



City of Blaine

City Council

August 19, 2024 | 7:00 PM
Blaine City Hall
10801 Town Square Drive NE
Blaine, MN 55449

AGENDA

1. Call to Order by the Mayor

2. Pledge of Allegiance

3. Roll Call

4. Awards - Presentations - Organizational Business

5. Communications

6. Open Forum

Open Forum is an opportunity for the public to present an issue or concern to City Council. There is a maximum of fifteen minutes set aside for open forum. Each presentation should be limited to no more than three minutes. If your item needs follow-up from the City, staff will arrange for that follow-up and will contact you to let you know what is being done. Thank you for coming this evening.

7. Adoption of Agenda

8. Approval of Consent Agenda:

All items listed under the "Consent Agenda" are considered to be routine by the City Council and will be enacted by one motion. There will be no separate discussion of these items unless a Councilmember or citizen so requests, in which event the item will be removed from the Consent Agenda and considered in its normal sequence on the agenda.

8.1. 2024-363 Schedule of Bills Paid
Sponsors: Jason Zimmerman, Finance Director

8.2. 2024-362 Approval of Minutes
Sponsors: Cathy Sorensen, City Clerk

8.3. RES 24-152 Resolution to Declare Costs to be Assessed, Order Preparation and Call for Public Hearing on Proposed Assessment for the 2023 Northwest Area Street Reconstruction, Improvement Project No. 23-06
Sponsors: Daniel Schluender, Director of Engineering

8.4. RES 24-163 Resolution Granting Final Plat Approval to Create One Lot and Three Outlots to be Known as One Hundred Fifth Redevelopment. EB Blaine Development LLC (Case File No. 24-0052/SAS)
Sponsors: Sheila Sellman, City Planner

8.5. 2024-361 Approve a Tobacco and Tobacco Products License for Irie Vybz Jamaican Restaurant LLC located at 76 Northtown Drive
Sponsors: Cathy Sorensen, City Clerk

9. 7:00 PM - Public Hearing and Items Published for a Certain Time

9.1. RES 24-154 Resolution Granting a Conditional Use Permit Amendment to Allow Preschool/Daycare in Addition to a K-8 School and Place of Worship in the Development Flex (DF) Zoning District at 3680 Pheasant Ridge Drive. East Blaine Mosque and Academy (Case File No. 24-0051/SAS)
Sponsors: Sheila Sellman, City Planner

10. Development Business

10.1. ORD 24-2557 First Reading
Ordinance Approving Amendments to Section 39.901 (Definitions) and Section 30.904 (Permitted Uses in the 105th Avenue Redevelopment District) of the Zoning Ordinance to Add Cigar Lounge as a Permitted Use. Society Cigars (Pinpoint Community Development) (Case File No. 24-0040/SAS)
Sponsors: Sheila Sellman, City Planner

11. Administration

11.1. RES 24-157 Resolution Accepting a Bid from Kurilla Contracting in the Amount of \$59,180 for the 2024 Blaine Storm Outlet Project, I/P 24-50
Sponsors: Daniel Schluender, Director of Engineering

11.2. ORD 24-2562 First Reading
Amending Chapter 38 - Fire Prevention and Protection, Article II. Minnesota State Fire Code, Sec. 38-33 Fire Protection Permits and Inspection Program; Fire Sprinkler Systems
Sponsors: Todd Miller, Deputy Fire Marshal

12. Other Business

13. Adjournment

CITY OF BLAINE**SCHEDULE OF BILLS PAID****APPROVED ON 8/19/2024 FOR PAYMENTS THE WEEK OF 7/26/2024**

Vendor Name	Description	Amount
ADVANCED GRAPHIX INC	Graphics for Patrol Bikes	\$ 156.00
ALL AUTO GLASS LLC	Repair Rock Chipped Windshield	\$ 39.95
AMAZON CAPITAL SERVICES	AA AND AAA Batteries	\$ 43.96
AMAZON CAPITAL SERVICES	Electrical Box for Tom Ryan Shelter	\$ 435.19
AMAZON CAPITAL SERVICES	Notebooks, glue sticks	\$ 101.19
AMAZON CAPITAL SERVICES	Pens, steno note books, sticky notes	\$ 76.92
AMAZON CAPITAL SERVICES	Laptop case and power cord	\$ 43.62
AMAZON CAPITAL SERVICES	Emergency Lights for vehicles	\$ 334.58
AMAZON CAPITAL SERVICES	wireless ergonomic mouse	\$ 24.99
AMAZON CAPITAL SERVICES	Cables for LIDARs	\$ 44.50
AMAZON CAPITAL SERVICES	Wireless mouse	\$ 10.79
AMAZON CAPITAL SERVICES	Computer Screen and cables	\$ 524.64
AMAZON CAPITAL SERVICES	Lockout Tools for CSOs	\$ 251.37
AMAZON CAPITAL SERVICES	Supplies for Playnet	\$ 31.98
AMAZON CAPITAL SERVICES	Supplies for Playnet	\$ 54.08
AMAZON CAPITAL SERVICES	Weights for tents	\$ 19.99
AMAZON CAPITAL SERVICES	Fax toner	\$ 57.81
AMIOT JOSHUA	Softball Umpire Fees	\$ 340.00
ANOKA COUNTY ATTORNEY'S OFFICE	Forfeiture distribution	\$ 1,297.23
ANOKA COUNTY TREASURY DEPT	2024A Bond Issuance	\$ 45,000.00
ARTIS REIT	SP21-0005, Blaine 35 (Phase I)	\$ 20,000.00
ARTIS REIT	SP21-0017, Blaine 35 (B&C)	\$ 185,000.00
ASPEN MILLS INC	clothing and uniforms	\$ 619.05
ASPEN MILLS INC	clothing and uniforms	\$ 108.40
ASPEN MILLS INC	clothing and uniforms	\$ 300.85
ASPEN MILLS INC	clothing and uniforms	\$ 100.90
ASPEN MILLS INC	clothing and uniforms	\$ 100.90
ASPEN MILLS INC	clothing and uniforms	\$ 2,269.87
ASPEN MILLS INC	clothing and uniforms	\$ 77.50
ASPEN MILLS INC	clothing and uniforms	\$ 19.35
ASPEN MILLS INC	clothing and uniforms	\$ 57.50
ASPEN MILLS INC	clothing and uniforms	\$ 619.05
ASPEN MILLS INC	clothing and uniforms	\$ 239.97
ASPEN MILLS INC	clothing and uniforms	\$ 50.95
ASPEN MILLS INC	clothing and uniforms	\$ 99.98
ASPEN MILLS INC	clothing and uniforms	\$ 59.00
ASPEN MILLS INC	clothing and uniforms	\$ 1,776.12

ASPEN MILLS INC	clothing and uniforms	\$	1,199.70
ASPEN MILLS INC	clothing and uniforms	\$	179.95
ASPEN MILLS INC	clothing and uniforms	\$	21.48
ASPEN MILLS INC	clothing and uniforms	\$	171.50
ASPEN MILLS INC	clothing and uniforms	\$	78.99
ASPEN MILLS INC	clothing and uniforms	\$	7.50
ASPEN MILLS INC	clothing and uniforms	\$	329.85
ASPEN MILLS INC	clothing and uniforms	\$	74.00
ASPEN MILLS INC	clothing and uniforms	\$	96.84
ASPEN MILLS INC	clothing and uniforms	\$	49.99
AWAD ANTOINE	Irrigation Damage reimbursement	\$	270.00
AX BLAINE 35 LP	TIF Proceeds Paid - TIF District 1-22	\$	100,236.51
AX BLAINE 35 LP	TIF Proceeds Paid - TIF District 1-23	\$	143,267.70
BAILEY NURSERIES INC	Park Perennials	\$	1,806.00
BAYPORT CONSTRUCTION	Permit Refund B24-02602	\$	106.00
BCA-CHAU RECORDS	Liquor license background fees	\$	33.25
BEACON ATHLETICS LLC	BBC Field 1 Backstop project	\$	14,709.00
BEACON ATHLETICS LLC	Home Plates for Ball fields	\$	2,464.00
BEAUDRY OIL & PROPANE	Fuel Delivery	\$	15,100.40
BEAUDRY OIL & PROPANE	Fuel Delivery	\$	6,066.94
BEAUDRY OIL & PROPANE	Credit	\$	(119.17)
BLAINE BROTHERS INC	Tail Light Assy/Alarm	\$	126.91
BLAINE CUSTOM APPAREL & AWARDS	Office Name plates for MAYC staff	\$	125.00
BLAINE LOCK & SAFE INC	Keys cut	\$	25.50
BLAINE TOWN SQUARE APARTMENTS II	TIF Proceeds Paid - TIF District 1-17	\$	74,929.50
BLAINE'S BLAZIN' 4TH COMMITTEE	Festival activity registration	\$	3,440.00
BOYER TRUCKS	Dash Light/Blower/Filters; 1241	\$	16.00
BOYER TRUCKS	Dash Light/Blower/Filters; 1241	\$	183.46
CARR'S TREE SERVICE INC	Tree/Debris Removal; Kane Park	\$	3,440.00
CENTERPOINT ENERGY	750 Cloverleaf Parkway	\$	94.58
CENTURYLINK	Telephone Service	\$	73.78
CINTAS CORPORATION	Uniform/Rug Rentals - PW	\$	424.75
CINTAS CORPORATION	MAYC - Mats/Rugs	\$	37.16
CLEMENTS THOMAS	Mileage and Parking	\$	42.16
COMCAST	Public Works Internet Service	\$	201.47
COMO LUBE & SUPPLIES INC	Disposal fees	\$	465.00
CONNEXUS ENERGY	117th/Ulysses Roundabout Lighting	\$	78,305.75
CONNEXUS ENERGY-UTILITY PAYMENTS	Electric Service	\$	56,362.05
CORE & MAIN LP	2" Meters for Resale	\$	9,351.49
CORVAL CONSTRUCTORS INC	WTP 1 Filter & Piping Upgrades	\$	42,326.30
CREATIVE HOMES INC	Escrow Refund - 13234 Jewell St NE	\$	4,900.00
CREATIVE HOMES INC	Escrow Refund - 13250 Jewell St NE	\$	4,900.00
CREATIVE HOMES INC	Escrow Refund - 13242 Jewell St NE	\$	4,900.00
CREATIVE HOMES INC	Escrow Refund - 4515 132nd Ln NE	\$	4,900.00

CREATIVE HOMES INC	Escrow Refund - 4565 132nd Ln NE	\$	4,900.00
CREATIVE HOMES INC	Escrow Refund - 4595 132nd :Ln NE	\$	4,900.00
CREATIVE HOMES INC	Escrow Refund - 13226 Jewell St NE	\$	4,900.00
CREATIVE HOMES INC	Escrow Refund - 13218 Jewell St NE	\$	4,900.00
CREATIVE HOMES INC	Escrow Refund - 4585 132nd Ln NE	\$	4,900.00
CREATIVE HOMES INC	Escrow Refund - 4575 132nd Ln NE	\$	4,900.00
CREST VIEW CORPORATION	TIF Proceeds Paid - TIF District 1-18	\$	118,735.16
CRYSTEEL TRUCK EQUIPMENT	Tool Box; 1244	\$	612.12
CUSTOM TRUCK ONE SOURCE	Welding Repair 1236	\$	1,347.01
D R HORTON INC	Escrow Refund - 12664 Erskin St NE	\$	4,900.00
DELTA MEDICAL SUPPLY GROUP INC	Nitrile Gloves for Patrol	\$	828.80
DIRECT RADAR/LIDAR TESTING	lidar/radar instructor	\$	500.00
DRESEL CONTRACTING INC	2024 SW Area Street Reconstruction	\$	298,078.63
ECM PUBLISHERS INC	Publication	\$	795.50
ESCH CONSTRUCTION SUPPLY INC	Concrete blades for Storm	\$	3,420.00
FERGUSON WATERWORKS #2518	Fire Hydrants; Water	\$	10,478.84
FETTIG BRANDON	Flights for MFF Instructor training	\$	283.95
FISERV	June FISERV Payment	\$	151.64
FLEXIBLE PIPE TOOLS & EQUIPMENT	Filter/Heat Exchanger: 4506	\$	3,459.90
FRIENDLY CHEVROLET INC	Brake Rotors; PD Stock	\$	135.04
GRAINGER	Foot control treadle kit, duster	\$	143.97
GUNDERSON ARLENE	Home Improvement Grant	\$	1,875.00
HAWKINS INC	Water Treatment Chemicals	\$	15,173.10
HAWKINS INC	Water Treatment Chemicals	\$	3,797.00
HAWKINS INC	Water Treatment Chemicals	\$	26,020.50
HENNING PROFESSIONAL SERVICES INC	Right-of-Way Acquisition Services	\$	5,897.22
IMPACT PROVEN SOLUTIONS	Utility Bill Printing - June	\$	4,167.34
IUOE LOCAL 49 FRINGE BENEFIT FUNDS	June Union Apprenticeship Fund	\$	702.95
JM ELECTRIC LLC	Electrical repair Tom Ryan Park	\$	400.00
JM ELECTRIC LLC	Electrical work at BBC	\$	270.00
JM ELECTRIC LLC	Electrical work Tom Ryan Shelter	\$	510.00
JUSTEN JENNAH	Tuition reimbursement	\$	495.00
KATH FUEL OIL SERVICE COMPANY	Bulk Diesel Exhaust Fluid; Shop	\$	718.60
LAKES IRRIGATION LLC	Irrigation Water Usage - W Lake Park	\$	180.12
LAKES IRRIGATION LLC	Irrigation Water Usage - E Lake Park	\$	659.37
LEAGUE OF MN CITIES INSURANCE	workers comp insurance claim	\$	827.91
LENNAR	Escrow Refund - 3595 110th Lane NE	\$	4,900.00
LENNAR	Escrow Refund - 4466 128th Ln NE	\$	4,700.00
LENNAR	Escrow Refund - 4398 129th Ct NE	\$	5,000.00
LENNAR	Escrow Refund - 3462 110th Ln NE	\$	4,900.00
LENNAR	Escrow Refund - 3425 110th Ln NE	\$	7,400.00
LENNAR	Escrow Refund - 3552 110th Ln NE	\$	4,900.00
LENNAR	Escrow Refund - 4317 129th Ave NE	\$	4,800.00
LENNAR	Escrow Refund - 4267 129th Ave NE	\$	4,700.00

