested funds. Further instructions on required map elements are provided in the LCCMR Proposal and Grant Management System. Any concept plans or completed designs should also be attached if available.

Please be aware that if the Commission determines that readiness is not sufficiently demonstrated, it may recommend funding only the planning, predesign, or design portion of a proposal. Applicants may reapply for subsequent phases.

# Requirements (continued)

## Construction, Service Contracts, and Purchasing

State contracting and competitive bidding requirements apply, including but not limited to, prevailing wage and targeted group purchasing requirements. More information on requirements for non-state organizations may be found in the [DNR Pass-Through Grants Reimbursement Manual](#).

## Additional Requirements for Land Acquisitions, Easements, and Restorations

All fee title and conservation easement acquisition proposals must include funding for development and implementation of a management and restoration plan. If no funding is requested, your proposal must address why funding for this work is not needed to achieve a high quality restoration.

Largescale stream or wetland restoration projects and land acquisitions for the purpose of capital construction are also subject to a **25% non-ENRTF match** and other capital construction requirements. See the summary documents below for more information.

All acquisition and restoration applicants must read and understand the following summary documents:

- ENRTF [Fee Title Acquisition Project Requirements](#)
- **UPDATED** - ENRTF [Easement Acquisition Project Requirements](#)
- ENRTF [Restoration Project Requirements](#)

Aerial maps of each of the proposed acquisition or restoration parcels must be submitted with your proposal. The maps must include location within the state and parcel boundaries. If all parcels have not yet been identified, a single map showing the approximate locations is sufficient. Further instructions on required map elements are provided in the LCCMR Proposal and Grant Management System.

A parcel list must also be included in your proposal that identifies all parcels you are considering for acquisition (fee title or easement) or restoration with the requested funds by parcel name, estimated cost, county, site significance, proposed number of acres, proposed shoreline or trail miles, type of landowner, and (if applicable) proposed title/easement holder. This list may include more parcels than you end up acquiring or restoring with the requested funds.

# Guidance on Allowable Expenses

## Eligible Expenses

Eligible expenses mean those expenses solely incurred through project activities that are directly related to and necessary for producing the project outcomes described in the proposal. All proposed expenses must be specified in the proposal submitted. Please note that for non-state organizations all funds are awarded on a reimbursement basis, unless otherwise authorized, and all eligible expenses will need to be documented. Eligible expenses are:

- a. Eligible expenditures incurred only after the effective date as approved by the LCCMR.
- b. Wages and expenses of salaried recipient employees if specified, documented, and approved. For state agencies: use of unclassified staff only OR request approval for the use of classified staff accompanied by an explanation of how the agency will backfill that part of the classified staff salary proposed to be paid for with these funds. This is subject to specific discussion and approval by the LCCMR.
- c. Fringe benefit expenses, such as FICA/Medicare, retirement, and health insurance of recipient's employees, if specified.
- d. Services and contracts (including for construction) specified in the approved work plan that are rendered by individuals or organizations not a part of the recipient; no contractor is approved unless it has been selected according to the contracting rules identified in state law and policy for organizations that receive ENRTF funds through direct appropriations, or in the [DNR's reimbursement manual](#) for non-state organizations. These rules include competitive bidding and prevailing wage requirements.
- e. Sub-awards as approved in the work plan. ENRTF spending requirements and, for non-state ENRTF recipients, grant agreement requirements flow down to the sub-award recipients.
- f. Equipment, tools, materials, and supplies specific to the project and incoming freight charges for them. State procurement requirements apply and may include targeted group purchasing provisions.
- g. Capital equipment (i.e., expenditures greater than \$5,000 per unit for equipment or tools) individually itemized as capital equipment in the approved work plan. For each item, the recipient must provide an explanation of how the equipment or tool purchased will continue to be used for the same program through its useful life, or if the use changes, a commitment to pay back to the ENRTF an amount equal to either the cash value received or a residual value approved by the director of the LCCMR if it is not sold.
- h. Publication and printing/copying expenses necessary for contract administration, work products production, and semi-annual reports relating to accomplishments.
- i. In-state transportation and travel expenses, such as lodging, meals, and mileage, for employees directly involved in the project in the same manner and in no greater amount than provided for in the current "[Commissioner's Plan](#)" promulgated by the Commissioner of Management of Budget and as provided by the LCCMR or, for University of Minnesota projects, the [University of Minnesota plan](#).