LENNAR	Escrow Refund - 12842 Frazier St NE	\$	7,200.00
LENNAR	Escrow Refund - 3485 110th Ln NE	\$	4,900.00
LENNAR	Escrow Refund - 3512 110th Ln NE	\$	4,900.00
LENNAR	Escrow Refund - 3542 110th Ln NE	\$	5,000.00
LENNAR	Escrow Refund - 12866 Frazier St NE	\$	4,800.00
LENNAR	Escrow Refund - 12875 Frazier St NE	\$	4,900.00
LENNAR	Escrow Refund - 12863 Frazier St NE	\$	4,900.00
LENNAR	Escrow Refund - 4297 129th Ave NE	\$	4,800.00
LIFESTYLE LANDSCAPES LLC	Tree trimming @ Tom Ryan Park	\$	1,721.75
LOCKRIDGE GRINDAL NAUEN PLLP	State Lobbyist Services	\$	3,166.66
MACQUEEN EQUIPMENT INC	Flail Maintenance Kit for 1322-3	\$	2,051.09
MARTIN MARIETTA MATERIALS	Patching Materials	\$	323.21
MENARDS - BLAINE	Headlamps for Storm Water	\$	49.94
MENARDS - BLAINE	Well 9 Landscaping supplies	\$	57.85
MENARDS - BLAINE	PW Stock; filters/distilled water	\$	112.86
MENARDS - BLAINE	Sign Shop: T Posts/Fireworks	\$	234.50
MENARDS - BLAINE	Parks: Batteries for Irrigation	\$	81.23
MENARDS - BLAINE	Sign Shop: T Posts/Fireworks	\$	46.90
MENARDS - BLAINE	Water: Spray Paint for 4628	\$	50.82
MENARDS - BLAINE	spray paint	\$	11.96
MENARDS - BLAINE	Plant 1 & Service line supplies	\$	31.77
MENARDS - BLAINE	Plant 1 & Service line supplies	\$	59.85
MENARDS - BLAINE	CH coupling, elbow, Velcro, poly	\$	102.06
MENARDS - BLAINE	Mechanic shop supplies	\$	42.94
MENARDS - BLAINE	Spigots/Plumbing; Comm Gardens	\$	141.60
MICKMAN BROTHERS INC	Median Maintenance	\$	2,921.90
MICKMAN BROTHERS INC	Median Maintenance	\$	2,157.14
MICKMAN BROTHERS INC	109th/105th Weed Control	\$	1,335.71
MIDWAY FORD COMPANY	Alternator/Wash Jets #1244	\$	403.20
MINNESOTA OCCUPATIONAL HEALTH	Pre employment testing	\$	1,928.00
MINNESOTA UI	Unemployment Insurance Q2	\$	7,126.79
MINNESOTA VALLEY TESTING LABS	Water testing at Lakeside Commons	\$	76.00
NESVOLD RYAN	Performance in the Park	\$	300.00
NORTHERN SANITARY SUPPLY CO INC	CH hand soap, towels	\$	507.14
NORTHERN SANITARY SUPPLY CO INC	MAYC supplies	\$	797.48
NORTHERN SANITARY SUPPLY CO INC	Bandshell Mop Buckets	\$	319.00
NR PROPERTIES INC	Final Escrow - Jefferson Ridge	\$	50,129.77
NR PROPERTIES INC	Escrow Refund - 715 114th Ct NE	\$	4,900.00
NR PROPERTIES INC	Escrow Refund - 725 114th Ct NE	\$	4,900.00
NR PROPERTIES INC	Escrow Refund - 727 114th Ln NE	\$	4,700.00
OLSON LISA	Mileage, Donuts, Ice	\$	39.03
OPPORTUNITY SERVICES INC	Cleaning Services - June	\$	1,581.26
OPTIMIZED ELECTRICAL SOLUTIONS	PW garage doors	\$	1,801.00
O'REILLY AUTOMOTIVE INC	Filters/Oil for PW Stock	\$	59.67

O'REILLY AUTOMOTIVE INC	Credit	\$	(59.67)
O'REILLY AUTOMOTIVE INC	Hose for mower 2400	\$	40.10
O'REILLY AUTOMOTIVE INC	Brake Parts/Filters; 3402/Stock	\$	193.14
O'REILLY AUTOMOTIVE INC	PW Stock; Spark Plugs/Filters	\$	77.68
O'REILLY AUTOMOTIVE INC	PW Stock; Spark Plugs/Filters	\$	44.50
O'REILLY AUTOMOTIVE INC	PW Stock; Spark Plugs/Filters	\$	19.58
O'REILLY AUTOMOTIVE INC	Brake Parts/Filters; 3402/Stock	\$	219.41
O'REILLY AUTOMOTIVE INC	Oil Cooler/Gasket; 1244	\$	211.39
O'REILLY AUTOMOTIVE INC	Credit	\$	(178.72)
O'REILLY AUTOMOTIVE INC	Seals and Filters; PW	\$	30.00
O'REILLY AUTOMOTIVE INC	Seals and Filters; PW	\$	51.48
O'REILLY AUTOMOTIVE INC	Alternator for 4466	\$	150.45
O'REILLY AUTOMOTIVE INC	Hub Assembly; 3391	\$	261.02
O'REILLY AUTOMOTIVE INC	Credit	\$	(10.00)
PALMER JANET E	Home Improvement Grant	\$	2,168.40
SMARTSIGHTS LLC	Scada Alarm Dialer; Water/Sewer	\$	7,552.68
SRI BLAINE LLC	TIF Proceeds Paid - TIF District 1-20	\$	84,025.84
STATE OF MINNESOTA	Court costs	\$	85.75
STATE OF MINNESOTA	Forfeiture distribution	\$	648.62
STREICHER'S	Prebil - uniform 2 pants	\$	116.00
SVAP II OAK PARK PLAZA LLC	TIF Proceeds Paid - TIF District 1-19	\$	73,770.20
THE BACKYARD BAND	Performance at Bark in the Park	\$	600.00
TKDA AND ASSOCIATES INC	TH65 Access Improvements	\$	67,591.41
TRI-STATE BOBCAT INC	Toolcat Blades; 2398	\$	232.41
TRI-STATE BOBCAT INC	Toolcat Blades; 2398	\$	232.41
TRI-STATE BOBCAT INC	Toolcat 5600 Blower/Grapple #1326	\$	74,711.96
TURFWERKS	Parts #2356; Pump/Caliper/Arm	\$	5,301.96
TWIN CITY HEATING AND AIR	Permit Refund B24-02754	\$	61.00
ULINE	Barricade tape/flares	\$	1,085.92
ULINE	Water cooler	\$	477.54
VERIZON WIRELESS	Telephone Service	\$	80.02
WOLFE MICHELLE A	Conference Travel June-July	\$	887.54
XCEL ENERGY	Siren - Electric	\$	9.80
XCEL ENERGY	9191 Lincoln St NE	\$	36.53
XTREME CUSTOM APPAREL	Apparel - Sellman	\$	43.00
		\$	1,868,813.57

CITY OF BLAINE

**SUBSET OF PAYMENTS BETWEEN \$20,000 AND \$50,000 FROM THE SCHEDULE OF BILLS PAID
APPROVED ON 8/19/2024 FOR PAYMENTS THE WEEK OF 7/26/2024**

Vendor Name	Description	Amount
ARTIS REIT	SP21-0005, Blaine 35 (Phase I)	\$ 20,000.00
HAWKINS INC	Water Treatment Chemicals	\$ 26,020.50
CORVAL CONSTRUCTORS INC	WTP 1 Filter & Piping Upgrades	\$ 42,326.30
ANOKA COUNTY TREASURY DEPT	2024A Bond Issuance	\$ 45,000.00

CITY OF BLAINE**SCHEDULE OF BILLS PAID****APPROVED ON 8/19/2024 FOR PAYMENTS THE WEEK OF 8/2/2024**

Vendor Name	Description	Amount
ADVANCED GRAPHIX INC	Upfit Squad 5285	\$ 40.00
ADVANCED GRAPHIX INC	Upfit Squad 5285	\$ 597.50
ALLEGRA PRINT & IMAGING	scam table tents/bookmarks	\$ 723.27
ALLEGRA PRINT & IMAGING	N2Unite door hangers	\$ 856.15
AMAZON CAPITAL SERVICES	Earpiece for PD	\$ 129.99
AMAZON CAPITAL SERVICES	USB 2.0 Cables	\$ 21.20
AMAZON CAPITAL SERVICES	Supplies for little school	\$ 28.23
AMAZON CAPITAL SERVICES	Shelf brackets, phone chargers	\$ 189.38
AMAZON CAPITAL SERVICES	Credit	\$ (19.91)
AMAZON CAPITAL SERVICES	Web Cam for new GIS Employee	\$ 80.85
AMAZON CAPITAL SERVICES	PW; Gauge for 4478	\$ 24.10
AMAZON CAPITAL SERVICES	Stairwell Initiative Supplies	\$ 125.42
AMAZON CAPITAL SERVICES	50 amp cord-Tom Ryan Shelter	\$ 139.00
AMAZON CAPITAL SERVICES	POE Unit for Drone Detection Device	\$ 9.98
AMAZON CAPITAL SERVICES	New Sign and stand for boathouse	\$ 51.98
AMAZON CAPITAL SERVICES	Desk supplies	\$ 6.95
AMAZON CAPITAL SERVICES	Wellness Room Equipment	\$ 139.99
AMAZON CAPITAL SERVICES	Lanyards/Name tags for 3M	\$ 23.97
AMAZON CAPITAL SERVICES	Ergonomic Foot Rest	\$ 18.99
AT&T MOBILITY	Bait trailer data service	\$ 66.96
AXON ENTERPRISES INC	Taser holsters/mounts	\$ 40.00
BARR ENGINEERING COMPANY	Wellfield Management Plan Proposal	\$ 427.50
BARR ENGINEERING COMPANY	WTP2 Preventative Maintenance	\$ 1,419.00
BARR ENGINEERING COMPANY	General Engineering Services	\$ 862.50
BLAINE BROTHERS INC	Air Governor; 1119	\$ 87.34
BLILIE ANDREW	UAS exam fee	\$ 175.00
BROWN SEAN	Meal Reimbursement	\$ 68.25
CARGILL JAMES R	SP20-11, 1650 93rd Lane	\$ 26,141.00
CHESNESS THOMAS	Reimbursement for CDL Permit	\$ 29.88
CHRONICLES IN HEALTH LLC	Workshop at MAYC	\$ 30.00
CINTAS CORPORATION	CH Mats/Rugs	\$ 205.47
CINTAS CORPORATION	Uniform/Rug Rentals - PW	\$ 195.46
CINTAS CORPORATION	MAYC - Mats/Rugs	\$ 38.42
CITY OF BLAINE	Public Works Petty Cash	\$ 168.20
CLARK DAVID MICHAEL	Home Improvement Grant	\$ 5,000.00
COMCAST	Fiber Internet Service	\$ 1,380.00
CREATIVE HOMES INC	Escrow Refund - 13203 Jewell St NE	\$ 4,900.00

CREATIVE HOMES INC	Escrow Refund - 13209 Jewell St NE	\$ 4,900.00
CREATIVE HOMES INC	Escrow Refund - 13213 Jewell St NE	\$ 4,900.00
CREATIVE HOMES INC	Escrow Refund - 13219 Jewell St NE	\$ 4,900.00
CREATIVE HOMES INC	Escrow Refund - 4545 132nd Ln NE	\$ 4,900.00
CROWN ENTERPRISES INC	SP16-03, Crown Enterprises	\$ 25,000.00
CROWN IRON WORKS	SP18-16, Crown Iron Works	\$ 2,500.00
CRYSTEEL TRUCK EQUIPMENT	F350 Build-up: Water #4629	\$ 27,466.00
CRYSTEEL TRUCK EQUIPMENT	Prewet Brine Bars	\$ 10,835.00
CRYSTEEL TRUCK EQUIPMENT	Hyd Housing; 1285	\$ 88.23
D & G TIRE RECYCLE LLC	Tire Disposal	\$ 530.00
D R HORTON INC	Escrow Refund - 12670 Erskin St NE	\$ 4,900.00
D R HORTON INC	Escrow Refund - 12738 Erskin St NE	\$ 5,000.00
D R HORTON INC	Escrow Refund - 12729 Frazier St NE	\$ 4,900.00
D R HORTON INC	Escrow Refund - 12723 Frazier St NE	\$ 4,900.00
D R HORTON INC	Escrow Refund - 12744 Erskin St NE	\$ 4,900.00
D R HORTON INC	Escrow Refund - 12717 Frazier St NE	\$ 4,900.00
DAVE PERKINS CONTRACTING INC	Water Main Break Repair	\$ 18,981.21
DEM CON BUSINESS OFFICE	SP19-05, Dem Con	\$ 9,205.00
DEM CON BUSINESS OFFICE	SP19-06, Dem Con	\$ 11,215.00
DESIGNING EARTH CONTRACTING INC	SP20-13, Naples St Office Warehouse	\$ 55,000.00
DIAMOND MOWERS INC	Assembly Hub for 1276.1	\$ 217.21
DIAMOND MOWERS INC	Skid Shoes/Casters	\$ 446.41
DIAMOND MOWERS INC	Skid Shoes/Casters; 1276-1	\$ 718.97
DIAMOND MOWERS INC	Skid Shoes; 1276-1	\$ 270.17
DIAMOND MOWERS INC	Credit	\$ (48.67)
DIAMOND MOWERS INC	Credit	\$ (8.87)
DIAMOND MOWERS INC	Credit	\$ (622.34)
DOUGLAS KERR UNDERGROUND LLC	Lift Station 13 FM Replacement-Phase	\$ 63,783.63
EDWARDS ALAN	Softball Umpire Fees	\$ 620.00
EMERGENCY AUTOMOTIVE TECHNOLOGIES	Screen Supports for Squad Computers	\$ 350.55
EMERGENCY AUTOMOTIVE TECHNOLOGIES	Upfit Equipment for PD Truck	\$ 543.37
EMERGENCY AUTOMOTIVE TECHNOLOGIES	Upfit Equipment for F150 Responder	\$ 9,015.35
ESKIERKA KARLA	Park/Rec Refund	\$ 129.00
FACTORY MOTOR PARTS COMPANY	Rear Disk Brake	\$ 683.76
FACTORY MOTOR PARTS COMPANY	Battery: 4466	\$ 279.68
FACTORY MOTOR PARTS COMPANY	Batteries: PD Stock	\$ 612.48
FACTORY MOTOR PARTS COMPANY	Fuel Additive: PW	\$ 105.12
FISH-FOSTER CATHERINE ANN	Public Sidewalk Easement	\$ 700.00
FLEXIBLE PIPE TOOLS & EQUIPMENT	Rotary Counter; 4622	\$ 658.80
FRIENDLY CHEVROLET INC	Brake Rotors; PD Stock	\$ 270.08
FRIENDLY CHEVROLET INC	Speed Sensor Wheel Hub; 5319	\$ 153.52
FRIENDLY CHEVROLET INC	Harness	\$ 101.34
FRIENDLY CHEVROLET INC	Rotors; 5315	\$ 466.64
FRIENDLY CHEVROLET INC	Washer	\$ 5.14

GALLAGHER BENEFIT SERVICES INC	Ongoing DBM evaluations	\$	416.67
GARDNER ADAM	Office Supplies	\$	14.03
GRAINGER	MAYC HVAC part	\$	105.04
GRAINGER	Gaskets	\$	66.61
GREENE KURTIS	UAS certification	\$	175.00
GROUP HEALTH NON-PATIENT A/R	EAP benefits	\$	235.00
HANSON SPORTS LLC	Summer Sports Camps	\$	3,030.20
HOSE PROS LLC	Misc Parts for Hydrant Meters	\$	400.30
HUNDLEY JACOB	Kennel License Refund	\$	90.00
IMPACT PROVEN SOLUTIONS	Utility Billing Invoice Printing	\$	4,113.59
INDELCO PLASTICS CORPORATION	Chlorine Panel	\$	5,209.20
INDELCO PLASTICS CORPORATION	VDC Power Supply for Plant	\$	141.10
INGINA LLC	Tech Summer Camp	\$	1,716.00
INSIGHT PUBLIC SECTOR INC	Microsoft 365 licenses	\$	1,460.20
INSIGHT PUBLIC SECTOR INC	iPad for GIS Analyst	\$	323.48
ISOM HARLAN G	Softball Umpire Fees	\$	124.00
JONATHAN HOMES OF MN LLC	Escrow Refund - 4699 131st Ave NE	\$	5,000.00
JONATHAN HOMES OF MN LLC	Escrow Refund - 4696 131st Ave NE	\$	5,000.00
LEAGUE OF MN CITIES INSURANCE	Worker's Compensation Coverage	\$	339,700.00
LEAGUE OF MN CITIES INSURANCE	Property/Casualty Coverage	\$	336,253.00
LENNAR	Escrow Refund - 3613 110th Ln NE	\$	4,900.00
LENNAR	Escrow Refund - 11035 Okinawa St NE	\$	4,800.00
LENNAR	Escrow Refund - 3513 110th Ln NE	\$	4,800.00
LIFESTYLE LANDSCAPES LLC	Mowing at City Hall/Tom Ryan Park	\$	2,025.65
LOGIS	Special Assessment Program	\$	5,569.00
LOGIS	Set up VPN to JLEC/PSDS Network	\$	36.25
MACQUEEN EQUIPMENT INC	Flail Maintenance Kit for 1322-3	\$	146.89
MANAGED SERVICES INC	CH janitorial July	\$	4,418.00
MARSDEN CENTRAL LLC	PW July janitorial services	\$	2,476.38
MCDONOUGH SEWER SERVICE	SP19-24, McDonough Sewer Service	\$	13,755.70
MENARDS - BLAINE	Community Outreach Trailer items	\$	38.70
MENARDS - BLAINE	Insect traps, poly, filter	\$	103.93
MENARDS - BLAINE	PW: Sewer Supplies	\$	168.13
MENARDS - BLAINE	PW; Plant 1 Tools/supplies	\$	305.79
MENARDS - BLAINE	Armorer Items	\$	93.65
MENARDS - BLAINE	PW HVAC drain repair	\$	46.98
MENARDS - BLAINE	PW: Lift Station 32; Retrofit AC	\$	563.44
METRO BLOOMS DESIGN + BUILD LLC	Wetland bank signage design	\$	550.00
MGT OF AMERICA CONSULTING	Recruitment Services for Admin Director	\$	5,646.90
MINNESOTA EQUIPMENT - HAM LAKE	Filters/Water drain; 1277	\$	193.40
MINNESOTA EQUIPMENT - HAM LAKE	Fender for 2425	\$	95.89
MINNESOTA RECREATION AND PARK	2024 MRPA State Conference registration	\$	1,520.00
MINUTE MAKER SECRETARIAL	Council Minutes	\$	654.25
MINUTE MAKER SECRETARIAL	Planning Commission Minutes	\$	167.00

MN GIS/LIS CONSORTIUM	MN GIS/LIS Annual Conference	\$	575.00
MN GIS/LIS CONSORTIUM	MN GIS/LIS Annual Conference	\$	625.00
MN GIS/LIS CONSORTIUM	MN GIS/LIS Annual Conference	\$	575.00
MOBILE PRO SYSTEMS	Repair Parts for Camera Trailer	\$	297.53
MTI DISTRIBUTING INC	Mower Blades - Stock/Mirrors - 2411	\$	1,507.74
MTI DISTRIBUTING INC	Mower Blades - Stock/Mirrors - 2411	\$	100.84
NORTHERN SANITARY SUPPLY CO INC	CH, towels, tissue, cleaner	\$	445.23
NORTHERN SANITARY SUPPLY CO INC	CH liners	\$	235.71
NUSS TRUCK & EQUIPMENT	Cabin Filters; PW Stock	\$	105.85
OPTUM FINANCIAL INC	HSA quarterly account fees	\$	676.00
O'REILLY AUTOMOTIVE INC	Filters; PW Stock	\$	15.00
PRICE CUSTOM HOMES	Escrow Refund - 13123 Coral Sea St NE	\$	7,400.00
PRICE CUSTOM HOMES	Escrow Refund - 12792 Dunkirk St NE	\$	7,400.00
RAMSEY COMPANIES	Demo Refund - 2151 Pennsylvania Ave NE	\$	2,000.00
RCM SPECIALTIES INC	Street Patching Material	\$	600.27
RDO EQUIPMENT COMPANY	Fuel Delivery Pressure Code Repair; 1277	\$	773.65
REPUBLIC SERVICES #894	Shredding for Recycling Saturday Events	\$	899.32
RP AUTO SERVICE INC	A/C Repair: 5320	\$	1,014.22
SBM FIRE DEPARTMENT	Fire Protection Services	\$	207,566.00
SHORT ELLIOTT HENDRICKSON INC	National St Water Service Improvements	\$	131.15
SHORT ELLIOTT HENDRICKSON INC	Water Storage Tank Rehab	\$	1,262.57
SHORT ELLIOTT HENDRICKSON INC	NW Area Street Reconstruction	\$	2,939.17
STORLIE & ASSOCIATES	PC20-23/SP20-10, Service Plus Transport	\$	15,837.20
STRYKER SALES LLC	Replacement AED Pads	\$	452.40
SUBURBAN TIRE WHOLESALE INC	Tires for Mower 2411	\$	511.16
SUNDGAARD JOSHUA	Meal expense-Investigations travel	\$	93.13
SUNDGAARD JOSHUA	Meal expense-Investigations travel	\$	78.95
SYSCO MINNESOTA	items for pork chop dinner	\$	48.51
TURFWERKS	Repair Parts #2356; Elbow	\$	68.09
TWIN CITIES TRANSPORT & RECOVERY INC	Tow Bills for Investigations	\$	250.00
TWIN CITIES TRANSPORT & RECOVERY INC	Tow for Squad 5330	\$	125.00
ULINE	Water cooler	\$	478.01
UNITED PROPERTIES DEVELOPMENT LLC	SP15-09, Blaine Preserve 2nd	\$	5,000.00
UNITED PROPERTIES DEVELOPMENT LLC	SP17-02, Blaine Preserve 4th	\$	20,000.00
USA BLUEBOOK (#657220)	Hydrant Meter w/Backflow Preventer	\$	6,438.50
VERTEX UNMANNED SOLUTIONS LLC	6- replacement batteries for UAS	\$	1,974.00
WALD JODI	Park/Rec Refund	\$	135.00
WARGO NATURE CENTER	Stand up paddle board class	\$	200.00
WARNER JEFFREY	employment release	\$	100.00
WATER CONSERVATION SERVICES INC	Water Main Leak Detection	\$	347.03
XCEL ENERGY	Electric Service	\$	221.80
ZAYO GROUP LLC	Telephone Service	\$	3,325.95
ZIEGLER INC	WTP 1 Generator Repair	\$	1,994.35
		\$	1,385,267.48

CITY OF BLAINE

**SUBSET OF PAYMENTS BETWEEN \$20,000 AND \$50,000 FROM THE SCHEDULE OF BILLS PAID
APPROVED ON 8/19/2024 FOR PAYMENTS THE WEEK OF 8/2/2024**

Vendor Name	Description	Amount
UNITED PROPERTIES DEVELOPMENT LLC	SP17-02, Blaine Preserve 4th	\$ 20,000.00
CROWN ENTERPRISES INC	SP16-03, Crown Enterprises	\$ 25,000.00
CARGILL JAMES R	SP20-11, 1650 93rd Lane	\$ 26,141.00
CRYSTEEL TRUCK EQUIPMENT	F350 Build-up: Water #4629	\$ 27,466.00

PAYROLL CHECKS & WIRE TRANSFERS

MONTH: JULY 2024

PAYROLL CHECKS

<u>DATE</u>	<u>VENDOR</u>	<u>DESCRIPTION</u>	<u>AMOUNT</u>
07/03/24	VENDOR CHECKS	CHECK # 79846-79850	\$5,319.92
07/03/24	EMPLOYEES	DIRECT DEPOSITS	\$682,685.47
07/18/24	VENDOR CHECKS	CHECK # 79851-79859	\$11,826.82
07/18/24	EMPLOYEES	DIRECT DEPOSITS	\$655,338.25

WIRE TRANSFERS

<u>DATE</u>	<u>VENDOR</u>	<u>DESCRIPTION</u>	<u>AMOUNT</u>
07/03/24	STATE OF MINNESOTA	PAYROLL TAXES	\$45,153.37
07/03/24	I.R.S.	PAYROLL TAXES	\$207,394.55
07/03/24	P.E.R.A.		\$189,422.73
07/03/24	21ST CENTURY	DEFERRED COMP & H.S.A	\$98,835.89
07/10/24	21ST CENTURY	CREDIT CARDS	\$42,293.41
07/19/24	STATE OF MINNESOTA	JUNE SALES TAX	\$43,539.00
07/18/24	STATE OF MINNESOTA	PAYROLL TAXES	\$43,469.57
07/18/24	I.R.S.	PAYROLL TAXES	\$199,504.25
07/18/24	P.E.R.A.		\$186,374.73
07/18/24	21ST CENTURY	DEFERRED COMP & H.S.A	\$66,970.05

TOTAL \$2,478,128.01



City of Blaine

City Council Workshop

August 5, 2024 | 5:15 PM
Blaine City Hall
10801 Town Square Drive NE
Blaine, MN 55449

MINUTES

NOTICE OF WORKSHOP MEETING

In accordance with the provisions of Section 3.01 of the Blaine City Charter, a Council Workshop meeting is scheduled for the following purpose:

1. Call to Order

The meeting was called to order by Mayor Sanders at 5:15PM.