## Generally Ineligible Expenses—Unless Explicitly Approved

Generally ineligible expenses mean all expenses not defined as eligible expenses, but for which an explicit exception can be sought from the LCCMR if the expenses can be clearly justified and individually documented as directly related to and necessary for a project. No broad allocations for costs in either dollars or percentages are allowed. In deciding whether to seek exception for these costs consider that cash and in-kind leverage are factors considered in proposal evaluation. Generally ineligible expenses include but are not limited to:

- a. General operations, overhead, and other indirect expenses, including office maintenance, office utility expenses, and office materials and supplies.
- b. Office rental fees (including storage space rental).
- c. Communication expenses incurred for telephone calls, web access, postage, and similar services.
- d. Insurance, except title insurance.
- e. Attorney fees, except to acquire and clear title to land.
- f. Purchase of communication devices such as pagers, cell phones, or smart phones.
- g. Purchase of computers, tablets, or audiovisual equipment.
- h. Generally available food and refreshments.
- i. Conference attendance and associated costs and fees, except if to participate in formal presentation of project findings.
- j. Out-of-state expenses, including transportation, travel, and contracting.
- k. Transportation and travel expenses, such as lodging, meals, and mileage, for non-employees.

## Prohibited Expenses

Prohibited expenses mean all expenses indicated below, including but not limited to:

- a. Any expenses incurred before the project is authorized: before July 1, 2027, or before LCCMR work plan approval—whichever is latest.
- b. Fundraising.
- c. Taxes, except sales tax on goods and services.
- d. Lobbyists or political contributions.
- e. Organization advertising and marketing expenses.
- f. Loans, grants, or subsidies to persons or entities for development.
- g. Bad debts, late payment fees, or finance charges.
- h. Interest or investment management fees.
- i. Board of directors' or officers' salaries.
- j. Merit awards and bonuses.
- k. Memberships (including subscriptions and dues).
- l. Publications, periodicals, and subscriptions.
- m. Employee workplace parking.
- n. Entertainment, decorations, gifts, and prizes.

# Environment and Natural Resources Trust Fund: MN Constitution and Statutory Expenditures

## [Minnesota Constitution Art. XI, Sec. 14](#) Environment and Natural Resources Trust Fund Established

A permanent environment and natural resources trust fund is established in the state treasury. The assets of the fund shall be appropriated by law for the public purpose of protection, conservation, preservation, and enhancement of the state's air, water, land, fish, wildlife, and other natural resources. The assets of the fund shall not be used to pay the principal or interest of any bonds. The assets of the fund shall not be used to pay for any costs related to the construction, repair, improvement, or operation of any facility or system that processes wastewater, but may be used to pay for research related to wastewater. The amount appropriated each year of a biennium, commencing on July 1 in each odd-numbered year and ending on and including June 30 in the next odd-numbered year, may be up to 7 percent of the market value of the fund on June 30 one year before the start of the biennium. Not less than 40 percent of the net proceeds from any state-operated lottery must be credited to the fund through December 31, 2050. [Adopted, November 8, 1988; Amended, November 6, 1990; November 3, 1998; November 5, 2024]

## [M.S. 116P.08](#) Environment and Natural Resources Trust Fund Expenditures and Exceptions

Subdivision 1. **Expenditures.** (a) Money in the trust fund may be spent only for:

- (1) the reinvest in Minnesota program as provided in section 84.95, subd. 2;
  - (2) research that contributes to increasing the effectiveness of protecting or managing the state's environment or natural resources;
  - (3) collection and analysis of information that assists in developing the state's environmental and natural resources policies;
  - (4) enhancement of public education, awareness, and understanding necessary for the protection, conservation, restoration, and enhancement of air, land, water, forests, fish, wildlife, and other natural resources;
  - (5) capital projects for the preservation and protection of unique natural resources;
  - (6) activities that preserve or enhance fish, wildlife, land, air, water, and other natural resources that otherwise may be substantially impaired or destroyed in any area of the state;
  - (7) administrative and investment expenses incurred by the state board of investment in investing deposits to the trust fund; and
  - (8) administrative expenses subject to the limits in section 116P.09.
- (b) In making recommendations for expenditures from the trust fund, the commission shall give priority to funding programs and projects under paragraph (a), clause (1) and (6). Any request for proposals issued by the commission shall clearly indicate these priorities.

Subdivision 2. **Exceptions.** Money from the trust fund may not be spent for:

- (1) purposes of environmental compensation and liability under chapter 115B and response action under chapter 115C;
- (2) purposes of municipal water pollution control in municipalities with a population of 5,000 or more under the authority of chapters 115 and 116;
- (3) costs associated with the decommissioning of nuclear power plants;
- (4) hazardous waste disposal facilities;
- (5) solid waste disposal facilities;
- (6) projects or purposes inconsistent with the strategic plan; or
- (7) acquiring property by eminent domain, unless the owner requests that the owner's property be acquired by eminent domain.

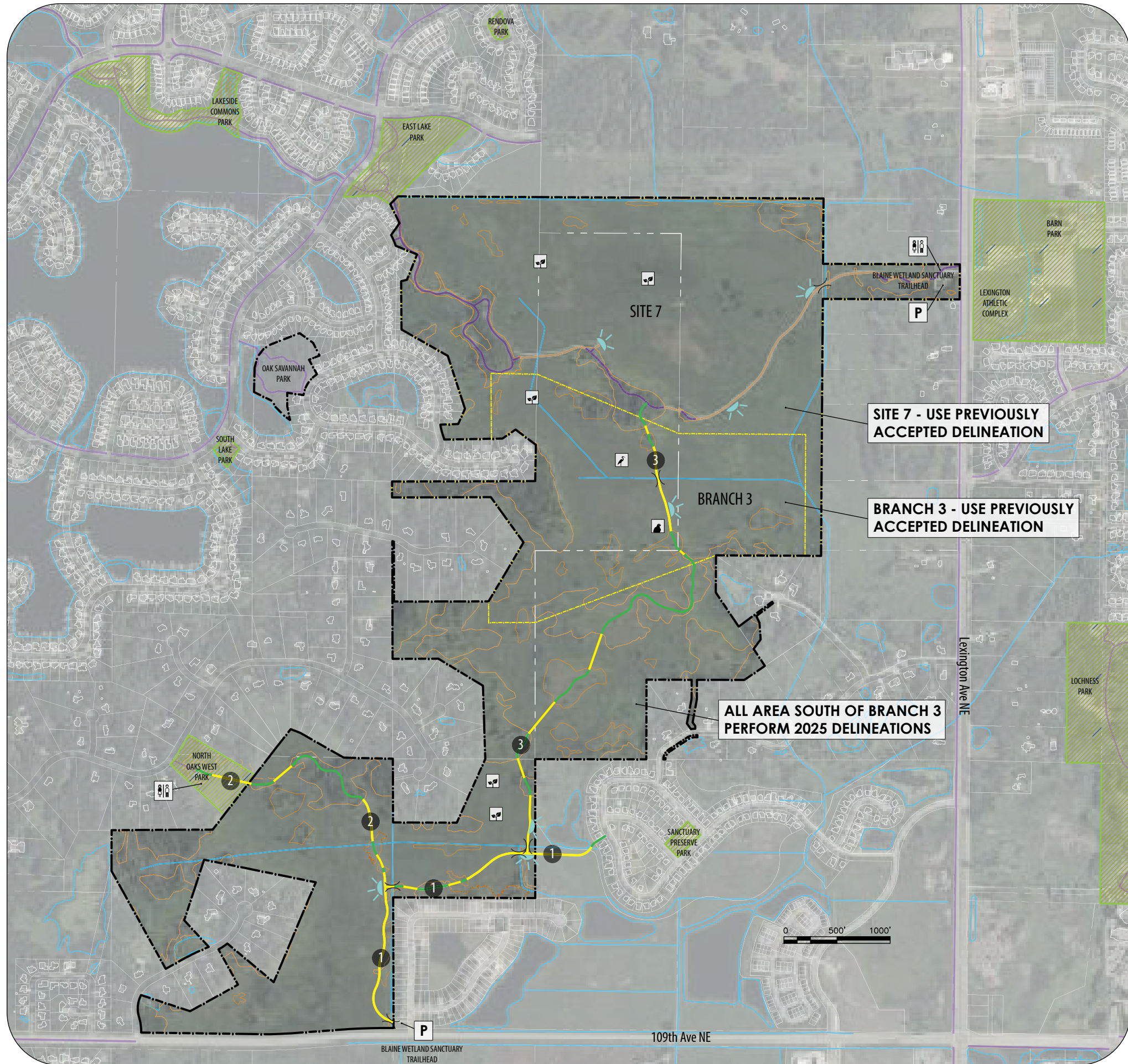
# How To Apply

## Proposals due by March 18, 2026, at 4:30 PM

1. Register for an account on the [LCCMR Proposal and Grant Management System](#).
2. Login and click “Create a New Proposal”.
3. Follow the instructions for completing your proposal.
4. Upload your completed attachments as required:
  - A. Visual component (1 page limit) or map. Attach a map, graphic, table, photo(s), or figure to help illustrate or elaborate on your project. Land acquisition, restoration, and capital construction projects must attach maps, and the maps may be more than 1 page to show multiple parcels.
  - B. A resolution or letter from your governing board authorizing submission of the proposal, using [these templates](#). This is required for non-state entities, including non-profits, for-profits, tribes, political subdivisions, and federal agencies. University of Minnesota entities may use their own template.
  - C. Documents described under the Financial Capacity requirements on page 8.
  - D. If you will have a third-party (external) fiscal agent, a letter or resolution from your fiscal agent acknowledging acceptance of the fiscal agent role for your project, using [these templates](#).
  - E. A completed [Capital Construction Project Questionnaire](#) and [Budget Addendum](#) for proposals for predesign, design, construction, or renovation of a building, trail, campground, or other long-lived (10 years or more) fixed asset costing \$10,000 or more, including largescale stream or wetland restoration, or for land acquisitions for purposes of capital construction.