2. Roll Call

PRESENT: Mayor Tim Sanders, Councilmembers Leslie Larson, Chris Massoglia, Tom Newland, Jess Robertson, and Lori Saroya.

ABSENT: Councilmember Terra Fleming.

Quorum Present.

ALSO PRESENT: City Manager Michelle Wolfe; Community Development Director Erik Thorvig; City Planner Sheila Sellman; Safety Services Director/Police Chief Brian Podany; Finance Director Jason Zimmerman; Director of Engineering Dan Schluender; City Attorneys Tom Loonan and Kevin Sandstrom; Director of Administrative Services Scott Johnson; Public Works Director Nick Fleishhacker; and City Clerk Catherine Sorensen.

3. New Business

- 3.1.** 2024-347 Northtown Mall Update
Sponsors: Michelle Wolfe, City Manager

Felix Reznick, Northtown Mall representative, provided the council with an update regarding Northtown and the food court. He commented on the concerns he had with the previous lease with WPG. He explained Cloud Kitchens was in breach of its lease and charges were being pursued. He indicated his fear was that he would lose current restaurant/food tenants. He expressed frustration with the fact the county attorney was not pursuing this matter further against Cloud Kitchens. He asked for help from the city council to ensure the county attorney and state of Minnesota was pursuing this matter.

Councilmember Saroya thanked Mr. Reznick for this information then asked what he was seeking from council. Mr. Reznick explained he wanted Cloud Kitchens to be pursued for the crime and

injury that has been caused by their perjury.

Mayor Sanders thanked Mr. Reznick for his presentation and encouraged him to continue to be in communication with the city council and city staff. He stated he appreciated Mr. Reznick's efforts to

- 3.2.** 2024-339 Closed Session Pursuant to MN Statute 13D.05, subd. 3(b) - Attorney Client Privileged Discussion Regarding Litigation Status, Strategy and Legal Advice with the City's Litigation Counsel on the Matter of *Blaine v. Irene Tamblyn*, Anoka County Court File No. 02-CV-22-0930
Sponsors: Michelle Wolfe, City Manager

After a motion and second the council met in closed session to discuss litigation status and strategy on the matter of *Blaine v. Irene Tamblyn*.

City Attorney Loonan read a statement after the council returned from meeting in closed session noting the council discussed acting and pending litigation strategies regarding the *Blaine versus Irene Tamblyn* matter.

- 3.3.** 2024-338 Closed Session Pursuant to Minnesota Statute 13D.05(2)(a)(2) - Active Fraud Investigation Update
Sponsors: Michelle Wolfe, City Manager

The council met in closed session to receive an update on an active fraud investigation. Upon conclusion, the council returned to open session.

City Attorney Loonan read a statement after the council returned from meeting in closed session noting the council received an active fraud investigation update. He reported no action was taken at this meeting regarding this matter.

- 3.4.** 2024-331 National Sports Center Super Rink Improvements Part 2
Sponsors: Jason Zimmerman, Finance Director, Erik Thorvig, Community Development Director

Finance Director Zimmerman stated on July 1, 2024 city staff [provided an overview](#) of proposed improvements the Minnesota Amateur Sports Commission (MASC) included in their 2023 legislative session capital budget request, which was earmarked for the National Sports Center (NSC) Campus, specifically focused on the Super Rink. Unfortunately, while committee hearings were promising, the legislative session ended without the passage of any capital budget requests. Despite the failure to secure funding, MASC and the NSC have indicated their desire and commitment to address the backlog of deferred maintenance. As part of the overall financing model, regardless of the state's willingness to contribute, and consistent with the construction of rinks 1-4 in 1998 and rinks 5-8 in 2006, the NSC is seeking financial participation from hockey organizations to guarantee the ability to purchase prime ice time in the form of a one-time payment. The ice rights guarantee would be 20 years, starting January 1, 2024, and ending December 31, 2044. While the ice time would need to be paid for annually, this structure has provided the NSC and priority organizations with the necessary long-term commitment needed to operate. Staff commented further on the improvements that were needed for the Super Rink and stated representatives from the local youth hockey associations were in attendance and had a presentation for the council.

John Pitzl, Spring Lake Park Youth Hockey, requested the council consider making a contribution to the Spring Lake Park Youth Hockey, noting this funding (\$600,000) would assist with keeping future ice fees consistent for youth players for the next 20 years. He noted 77% of the Spring Lake Park Youth Hockey players were from Blaine. He stated hockey was an expensive sport and ice time was currently \$250 per hour. He discussed how the hockey association was working to raise funds through charitable gambling, but noted much of these proceeds go to low income families.

Jeff Meister, Blaine Youth Hockey, explained he was also requesting \$600,000 from the city for Blaine Youth Hockey. He discussed how hockey benefited the youth in the community and builds character. He discussed how the contribution from the city could be made in several payments to the youth hockey association and would not have to be made in one payment.

Mayor Sanders thanked Mr. Pitzl and Mr. Meister for their presentation.

Councilmember Larson asked if charitable gambling funds could be used to assist with payments in the future. Mr. Pitzl stated this may be the case, but noted the hockey association was just getting into charitable gambling and the organization could not sign a 30 year lease based on the proceeds the association may or may not receive. Mr. Meister discussed how a raise in hockey prices would be a big hit for families and noted the association does not want to drive families away from the sport. He stated this was the main reason the associations were seeking assistance.

Councilmember Newland questioned what the ask was for ice time for the next 20 years. Mr. Pitzl stated the ask would be for 1,800 hours of prime ice time from 3:00PM to 10:00PM Monday through Friday and 7:00AM to 10:00PM Saturdays and Sundays, September through March.

Councilmember Newland stated it would be more palatable to make payments over 20 years than for the city to be required to make a large payment up front.

Councilmember Robertson explained she understood the rising costs for youth sports. She reported she appreciated how the organization was utilizing charitable gambling proceeds to assist families in the community. She indicated her only apprehension was with the timing of the request. She stated she would need more time to dialogue how to fund this request, given the fact it was now up to \$1.2 million and the city council was already undergoing budget discussions. She expressed frustration with the fact the city gets repeatedly asked by the NSC for assistance even though this was a state run facility.

Councilmember Massoglia asked if conduit financing were issued through a \$1.2 bond, how would the payback work. Mr. Zimmerman explained the bonds could be issued by the city and the repayment schedule would have to be assumed by the NSC. He indicated the city would have no responsibility for the bond repayment.

Councilmember Massoglia stated he could support the city issuing conduit debt for this project.

Councilmember Larson indicated she was a proponent for youth sports. She appreciated how Blaine Youth Hockey Sports worked to support the kids in the community. She explained she supported the city council further discussing how to fund this request, but understood the budget was already tight.

Councilmember Saroya questioned why the request for \$1.2 million for the ice rinks was not included in the \$12 million request from the NSC for turf fields. Mr. Zimmerman explained staff was not aware of the hockey request when the turf fields were financed. Mr. Thorvig reported these were two separate projects that required separate funding.

Council consensus was to continue to explore opportunities to assist the youth hockey associations.

4. Other Business

None.

5. Adjournment

The workshop was adjourned at 6:59PM.



City of Blaine City Council

August 5, 2024 | 7:00 PM
Blaine City Hall
10801 Town Square Drive NE
Blaine, MN 55449

MINUTES

1. Call to Order by the Mayor

The meeting was called to order at 7:00PM by Mayor Sanders followed by the Pledge of Allegiance and the Roll Call.

2. Pledge of Allegiance

3. Roll Call

PRESENT: Mayor Tim Sanders, Councilmembers Terra Fleming, Leslie Larson, Chris Massoglia, Tom Newland, Jess Robertson, and Lori Saroya.

ABSENT: None.

Quorum Present.

ALSO PRESENT: City Manager Michelle Wolfe; Community Development Director Erik Thorvig; City Planner Sheila Sellman; Safety Services Director/Police Chief Brian Podany; Finance Director Jason Zimmerman; Director of Engineering Dan Schluender; City Attorney Tom Loonan; Director of Administrative Services Scott Johnson; Public Works Director Nick Fleishhacker; and City Clerk Catherine Sorensen.

4. Awards - Presentations - Organizational Business

None.

5. Communications

Mayor Sanders explained the city was recently awarded the 2024 Sons of Norway Founder's Award in recognition of the strategic partnership the city has with the USA Cup.

Chief Podany encouraged all residents to consider attending a neighborhood party for Night to Unite, which would be held on Tuesday, August 6.

6. Open Forum

Open Forum is an opportunity for the public to present an issue or concern to City Council. There is a maximum of fifteen minutes set aside for open forum. Each presentation should be limited to no more than three minutes. If your item needs follow-up from the City, staff will arrange for that follow-up and will contact you to let you know what is being done. Thank you for coming this evening.

Mayor Sanders opened the Open Forum at 7:09PM.

Dr. Jerome Day, 9701 Xebec Street NE, explained he has a medical practice that he operates out of his home in Blaine. He explained he was bringing fraud allegations against the state. He shared further concerns about his appeal of determination against the Minnesota Board of Medical Practice and provided the council with a handout. He hoped to work with the Blaine Police Department to stop the crime that was being committed by the state.

Bertrand Kuver, Otsego, discussed an upcoming National Veterans Soccer Tournament and Cultural Event that would showcase Cameroon Africa and would be held at the National Sports Center from August 29 through September 2. He stated this event would bring 5,000 to 6,000 people to Blaine. He invited the city council to attend this special event and asked that the city council approve the permits for this event.

There being no further input, Mayor Sanders closed the Open Forum at 7:16PM.

7. Adoption of Agenda

The agenda was adopted as presented.

8. Approval of Consent Agenda:

All items listed under the "Consent Agenda" are considered to be routine by the City Council and will be enacted by one motion. There will be no separate discussion of these items unless a Councilmember or citizen so requests, in which event the item will be removed from the Consent Agenda and considered in its normal sequence on the agenda.

Moved by Councilmember Newland, seconded by Councilmember Robertson, that the following items on the Consent Agenda be approved.

Councilmember Newland said he would be abstaining from approval of Item 8.2 due to a potential conflict of interest.

Motion adopted 6-0-1 (Councilmember Newland abstained).