5. Review all information and attachments.
6. Click “Submit”.
7. Save or print the confirmation email. Please check your junk mail folder if the confirmation email does not appear in your inbox. Contact the LCCMR if you do not receive a confirmation email or if your proposal status does not appear as “Final Submitted” on your dashboard.

## Additional Resources and Questions

Visit our [2027 Proposal & Funding Process page](#) for additional resources to assist you with completing your proposal and to follow along with the 2027 funding process. This page also provides guidance on how to submit questions and request meetings to discuss your draft proposal.



# BLAINE WETLAND SANCTUARY PROPOSED TRAIL SYSTEM MASTER PLAN



- LEGEND**
- Existing Trails
  - Existing Boardwalk
  - Parcels
  - Existing City Park
  - Sanctuary Boundary
  - Site 7/Branch 3 Boundary
  - Proposed Trail
  - Proposed Boardwalk
  - Ditch
  - Bridge/Culvert Crossing
  - Delineated Wetland Upland Transition
  - P Public Restrooms
  - P Parking Lot
  - Wildlife Viewing
  - Rare Plant Area
  - Crane Nesting Area
  - Hawk Nesting Area





# City of Blaine Staff Report

File Number: 2026-64

Agenda Date	Status
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March 2, 2026

In Control	File Type
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City Council

Motion

**Administration** - Erik Thorvig, City Manager

## Agenda Item # 10.3

Motion to Approve a Term Sheet for West Parking Structure as Part of the 105th Redevelopment Project

## Executive Summary

### Background

At two workshop meetings in February, the topic of a structured parking facility to serve the west portion of the 105th Redevelopment district was discussed. The facility would provide additional public parking for the stadium, field house and general parking for the district/area. A parking structure for the west portion of the district has been contemplated since early master plan designs were created in 2023. However, the location and financial responsibility of the structure hadn't been discussed by the city and development team until recently.

The budget for the structure is \$15M. Other public infrastructure components of the project, including roads, building demolition and utilities, have been financed by the city through typical public financing mechanisms, including tax abatement and tax increment financing. The financing has been structured where new property taxes generated from the development would pay for any debt service related to public infrastructure.

The city council discussed financing options for the parking facility at the February 2 and February 9 workshops. Attached is a term sheet which identifies general terms of the financing and that additional discussion would need to occur prior to formal actions at the April 6, 2026, regular meeting to determine responsibility of debt service for the parking structure. The parking facility is critical to the functionality of the event stadium. The developer has started design for the stadium and anticipates construction to begin in early 2026. Given the cost to prepare plans, the developer desires some level of commitment from the city that a parking facility will be constructed. As such, the attached term sheet provides the developer with guidance that the city council will consider formal actions related to the facility at the April 6, 2026, meeting. The term sheet is non-binding.

## Strategic Plan Relationship

The 105th Redevelopment has been identified as a priority in the city's Strategic Plan.

## Board/Commission Review

## Financial Impact

The term sheet contemplates the city issuing bonds for construction of the facility. Further discussion will occur between the city and developer prior to the April 6, 2026 city council meeting regarding responsibility of payment of debt service.

## Public Outreach/Input

Not applicable.

## Staff Recommendation

By motion, approve the term sheet.

## Attachment List

1. West Parking Term Sheet

## 105<sup>th</sup> Avenue Redevelopment West Parking Facility

### Term Sheet between the City of Blaine (“City”) and Blaine Town Center West, LLC (“Developer”)

Dated: March 2, 2026

- 1) Project Title:** 105<sup>th</sup> Avenue Redevelopment West Parking Facility (“Project”)
- 2) Location:** (See Attached Map)
- 3) Purpose**
  - a. This term sheet is intended to outline parameters by which the city would issue bonds and provide funding for the Project.
  - b. This non-binding Term Sheet, if approved by the City Council, would be formally memorialized by various actions of the Blaine City Council on April 6, 2026.
- 4) Project Details**
  - a. Developer would begin construction of a 625 stall parking facility in 2026 and be substantially completed by March 1, 2028.
  - b. The Project construction budget is estimated to cost \$15,000,000.
  - c. The Project will be funded by Taxable Tax Abatement Bonds (“Bonds”) issued by the City, backed by a general obligation pledge by the City.
- 5) Repayment of Debt/Term**
  - a. The bonds would be taxable
  - b. Annual debt service payments for the ramp is estimated to be \$1,200,000
    - i. Estimated interest rate of 4.9%
    - ii. 105% over levy is \$1,265,000.
  - c. The term of the bonds is 20 years.
  - d. Excess pledged revenues after payment for the Stadium Facility will pay the West Parking Abatement Bonds. The city and developer will continue to negotiate debt repayment responsibilities and revenue sources prior to formal approval on April 6, 2026.
- 6) Council Actions/Schedule**
  - a. A parameters resolution for the issuance of bonds will be considered by the Blaine City Council on April 6, 2026.
  - b. A tax abatement district will be considered by the Blaine City Council after public hearing on April 6, 2026.
    - i. Public hearing notice published March 20

- c. An agreement related to parking structure ownership, management and revenue sharing will be considered by the Blaine City Council on April 6, 2026.
- d. Bonds will be sold on or before June 1, 2026.
  - i. Bond proceeds received around July 1, 2026

**7) Non-binding Term Sheet**

- a. This term sheet is non-binding and does not constitute an offer or a contract. None of the terms set forth in this term sheet shall be binding upon the parties until a final agreement is negotiated among the parties and approved.

SIGNATURES

BLAINE TOWN CENTER WEST, LLC

By \_\_\_\_\_

Its \_\_\_\_\_

By \_\_\_\_\_

Its \_\_\_\_\_

City of Blaine

By \_\_\_\_\_

Its \_\_\_\_\_

By \_\_\_\_\_

Its \_\_\_\_\_

# Parking Facility Location



DRAFT



# City of Blaine Staff Report

File Number: 2026-65

Agenda Date	Status
March 2, 2026	
In Control	File Type
City Council	Motion

## Administration -

### Agenda Item # 10.4

2026 Board and Commission Mayoral Appointments

### Executive Summary

Council is asked to appoint the 2026 board and commission members.