8.1. 2024-313 Approval of Minutes
Sponsors: Cathy Sorensen, City Clerk

8.2. 2024-335 Schedule of Bills Paid
Sponsors: Jason Zimmerman, Finance Director

8.3. 2024-321 Consider a Special Event to Allow for Live Music at the National Veterans Soccer Tournament Located at the National Sports Center August 29 through September 2, 2024
Sponsors: Cathy Sorensen, City Clerk

8.4. 2024-327 Approve Temporary Liquor License for the National Veterans Soccer Tournament
Sponsors: Cathy Sorensen, City Clerk

- 8.5.** 2024-332 Approve a Temporary On-Sale Intoxicating Liquor License for St. Timothy's Annual Carnival, 707 89th Avenue NE
Sponsors: Cathy Sorensen, City Clerk
- 8.6.** RES 24-150 Resolution Granting Final Plat Approval to Subdivide 4.84 Acres into 11 Single Family Lots and One Common Lot for Wetlands and Storm Ponding to be Known as Boulder Villas at 9240 W 35W Service Drive NE. Boulder Contracting (Case File No. 24-0049/SLK)
Sponsors: Sheila Sellman, City Planner
- 8.7.** RES 24-161 Resolution Authorizing Interfund Transfers and Associated Budget Amendments related to the Purchase of a New Printer/Copier to be Located Within the Finance Department
Sponsors: Jason Zimmerman, Finance Director
- 8.8.** 2024-312 Motion to Approve Contract Amendment with Bolton & Menk, Inc. for Professional Services for Engineering Design Services for Lift Station 13 Force Main - Phase 2, Improvement Project No. 23-30
Sponsors: Nick Fleischhacker, Public Works Director
- 8.9.** RES 24-156 Resolution to Declare Cost to be Assessed, Order Preparation and Call for Hearing on Proposed Assessment for 2023 Southeast Area Street Reconstructions, Improvement Project No. 23-08.
Sponsors: Daniel Schluender, Director of Engineering
- 8.10.** 2024-330 Motion to Approve a Contract With Electric Pump for Lift Station #24 Rehabilitation
Sponsors: Nick Fleischhacker, Public Works Director

9. 7:00 PM - Public Hearing and Items Published for a Certain Time

- 9.1.** RES 24-133 Resolution Granting a Conditional Use Permit to Allow Truck Sales in the Heavy Industrial (I-2A) Zoning District at 10070 Davenport Street NE. JD Trailers Properties LLC (Capacity Spotter Trucks) (Case File No. 24-0045/SLK)
Sponsors: Sheila Sellman, City Planner

City Planner Sellman stated the applicant is requesting a Conditional Use Permit (CUP) to allow truck sales at their existing truck repair business. Staff commented further on the request and reported the planning commission recommended approval.

Mayor Sanders opened the public hearing at 7:19PM.

There being no public input, Mayor Sanders closed the public hearing at 7:19PM.

Moved by Councilmember Newland, seconded by Councilmember Robertson, to adopt a Resolution Granting a Conditional Use Permit to Allow Truck Sales in the Heavy Industrial (I-2A) Zoning District at 10070 Davenport Street NE.

Motion adopted unanimously.

- 9.2.** RES 24-145 Conduct Public Hearing and Adopt a Resolution to vacate Drainage and Utility Easements, Along With Restricted Access Lying Over, Under and Across Part of Lot 2, Block 1, Aspen Ridge Second Addition; According to the Recorded Plat Thereof, Anoka County, Minnesota; Vacation No. V24-03
Sponsors: Daniel Schluender, Director of Engineering

Director of Engineering Schluender stated the city received a petition dated June 25, 2024 from Brian Johnson representing Boulder Contracting, LLC requesting the vacation of the Drainage and Utility Easements, along with restricted access lying over, under and across part of Lot 2, Block 1, Aspen Ridge Second Addition; according to the recorded plat thereof, Anoka County, Minnesota. Staff commented further on the request and recommended approval.

Mayor Sanders opened the public hearing at 7:21PM.

There being no additional public input, Mayor Sanders closed the public hearing at 7:21PM.

Moved by Councilmember Newland, seconded by Councilmember Robertson, to adopt a Resolution to vacate Drainage and Utility Easements, Along With Restricted Access Lying Over, Under and Across Part of Lot 2, Block 1, Aspen Ridge Second Addition; According to the Recorded Plat Thereof, Anoka County, Minnesota; Vacation No. V24-03.

Motion adopted unanimously.

10. Development Business

- 10.1.** RES 24-129 Resolution Granting a Conditional Use Permit to Allow a Total of 2,008 Square Feet of Accessory Building Space in the Farm Residential (FR) Zoning District at 11704 Meadow Lane NE. Marla Figueroa (Case File No. 24-0039/SLK)
Sponsors: Sheila Sellman, City Planner

Ms. Sellman stated the applicant is requesting a Conditional Use Permit (CUP) to construct a 1,360 square foot garage addition to an existing 528 square foot attached garage for personal storage. The lot also has an existing 120 square foot shed and the parcel will have a total of 2,008 square feet of accessory building space. Staff commented further on the request and reported the planning commission recommended approval.

Moved by Councilmember Massoglia, seconded by Councilmember Robertson, to adopt a Resolution Granting a Conditional Use Permit to Allow a Total of 2,008 Square Feet of Accessory Building Space in the Farm Residential (FR) Zoning District at 11704 Meadow Lane NE.

Motion adopted unanimously.

- 10.2. RES 24-146** Resolution Granting a Conditional Use Permit to Construct a 1,280 Square Foot Detached Accessory Structure in a Corner Side Yard in the Farm Residential (FR) Zoning District at 3850 128th Avenue NE. Dan Breske. (Case File No. 24-0035/ACK)
Sponsors: Sheila Sellman, City Planner

Ms. Sellman stated the applicant is requesting a Conditional Use Permit (CUP) to construct a 1,280 square-foot detached accessory building for personal storage in the corner side yard. Staff commented further on the request and reported the planning commission recommended approval with conditions.

Moved by Councilmember Massoglia, seconded by Councilmember Robertson, to adopt a Resolution Granting a Conditional Use Permit to Construct a 1,280 Square Foot Detached Accessory Structure in a Corner Side Yard in the Farm Residential (FR) Zoning District at 3850 128th Avenue NE.

Motion adopted unanimously.

- 10.3. RES 24-147** Resolution Granting a Conditional Use Permit to Allow for Freestanding Lighting up to 100 Feet in the Regional Recreation (RR) Zoning District at 1700 105th Avenue NE. National Sports Center (Case File No. 24-0038/EES)
Sponsors: Sheila Sellman, City Planner

Ms. Sellman stated the National Sports Center is requesting a Conditional Use Permit (CUP) for lighting up to 100 feet tall. The light intensity meets city requirements for both residential property lines and roadway edges. Staff commented further on the request and recommended approval.

Moved by Councilmember Robertson, seconded by Councilmember Newland, to adopt a Resolution Granting a Conditional Use Permit to Allow for Freestanding Lighting up to 100 Feet in the Regional Recreation (RR) Zoning District at 1700 105th Avenue NE.

Councilmember Larson stated her children love to play under the lights and she was pleased to see the NSC was adding lights to the turf fields.

Motion adopted unanimously.

11. Administration

- 11.1. RES 24-144** Resolution Approving Building Inspections Service Contract with Rum River Inspections
Sponsors: Erik Thorvig, Community Development Director

Community Development Director Thorvig stated the Building Inspections Department is responsible for completing the plan review and completing inspections for all activity within the city that requires a building permit. The department consists of the chief building official, three commercial inspectors, a plumbing inspector, five residential inspectors and five permit technicians. According to Keystone Reports, the City of Blaine currently ranks sixth for suburbs in new home construction to date in 2024 (149 permits issued). Blaine has historically been in the top 10 for new residential permits for suburban communities for the last 20 years. In 2023, the

total residential and commercial value for permits issued was \$294,441,138. This was the fourth-highest amount dating back to 2007. In 2022, Blaine experienced the highest overall value ever, exceeding \$300,000,000. In 2023, there were 4,692 permits issued by the department and over 20,000 inspections completed. This data shows the high level of construction activity the building inspections department manages.

Mr. Thorvig reported with residential activity expected to continue at consistent levels and current and anticipated demand in commercial construction in 2024 and beyond, the department analyzed the needs to ensure high levels of customer service can be accomplished. Timely plan review and inspections are critical for residents, business owners, contractors and home builders. The department experienced the retirement of a residential inspector on August 1, 2024. Instead of hiring another residential inspector, the plan is to replace this position with a commercial inspector given the current and anticipated commercial construction demand. This will leave the residential inspections side of the department with one less inspector. A residential building inspector has been requested in the 2025 budget.

Mr. Thorvig explained in 2022, the City of Blaine utilized Rum River Inspection Services to assist the department with inspections. This service worked well and therefore, staff have researched hiring a building inspection consulting firm to assist with residential inspections for the remainder of 2024. Quotes were requested from various companies for a full-time inspector during the months of August, September and October and half-time in November and December. Seven companies were contacted. However, given the specialized nature of this service, only one company responded, Rum River Inspection Services.

The rates proposed are \$95/hour. This equates to:

August 6 - November 1: 504 hours @ \$95/hour = \$47,880

November 4 - December 23: 132 hours @ \$95/hour = \$12,540

TOTAL: \$60,420

Mr. Thorvig indicated the department has had a vacancy for the budgeted plumbing inspector position since January 1, 2024. This position is anticipated to be filled in September. The vacancy savings from January 1, 2024 to August 1, 2024 is \$70,784. Therefore, there are sufficient funds available in the building inspections budget to pay for the inspection services.

Moved by Councilmember Robertson, seconded by Councilmember Newland, to adopt a Resolution Approving Building Inspections Service Contract with Rum River Inspections.

Motion adopted unanimously.

- 11.2. RES 24-151** Resolution Accepting a Bid from Veit & Company, Inc. in the Amount of \$126,610.00 for the 2024 Storm Sewer Lining Project, Project No. 24-51
Sponsors: Daniel Schluender, Director of Engineering

Mr. Schluender requested the council accept a bid and approve a contract with Veit & Company, Inc. for the 2024 Storm Sewer Lining Project, Project No. 24-51. This project was approved in the 2023 Budget. The project consists of the rehabilitation of existing storm sewer pipelines by the installation of a 'cured in-place pipe' (CIPP) lining for various storm pipes throughout the City. Bids were received electronically at 10:00 AM, July 23, 2024, for Project No. 24-51. A total of two bids were received, ranging from \$126,610.00 to \$187,613.04. Bids have been checked and tabulated, and it has been determined that Veit & Company, Inc. of Rogers, Minnesota is the lowest bidder. The Engineering Department has worked with Veit & Company, Inc. on previous contracts and recommends that the low bid be accepted, and a contract entered into with Veit & Company, Inc. City Council is also asked to approve a 10% contingency to bring the total project budget to \$139,271.00. The funding source for this project is the Storm Water

Capital Fund and there are sufficient funds budgeted to cover these costs.

Moved by Councilmember Newland, seconded by Councilmember Larson, to adopt a Resolution Accepting a Bid from Veit & Company, Inc. in the Amount of \$126,610.00 for the 2024 Storm Sewer Lining Project, Project No. 24-51.

Motion adopted unanimously.

- 11.3. RES 24-159** Resolution Authorizing an Interfund Loan Utilizing the Strategic Priorities and Closed Bond Funds to Support the Acquisition of Property Located at 2043 105th Avenue
Sponsors: Jason Zimmerman, Finance Director, Erik Thorvig, Community Development Director

Mr. Thorvig requested the council consider approving an interfund loan utilizing the Strategic Priorities and Closed Bond Funds to support the purchase agreement for 2043 105th Avenue. In connection with the proposed purchase agreement for the property located at 2043 105th Avenue, internal funding should be identified, as well as the terms and conditions of the interfund loan. While the intent is for the City to reimburse itself from the sale of Tax Increment Financing (TIF) Bonds, should the Council support the establishment of a TIF district and associated agreements, the Strategic Priorities and Closed Bond Funds have been identified by staff to serve as an interim financing mechanism. Staff commented further on the proposed purchase price and rental income the city would be receiving from existing tenants until the building is demolished.

Finance Director Zimmerman explained city staff, along with representatives from Baker Tilley and Eckberg Lammers, have been in discussions with the 105th Avenue development team regarding the permanent financing to facilitate eligible TIF costs, subject to the proposed TIF district's fiscal capacity. While several documents, including a minimum assessment agreement, TIF Plan, and formal creation of the new district need to occur before bonds can be sold, current estimates indicate all actionable items coming before the Council for approval in approximately the next 90 days to allow for bond proceeds to be receipted before 2024 year-end. Staff commented further on the proposed purchase and recommended authorization of the interfund loan utilizing the strategic priorities and closed bond funds.

Moved by Councilmember Robertson, seconded by Councilmember Newland, to adopt a Resolution Authorizing an Interfund Loan Utilizing the Strategic Priorities and Closed Bond Funds to Support the Acquisition of Property Located at 2043 105th Avenue.

Councilmember Massoglia stated if this property was purchased by the city instead of the EDA, would the developer then be purchasing the property from the city in the future. Mr. Thorvig explained if the city or EDA sells TIF bonds the revenues could be used to pay back this loan, as could future land sale proceeds.

Councilmember Saroya asked who would be owning the property. Mr. Thorvig explained the city of Blaine would be the owner of the property.

Councilmember Saroya questioned if the property would then be sold to the developer. Mr. Thorvig indicated the majority of the land in the redevelopment area was owned by the EDA and if this purchase goes through it would be owned by the city. He discussed how the master development agreement would address land transactions in the future and the goal would be to sell the land to the master developer.