### Background

Council was asked to review and rank applications received for appointment and incumbents' interest in reappointment to various boards and commissions. As current terms are expiring very soon, staff is suggesting that council consider making the following appointments:

- Planning Commission - 3
- Fire Board - 2
- Senior Advisory Board — unlimited
- Charter Commission - 3 (*recommendations to the 10th Judicial District Judge*)

The mayor should announce any proposed reappointments and appointments, after which the full council should confirm by motion, second, and vote.

### Strategic Plan Relationship

As advisory bodies, board and commission members relate to all facets of the city's strategic plan as their work is an integral part to decision-making by the city council.

### Board/Commission Review

N/A

## Financial Impact

Financial impacts include a small stipend for meeting attendance by members and staff time as liaisons supporting each board or commission.

## Public Outreach/Input

Advertisement for board/commission positions was published in the official newspaper and city newsletter and posted on the city's website and all social media channels.

## Staff Recommendation

Mayor to announce board/commission appointments for 2026-2027, after which council should confirm by majority vote. The city extends its thanks to all board and commission members, past and present, for their service to the residents of Blaine.

## Attachment List

1. 2026 Applicants

**2026 Board/Commission Applicants**

Ward	Applicant Name	Planning	Charter <i>Recommendation to 10<sup>th</sup> Judicial District Judge</i>	Fire	Senior Advisory
1	Ayma Khan	1 <sup>st</sup>			
1	Beirut Abafogi	2 <sup>nd</sup>	1 <sup>st</sup>		
1	Kimberly Koland	1 <sup>st</sup>			
1	Leon Wanna	1 <sup>st</sup>			2 <sup>nd</sup>
2	Amir Malik	1 <sup>st</sup>	2 <sup>nd</sup>		
2	Bradley Delfs	2 <sup>nd</sup>		1 <sup>st</sup>	
2	Jason Fast			1 <sup>st</sup>	
2	Lori Dow Akers	1 <sup>st</sup>		2 <sup>nd</sup>	
2	Mark Freeman	1 <sup>st</sup>			
2	Joe Humpal	1 <sup>st</sup>			
2	Julie Fearing	1 <sup>st</sup>			
2	Marian Cook <i>(late submission)</i>	1 <sup>st</sup>			
3	Kamaal Seeroo	1 <sup>st</sup>	2 <sup>nd</sup>		
3	Basheer Mohammed	1 <sup>st</sup>	2 <sup>nd</sup>		
3	Faraaz Mohammed	1 <sup>st</sup>	2 <sup>nd</sup>		
3	Amanda Matchett	2 <sup>nd</sup>	1 <sup>st</sup>		
3	Malek Elbatta	1 <sup>st</sup>			
3	Richard Ingalls	2 <sup>nd</sup>		1 <sup>st</sup>	
3	Shad Kraftson	1 <sup>st</sup>	2 <sup>nd</sup>		
1	Jacob Geiselhart <i>(incumbent)</i>	<i>Reappointment</i>			
2	Jonathan Gorzycki <i>(incumbent)</i>	VACANCY			
3	Masia Olson <i>(incumbent)</i>	<i>Reappointment</i>			
--	VACANCY		VACANCY		
2	Jason Hartmann <i>(incumbent)</i>		<i>Reappointment</i>		
3	Al Goracke <i>(incumbent)</i>		<i>Reappointment</i>		
2	Terry Wold <i>(term ending)</i>			<i>Reappointment</i>	
2	Becky Booker <i>(incumbent)</i>			<i>Reappointment</i>	
	<b># of appointments to be made</b>	<b>Planning 3</b>	<b>Charter 3</b>	<b>Fire Board 2</b>	<b>Senior *Unlimited</b>

1<sup>st</sup> - applicant's first choice of board/commission

2<sup>nd</sup> - applicant's second choice of board/commission (if applicable)