Councilmember Saroya commented on the purchase price and inquired what the value of this property would be worth once the redevelopment was completed. Mr. Thorvig explained the ideal scenario would be to work with the remaining four tenants to locate them elsewhere in Blaine. He reported the city was getting an appraisal on this property to better understand the value of the property for when it is sold to the developer, which will be based on a commercial vacant land square footage.

Councilmember Saroya asked if this property value will go up once the development was completed. Mr. Thorvig indicated without having the appraisal, he could not make a determination on the commercial land value for this specific piece of property.

Councilmember Saroya inquired if the existing tenants could be incorporated into the 105th Area Redevelopment project. She questioned if the tenants felt like they were being forced out.

Councilmember Massoglia called for a point of order. He reported the building owner was willing to sell the building to the city and he did not understand how the tenants in the building related to this item. He requested this item move along.

Mayor Sanders recommended the questions be pointed towards the agenda item at hand.

City Attorney Loonan advised this negotiation has been going on for quite some time. He reported each of the tenants have voluntarily not renewed their lease and were on a month to month lease, which was a much more flexible model and meant the tenants were ready to move on. He reviewed of the remaining tenants, some have already vacated the building and the others were looking to relocate.

Councilmember Saroya asked how many years it would take to reimburse the city for the bonds. Mr. Thorvig explained the city would issue TIF bonds before the end of 2024 and those proceeds would be used to reimburse the purchase price for this property. Mr. Zimmerman commented further on how the city would be the issuer of the bonds for the TIF district, noting this would streamline the process.

Motion adopted 6-1 (Councilmember Saroya opposed).

11.4. RES 24-138 Resolution Authorizing a Purchase Agreement for 2043 105th Avenue NE.
Sponsors: Erik Thorvig, Community Development Director

Mr. Thorvig stated the city of Blaine has identified the 105th Redevelopment Area as a priority redevelopment area in the 2030 and 2040 comprehensive plans. The comprehensive plan states that the "EDA/City should continue to explore land assembly options with willing sellers as they come up". The EDA/City has been active in acquiring property within the 105th Redevelopment District since 2016. A master developer was selected for the project in 2022 and significant work has occurred over the last 18 months to advance the redevelopment project. Property acquisition has continued to occur after the master developer was selected to secure property to complete the overall redevelopment project. The EDA has been the purchaser of other properties within the redevelopment area. However, due to the funding source for the purchase, the City will act as the buyer.

Mr. Thorvig reported city staff have been in communication with the property owner of 2043 105th Avenue NE for several years attempting to negotiate a purchase price. Several closed sessions have been held to discuss acquisition strategy. At a closed session on August 17, 2023, direction was provided by the City Council regarding a purchase price. Over the last year, the City Attorney has been working directly with the property owner and their attorney to finalize a

purchase price, agreement and closing date for the property. A purchase agreement has been agreed upon by both parties.

Mr. Thorvig explained the purchase price is \$3,988,200, which is consistent with the direction given by the City Council at the August 17, 2023, workshop. This equates to \$171/sf based on building square footage. This is consistent with other recent purchases in the 105th Avenue Redevelopment area. Closing will occur in August. There are four existing tenants within the building. The original leases have expired, and all tenants are on month-to-month leases and will be assumed by the City after purchase. The tenants are aware of the purchase and the City's plan for the property. Demolition of buildings within the redevelopment area is planned in 2024/2025. The City will work with existing tenants on relocation to another space prior to demolition.

Mr. Loonan clarified for the record the city of Blaine would be purchasing this property and not the EDA.

Moved by Councilmember Massoglia, seconded by Councilmember Robertson, to adopt a Resolution Authorizing a Purchase Agreement for 2043 105th Avenue NE.

Motion adopted 6-1 (Councilmember Saroya opposed).

12. Other Business

None.

13. Adjournment

Moved by Councilmember Newland, seconded by Councilmember Massoglia, to adjourn the meeting at 7:54PM.

Motion adopted unanimously.



City of Blaine Staff Report

File Number: RES 24-152

Agenda Date	Status
August 19, 2024	
In Control	File Type
City Council	Resolution

Approval of Consent Agenda: - Daniel Schluender, Director of Engineering

Agenda Item # 8.3

Resolution to Declare Costs to be Assessed, Order Preparation and Call for Public Hearing on Proposed Assessment for the 2023 Northwest Area Street Reconstruction, Improvement Project No. 23-06

Executive Summary

Improvement Project No. 23-06 was ordered by the City Council on January 4, 2023 with Resolution 23-04. A construction contract was awarded to Douglas-Kerr Underground, LLC by the City Council on April 17, 2023 with Resolution No. R-62-2023 and construction was completed in the spring of 2024.

Background

Improvement Project No. 23-06 included the following project areas:

Project Area 1

- 127th Avenue from cul-de-sac to Polk Street
- 127th Lane from Monroe Street to Polk Street
- 128th Avenue from Taylor Street to Polk Street
- 129th Lane from 175' west of Tyler Street to Polk Street
- Tyler Street from 127th Lane to 129th Lane
- Polk Street from 126th Avenue to cul-de-sac

Project Area 2

- 131st Avenue (E) from Van Buren Street to Taylor Street

Project Area 3

- 131st Avenue (W) from Jefferson Street to Van Buren Street

The total cost of the project is as follows:

Construction Costs	\$2,967,069.53
Engineering Costs	\$631,262.94
Interest	\$44,586.28
Administration, Assessing, Other	\$189,195.40
Total:	\$3,832,114.15

The total project cost indicated in the Feasibility Report was \$4,666,580. The Assessment Roll has been prepared consistent with the Feasibility Report. Of the total cost, the amount to be assessed is \$656,288.21. The Public Utility Funds will contribute \$324,884.41 for water and sanitary sewer improvements, and Pavement Management Program funds will contribute \$2,850,941.53. Please note that the final costs came in under the estimated costs in the feasibility report and will be reflective in the final assessment amounts.

Strategic Plan Relationship

The 2023 Northwest Area Street project aligns with the City's strategic plan goal of well-maintained infrastructure by providing high-quality street surfaces.

Board/Commission Review

Not required.

Financial Impact

Assessments will be levied over 15 years for Project Area 1 and Project Area 2, and 5 years for Project Area 3. Assessments will be used to fund repayment of any debt issued for the project. That portion of the debt not funded via special assessments will be funded through an annual debt service tax levy. The amount to be assessed is \$656,288.21.

Public Outreach/Input

The project itself and the assessment process has complied with all public notification requirements pursuant to MN Statutes, Chapter 429.

Staff Recommendation

By motion, adopt the resolution.

Attachment List

1. 23-06 Location Map
2. 23-06 Proposed Final Assessment Roll



City of Blaine

Signature Copy

Resolution: RES 24-152

Resolution to Declare Costs to be Assessed, Order Preparation and Call for Public Hearing on Proposed Assessment for the 2023 Northwest Area Street Reconstruction, Improvement Project No. 23-06

WHEREAS, a contract was entered into for replacement of the existing street section, additional storm sewer, replacement of select water main valves and sanitary and storm sewer manhole castings and rings, traffic control signage, and appurtenant construction in the following described areas:

Project Area 1

- 127th Avenue from cul-de-sac to Polk Street
- 127th Lane from Monroe Street to Polk Street
- 128th Avenue from Taylor Street to Polk Street
- 129th Lane from 175' west of Tyler Street to Polk Street
- Tyler Street from 127th Lane to 129th Lane
- Polk Street from 126th Avenue to cul-de-sac

Project Area 2

- 131st Avenue (E) from Van Buren Street to Taylor Street

Project Area 3

- 131st Avenue (W) from Jefferson Street to Van Buren Street

AND WHEREAS, the construction cost for such improvement is \$2,967,069.53, and the expenses incurred in the making of said improvements amounts to be \$865,044.62 making the total cost \$3,832,114.15.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Blaine as follows:

1. The total cost of such improvements is hereby declared to be \$3,832,114.15.
2. The amount to be assessed is hereby declared to be \$656,288.21. The Public Utility Funds will contribute \$324,884.41 for water and sanitary sewer improvements, and Pavement Management Program Funds will contribute \$2,850,941.53.
3. Assessments shall be payable in annual installments extending over a period of fifteen (15) years for

Project Area 1 and Project Area 2, and five (5) years for Project Area 3. The first of the installments to be payable on or before the first Monday in January 2025, and shall bear interest at the rate of 5.5% per annum from the date of the adoption of the assessment resolution.

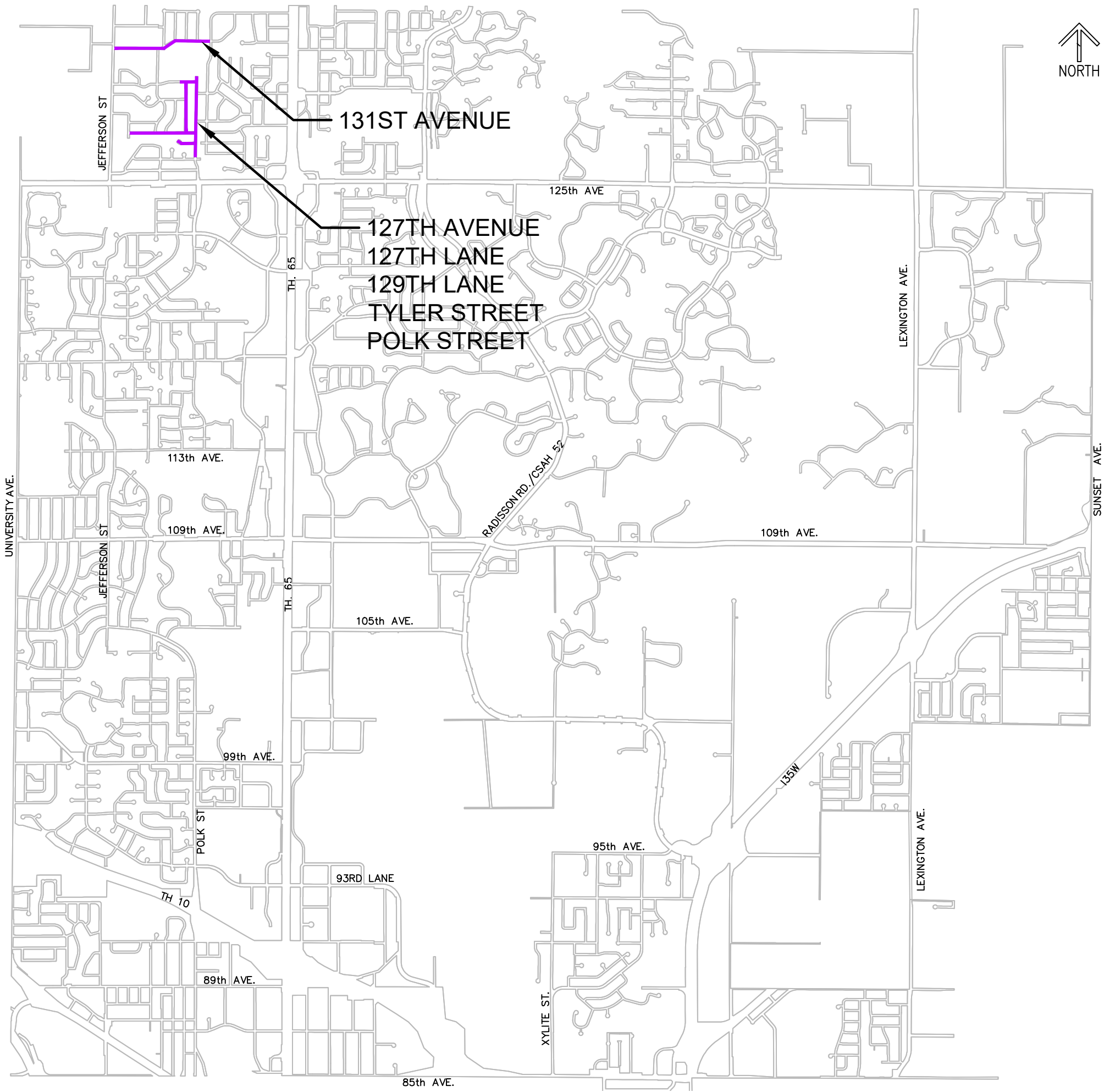
4. The City Clerk, with the assistance of the City Engineer, shall forthwith calculate the proper amount to be specially assessed for such improvement against every assessable lot, piece, or parcel of land within the district affected without regard to cash valuation, as provided by law, and she shall file a copy of such proposed assessment in her office for public inspection.

5. The City Clerk has notified the City Council that such proposed assessment has been completed and filed in her office for public inspection.

6. A hearing shall be held on the 16th day of September 2024, in the Council Chambers at the Blaine City Hall at 7:00PM, or as near that time as possible, to pass upon the proposed assessment at such time and place all persons owning property affected by such improvement will be given an opportunity to be heard with reference to such assessment.

7. The City Clerk shall give published and mailed notice of such hearing as required by law.

PASSED by the City Council of the City of Blaine this 19th day of August, 2024.



2023 NORTHWEST AREA STREET RECONSTRUCTIONS

CITY OF BLAINE
PAVEMENT MANAGEMENT PROGRAM



ENGINEERING DEPARTMENT
10801 Town Square Drive, Blaine, Minnesota 55449
Phone (763) 785-6172

PROJECT 23-06
2023 STREET RECONSTRUCTIONS
PROJECT AREA 1 (127TH LANE/POLK STREET AREA)
CITY OF BLAINE
EXHIBIT NO. 1 - SINGLE FAMILY RESIDENTIAL
PROPOSED FINAL ASSESSMENT ROLL

ASSESSMENT RATE BREAKDOWN				
CONSTRUCTION COSTS*	\$1,581,962	*(CONSTRUCTION COSTS DO NOT INCLUDE WATER MAIN, SANITARY SEWER, INFILTRATION CELLS, DRIVEWAY REPLACEMENT, SIDEWALK, AND LANDSCAPING/IRRIGATION COSTS)		
ADMINISTRATIVE COSTS	\$458,201			
TOTAL COST	\$2,040,162			
	RESIDENTIAL RATE	x 35%	TOTAL FRONT FOOTAGE	RESIDENTIAL ASSESSMENT RATE PER FRONT FOOT
ASSESSABLE COST	\$714,057	÷	13425.9 LF	= \$53.18

RESIDENTIAL PROPERTY

ASSESSMENT RATE		ASSESSABLE SINGLE FAMILY RESIDENTIAL FOOTAGE		AMOUNT ASSESSED		ASSESSABLE RESIDENTIAL LOT UNITS		ASSESSMENT RATE PER RESIDENTIAL LOT UNIT
\$53.18	X	10773.3 LF	=	\$572,921.97	÷	127	=	\$4,511.20

SPECIAL ID	PROPERTY PIN	PROPERTY ADDRESS	PROPERTY OWNER	ASSESSABLE RESIDENTIAL LOT UNITS	ASSESSMENT RATE PER RESIDENTIAL LOT UNIT	PROPOSED ASSESSMENT
26	63123140010	909 129TH LN NE	KLOSSNER ERNEST O & J A	1	\$4,511.20	\$4,511.20
27	63123140011	917 129TH LN NE	KAMPPF, KELLI M	1	\$4,511.20	\$4,511.20
28	63123140012	925 129TH LN NE	CREIGHTON LAURA ANNE	1	\$4,511.20	\$4,511.20
29	63123140013	933 129TH LN NE	NELSON TRUSTEE, MARGIE F	1	\$4,511.20	\$4,511.20
30	63123140014	941 129TH LN NE	NELSON JAMES R & DOREEN M	1	\$4,511.20	\$4,511.20
31	63123140005	12933 POLK ST NE	SCHMAUS LUANN M	1	\$4,511.20	\$4,511.20
32	63123140006	12925 POLK ST NE	LOO, LAURA MARY	1	\$4,511.20	\$4,511.20
33	63123140007	12917 POLK ST NE	OPATRNY ANTHONY M	1	\$4,511.20	\$4,511.20
34	63123140008	12909 POLK ST NE	HOKANSON TRUSTEE, LUCINDA L	1	\$4,511.20	\$4,511.20
35	63123140009	12901 POLK ST NE	WILLIAMS PETER D & LINDA E	1	\$4,511.20	\$4,511.20
36	63123410001	12865 POLK ST NE	BAIRES MANUEL DE JESUS	1	\$4,511.20	\$4,511.20
37	63123410002	12857 POLK ST NE	BAUER II DUANE	1	\$4,511.20	\$4,511.20
38	63123410003	12849 POLK ST NE	ANDERSON KYLE	1	\$4,511.20	\$4,511.20
39	63123410004	12841 POLK ST NE	HARRIS MICHELLE R	1	\$4,511.20	\$4,511.20
40	63123410005	12833 POLK ST NE	VANG RICHARD S	1	\$4,511.20	\$4,511.20
41	63123410006	12825 POLK ST NE	MELIN MICHAEL C & DENISE J	1	\$4,511.20	\$4,511.20
42	63123410007	12817 POLK ST NE	LUCAS, TIFFANY A	1	\$4,511.20	\$4,511.20
43	63123410008	12809 POLK ST NE	HENDRICKS DOUGLAS J & S K	1	\$4,511.20	\$4,511.20
44	63123410009	12801 POLK ST NE	DEGAYNER, MICHAEL	1	\$4,511.20	\$4,511.20
45	63123410010	12781 POLK ST NE	MOLINE JOHN G & LAURA J	1	\$4,511.20	\$4,511.20
46	63123410011	12773 POLK ST NE	FEDORS, JOSEPH M	1	\$4,511.20	\$4,511.20
47	63123410012	12765 POLK ST NE	GOOD, BEATRICE	1	\$4,511.20	\$4,511.20
48	63123410013	12757 POLK ST NE	SVENNINGSEN MICHAEL W & L M	1	\$4,511.20	\$4,511.20
49	63123410014	12749 POLK ST NE	MISKO ALEX JR & MARY J	1	\$4,511.20	\$4,511.20
50	63123440045	12711 POLK ST NE	HUGHES, WILLIAM R	1	\$4,511.20	\$4,511.20
51	63123440046	12701 POLK ST NE	BRAUN, ANDREW	1	\$4,511.20	\$4,511.20
52	63123440047	12641 POLK ST NE	BERGLUND, MARIE	1	\$4,511.20	\$4,511.20
53	63123440048	12631 POLK ST NE	SMITH CORY J & STACEY	1	\$4,511.20	\$4,511.20
54	63123440049	12621 POLK ST NE	SAENZ MAGGIE	1	\$4,511.20	\$4,511.20
55	63123440050	12611 POLK ST NE	CARLSON, THOMAS	1	\$4,511.20	\$4,511.20
56	63123440051	12601 POLK ST NE	DELICH, CATHERINE	1	\$4,511.20	\$4,511.20
57	63123440035	12600 POLK ST NE	FRENCH MADONNA R & JAMES E	1	\$4,511.20	\$4,511.20
58	63123440036	12610 POLK ST NE	WOETZEL CURTIS & KELLY	1	\$4,511.20	\$4,511.20
59	63123440037	960 127TH AVE NE	WANDMACHER, LEAH M	1	\$4,511.20	\$4,511.20

60	63123440038	940 127TH AVE NE	MARTY RONALD J & SHARON M	1	\$4,511.20	\$4,511.20
61	63123440039	891 127TH AVE NE	PEREZ RALPH E & JOANNE A	1	\$4,511.20	\$4,511.20
62	63123440040	901 127TH AVE NE	FLORENTINE PAUL & CHERYL	1	\$4,511.20	\$4,511.20
63	63123440041	911 127TH AVE NE	FERDERBER, KENNETH P	1	\$4,511.20	\$4,511.20
64	63123440042	921 127TH AVE NE	GOODE MATTHEW	1	\$4,511.20	\$4,511.20
65	63123440043	931 127TH AVE NE	WILSON JOHN P & JENNIFER S	1	\$4,511.20	\$4,511.20
66	63123440044	961 127TH AVE NE	TAYE, COMFORT D	1	\$4,511.20	\$4,511.20
67	63123410122	940 127TH LN NE	NORDSTROM, SARA E	1	\$4,511.20	\$4,511.20
68	63123410121	932 127TH LN NE	NYBERG DAWN M	1	\$4,511.20	\$4,511.20
69	63123410120	924 127TH LN NE	DAHLER DARWIN L & JO ANN T	1	\$4,511.20	\$4,511.20
70	63123410119	916 127TH LN NE	AKAKPO, KODJO E	1	\$4,511.20	\$4,511.20
71	63123410118	908 127TH LN NE	GORDON DONALD D & LINDA M	1	\$4,511.20	\$4,511.20
72	63123410117	900 127TH LN NE	JOHNSON THOMAS N & PAULETTE	1	\$4,511.20	\$4,511.20
73	63123410116	856 127TH LN NE	EISCHENS PAUL A & LISA C	1	\$4,511.20	\$4,511.20
74	63123410115	848 127TH LN NE	PARMER, LISA MARIE	1	\$4,511.20	\$4,511.20
75	63123410114	840 127TH LN NE	MCINTYRE, WENDY JEAN	1	\$4,511.20	\$4,511.20
76	63123410113	832 127TH LN NE	BALICAO FRANCISCO P & U M	1	\$4,511.20	\$4,511.20
77	63123410112	824 127TH LN NE	WASTE CATHIE J	1	\$4,511.20	\$4,511.20
78	63123410111	816 127TH LN NE	DIAZ ALANNA M	1	\$4,511.20	\$4,511.20
79	63123410110	808 127TH LN NE	GUNDERSON, ARLENE D	1	\$4,511.20	\$4,511.20
80	63123410109	800 127TH LN NE	MCKNIGHT DAJON	1	\$4,511.20	\$4,511.20
81	63123420063	754 127TH LN NE	SINGER CHRISTOPHER	1	\$4,511.20	\$4,511.20
82	63123420062	748 127TH LN NE	BRODT, ROBERT K	1	\$4,511.20	\$4,511.20
83	63123420061	740 127TH LN NE	NELSON, COLE	1	\$4,511.20	\$4,511.20
84	63123420060	732 127TH LN NE	MCDEVITT, AMY M	1	\$4,511.20	\$4,511.20
85	63123420059	724 127TH LN NE	SMITH, PAUL M	1	\$4,511.20	\$4,511.20
86	63123420058	716 127TH LN NE	POFERL DAVID N & MERRY J	1	\$4,511.20	\$4,511.20
87	63123420057	700 127TH LN NE	LORD BRUCE A & DEBRA S	1	\$4,511.20	\$4,511.20
88	63123420056	648 127TH LN NE	HELD GARY & PATRICIA M	1	\$4,511.20	\$4,511.20
89	63123420055	640 127TH LN NE	TOVSEN RICHARD & FLOYD CRYSTAL	1	\$4,511.20	\$4,511.20
90	63123420054	641 127TH LN NE	LUX, MONICA J	1	\$4,511.20	\$4,511.20
91	63123420053	649 127TH LN NE	SWANICK, JENNIFER	1	\$4,511.20	\$4,511.20
92	63123420052	657 127TH LN NE	MORIN-WILLIAMS JULIE	1	\$4,511.20	\$4,511.20
93	63123420051	701 127TH LN NE	YANG, MAI LOR	1	\$4,511.20	\$4,511.20
94	63123420050	709 127TH LN NE	PALMQUIST NANCY	1	\$4,511.20	\$4,511.20
95	63123420049	717 127TH LN NE	CHESNER, BERNICE S	1	\$4,511.20	\$4,511.20
96	63123420048	725 127TH LN NE	SCHMITZ STEVEN E & KATHLEEN	1	\$4,511.20	\$4,511.20
97	63123420047	731 127TH LN NE	STERNER, BRIAN M	1	\$4,511.20	\$4,511.20
98	63123420046	739 127TH LN NE	KARNER, DEBRA R	1	\$4,511.20	\$4,511.20
99	63123410068	825 127TH LN NE	BODE DAVID L	1	\$4,511.20	\$4,511.20
100	63123410067	833 127TH LN NE	ELHADARY, HANAA	1	\$4,511.20	\$4,511.20
101	63123410066	841 127TH LN NE	BEDNAR RUSSELL A & KATHLEEN R	1	\$4,511.20	\$4,511.20
102	63123410065	12760 TYLER ST NE	HELM, LINDA MICHELLE	1	\$4,511.20	\$4,511.20
103	63123410064	12768 TYLER ST NE	MALONE THOMAS J & LAURIE C	1	\$4,511.20	\$4,511.20
104	63123410063	12776 TYLER ST NE	ASHER, JEREMY	1	\$4,511.20	\$4,511.20
105	63123410062	12784 TYLER ST NE	AKEHURST, MARY MARTHA ALLIE	1	\$4,511.20	\$4,511.20
106	63123410061	12802 TYLER ST NE	MESCHLER GREGG E	1	\$4,511.20	\$4,511.20
107	63123410060	12810 TYLER ST NE	LONE CRAIG A & LINDA S	1	\$4,511.20	\$4,511.20
108	63123410059	12818 TYLER ST NE	ORCUTT, PAUL	1	\$4,511.20	\$4,511.20
109	63123410058	12826 TYLER ST NE	FARAJ, WEESAM	1	\$4,511.20	\$4,511.20
110	63123410057	12834 TYLER ST NE	KUNTZ JOHN D & DENISE J	1	\$4,511.20	\$4,511.20
111	63123410056	12842 TYLER ST NE	OAKVIK MICHAEL R	1	\$4,511.20	\$4,511.20
112	63123410055	12850 TYLER ST NE	TRYMUCHA-DURESKY, KIRBY	1	\$4,511.20	\$4,511.20
113	63123140018	12912 TYLER ST NE	JIRAK RIANE	1	\$4,511.20	\$4,511.20
114	63123140017	12918 TYLER ST NE	GORDON, MARC	1	\$4,511.20	\$4,511.20
115	63123140016	12926 TYLER ST NE	PANKRATZ, LAURA KAY	1	\$4,511.20	\$4,511.20
116	63123140015	12934 TYLER ST NE	BROWNING WILLIAM J & CARA C	1	\$4,511.20	\$4,511.20
117	63123140026	12931 TYLER ST NE	THOMPSON PATRICK J & LOIS M	1	\$4,511.20	\$4,511.20
118	63123140025	12925 TYLER ST NE	MORGEL HOLLY	1	\$4,511.20	\$4,511.20
119	63123140024	12919 TYLER ST NE	NASH, WILLIAM	1	\$4,511.20	\$4,511.20
120	63123140023	12913 TYLER ST NE	BERGSTROM KATHLEEN ANN	1	\$4,511.20	\$4,511.20
121	63123410108	12907 TYLER ST NE	EDLUND, PAUL H	1	\$4,511.20	\$4,511.20
122	63123410107	12901 TYLER ST NE	ONSTAD RANDY	1	\$4,511.20	\$4,511.20

123	63123410106	12857 TYLER ST NE	BRUNKOW KIRSTEN	1	\$4,511.20	\$4,511.20
124	63123410105	12849 TYLER ST NE	NURANI, SHABNIZ J	1	\$4,511.20	\$4,511.20
125	63123410104	12841 TYLER ST NE	GRAUSAM, LUKE	1	\$4,511.20	\$4,511.20
126	63123410103	12833 TYLER ST NE	MOONEY, JOHN	1	\$4,511.20	\$4,511.20
127	63123410102	12825 TYLER ST NE	BIZAL PAMELA R	1	\$4,511.20	\$4,511.20
128	63123410101	12817 TYLER ST NE	MOSS, JAROD	1	\$4,511.20	\$4,511.20
129	63123410100	12809 TYLER ST NE	GEVING, THOMAS MARVIN	1	\$4,511.20	\$4,511.20
130	63123410099	12801 TYLER ST NE	BROWN TERRY D & SYBILLA A	1	\$4,511.20	\$4,511.20
131	63123410098	12785 TYLER ST NE	ERKENS MELVIN H & MARY JANE	1	\$4,511.20	\$4,511.20
132	63123410097	12777 TYLER ST NE	STICKLER MICHAEL R & BETH E	1	\$4,511.20	\$4,511.20
133	63123410096	12769 TYLER ST NE	RRN LLC	1	\$4,511.20	\$4,511.20
134	63123410095	12761 TYLER ST NE	STORLIEN, JADY L	1	\$4,511.20	\$4,511.20
135	63123410094	12762 POLK ST NE	JORGENSEN, TOMIANNE THERESA	1	\$4,511.20	\$4,511.20
136	63123410093	12770 POLK ST NE	WAGNER, KARLA J	1	\$4,511.20	\$4,511.20
137	63123410092	12778 POLK ST NE	MEYERS MARK A & KAREN A	1	\$4,511.20	\$4,511.20
138	63123410091	12786 POLK ST NE	DAHL, SHANNON G	1	\$4,511.20	\$4,511.20
139	63123410090	12800 POLK ST NE	VANG, KIAPAO	1	\$4,511.20	\$4,511.20
140	63123410089	12808 POLK ST NE	CORDOVA, LEWIS O	1	\$4,511.20	\$4,511.20
141	63123410088	12816 POLK ST NE	VARNER VICKI M	1	\$4,511.20	\$4,511.20
142	63123410087	12824 POLK ST NE	ROTH, BARB E	1	\$4,511.20	\$4,511.20
143	63123410086	12832 POLK ST NE	JUSTUS, SCOTT B	1	\$4,511.20	\$4,511.20
144	63123410085	12840 POLK ST NE	TYKOONA WOLF PROPERTIES LLC	1	\$4,511.20	\$4,511.20
145	63123410084	12848 POLK ST NE	HUTTON, PAULA JAMINSKI	1	\$4,511.20	\$4,511.20
146	63123410083	12854 POLK ST NE	CHANDLER, CHERYL LEAH	1	\$4,511.20	\$4,511.20
147	63123410082	12862 POLK ST NE	ILACQUA, LARRY	1	\$4,511.20	\$4,511.20
148	63123410081	12870 POLK ST NE	PORTER THOMAS L & KAREN L	1	\$4,511.20	\$4,511.20
149	63123140022	12900 POLK ST NE	THAO CHEE & LEE PHENG	1	\$4,511.20	\$4,511.20
150	63123140021	12908 POLK ST NE	HIRSCHUBER, JOSHUA MATTHEW	1	\$4,511.20	\$4,511.20
151	63123140020	12916 POLK ST NE	PETERSON, NATALIE B	1	\$4,511.20	\$4,511.20
152	63123140019	12924 POLK ST NE	KRONER GREGORY G & D A	1	\$4,511.20	\$4,511.20

PROJECT 23-06
2023 STREET RECONSTRUCTIONS
PROJECT AREA 2 (131ST AVENUE - URBAN)
CITY OF BLAINE
EXHIBIT NO. 2 - SINGLE FAMILY RESIDENTIAL
PROPOSED FINAL ASSESSMENT ROLL

ASSESSMENT RATE BREAKDOWN				
CONSTRUCTION COSTS*	\$385,443	*(CONSTRUCTION COSTS DO NOT INCLUDE WATER MAIN, SANITARY SEWER, INFILTRATION CELLS, DRIVEWAY REPLACEMENT, SIDEWALK, AND LANDSCAPING/IRRIGATION COSTS)		
ADMINISTRATIVE COSTS	\$111,640			
TOTAL COST	\$497,083			
	RESIDENTIAL RATE	x 35%	TOTAL FRONT FOOTAGE	RESIDENTIAL ASSESSMENT RATE PER FRONT FOOT
ASSESSABLE COST	\$173,979	÷	6006.2 LF	= \$28.97

RESIDENTIAL PROPERTY

ASSESSMENT RATE		ASSESSABLE SINGLE FAMILY RESIDENTIAL FOOTAGE		AMOUNT ASSESSED		ASSESSABLE RESIDENTIAL LOT UNITS		ASSESSMENT RATE PER RESIDENTIAL LOT UNIT
\$28.97	X	1765.4 LF	=	\$51,143.64	÷	15	=	\$3,409.58

SPECIAL ID	PROPERTY PIN	PROPERTY ADDRESS	PROPERTY OWNER	ASSESSABLE RESIDENTIAL LOT UNITS	ASSESSMENT RATE PER RESIDENTIAL LOT UNIT	PROPOSED ASSESSMENT
5	63123110001	13100 JACKSON ST NE	ENRIQUEZ ANDERSON, AMANDA	1	\$3,409.58	\$3,409.58
6	63123110094	815 131ST AVE NE	SHRAKE J MARTIN & LAURA J	1	\$3,409.58	\$3,409.58
12	63123140034	802 131ST AVE NE	STONTZ, JOSEPH BENJAMIN	1	\$3,409.58	\$3,409.58
13	63123110095	806 131ST AVE NE	SALLEY KYLE PATRICK	1	\$3,409.58	\$3,409.58
14	63123110096	812 131ST AVE NE	SAKARIASON GALE R & L J	1	\$3,409.58	\$3,409.58
15	63123110097	818 131ST AVE NE	BRUNSELL DENNIS D & GAIL M	1	\$3,409.58	\$3,409.58
16	63123110098	824 131ST AVE NE	CICH, TIFFANY K	1	\$3,409.58	\$3,409.58
17	63123110099	830 131ST AVE NE	WICKEN JANE M	1	\$3,409.58	\$3,409.58
18	63123110100	900 131ST AVE NE	ASPLUND, ANNAMARIE E	1	\$3,409.58	\$3,409.58
19	63123110101	906 131ST AVE NE	MAYES, WILLIAM J	1	\$3,409.58	\$3,409.58
20	63123110102	912 131ST AVE NE	GROTE ROBERT S & KAY E	1	\$3,409.58	\$3,409.58
21	63123110103	918 131ST AVE NE	LEE XE V & TOU PHENG	1	\$3,409.58	\$3,409.58
22	63123110104	924 131ST AVE NE	STAVISH WILLIAM J & JEAN A	1	\$3,409.58	\$3,409.58
23	63123110105	930 131ST AVE NE	RAZOR ISABELLA MARIE	1	\$3,409.58	\$3,409.58
24	63123110106	936 131ST AVE NE	ENGEBRETSON, JANET E	1	\$3,409.58	\$3,409.58

PROJECT 23-06
2023 STREET RECONSTRUCTIONS
PROJECT AREA 2 (131ST AVENUE - URBAN)
CITY OF BLAINE
EXHIBIT NO. 3 - SINGLE FAMILY RESIDENTIAL PER FRONT FOOT
PROPOSED FINAL ASSESSMENT ROLL

ASSESSMENT RATE BREAKDOWN				
CONSTRUCTION COSTS*	\$385,443	*(CONSTRUCTION COSTS DO NOT INCLUDE WATER MAIN, SANITARY SEWER, INFILTRATION CELLS, DRIVEWAY REPLACEMENT, SIDEWALK, AND LANDSCAPING/IRRIGATION COSTS)		
ADMINISTRATIVE COSTS	\$111,640			
TOTAL COST	\$497,083			
	CHURCH RATE	x 35%	TOTAL FRONT FOOTAGE	RESIDENTIAL ASSESSMENT RATE PER FRONT FOOT
ASSESSABLE COST	\$173,979	÷	6006.2 LF	= \$28.97

RESIDENTIAL PROPERTY

ASSESSMENT RATE		ASSESSABLE SINGLE FAMILY RESIDENTIAL FOOTAGE		AMOUNT ASSESSED		RESIDENTIAL LOT FRONT FOOTAGE		RESIDENTIAL LOT FRONT FOOT
\$28.97	X	632.9 LF	=	\$18,335.11	÷	632.9	=	\$28.97

SPECIAL ID	PROPERTY PIN	PROPERTY ADDRESS	PROPERTY OWNER	ASSESSABLE RESIDENTIAL FRONT FOOTAGE	ASSESSMENT RATE PER RESIDENTIAL FRONT FOOT	PROPOSED ASSESSMENT
25	63123140002	804 131ST AVE NE	WAY OF THE CROSS CHURCH	632.9	\$28.97	\$18,335.11

PROJECT 23-06
2023 STREET RECONSTRUCTIONS
PROJECT AREA 3 (131ST AVENUE - RURAL)
CITY OF BLAINE
EXHIBIT NO. 4 - SINGLE FAMILY RESIDENTIAL - FLAT RATE
PROPOSED FINAL ASSESSMENT ROLL

ASSESSMENT RATE BREAKDOWN						
ASSESSMENT RATE PER RESIDENTIAL LOT FOR BITUMINOUS REPLACEMENT = \$1,543.00						

SPECIAL ID	PROPERTY PIN	PROPERTY ADDRESS	PROPERTY OWNER	ASSESSABLE RESIDENTIAL LOT UNITS	ASSESSMENT RATE PER RESIDENTIAL LOT UNIT	PROPOSED ASSESSMENT
1	63123120013	647 131ST AVE NE	WILSON SHIRLEY J	1	\$1,543.00	\$1,543.00
2	63123120014	713 131ST AVE NE	LANGE CORY J	1	\$1,543.00	\$1,543.00
3	63123120015	729 131ST AVE NE	SWANSON DONALD M & DIANE M	1	\$1,543.00	\$1,543.00
4	63123120012	757 131ST AVE NE	SCHMITZ, DANIEL P	1	\$1,543.00	\$1,543.00
7	63123130005	684 131ST AVE NE	GORTON DEAN R & TRUDI C	1	\$1,543.00	\$1,543.00
8	63123130101	708 131ST AVE NE	GORMAN THOMAS P & MARY	1	\$1,543.00	\$1,543.00
9	63123130003	724 131ST AVE NE	FOWLER, KAREN MARIE	1	\$1,543.00	\$1,543.00
10	63123130002	740 131ST AVE NE	TATGE, JOSHUA E	1	\$1,543.00	\$1,543.00
11	63123130023	756 131ST AVE NE	WONDERS, VIOLETTA T	1	\$1,543.00	\$1,543.00
TOTAL				9		\$13,887.00



City of Blaine

Staff Report

File Number: RES 24-163

Agenda Date	Status
August 19, 2024	
In Control	File Type
City Council	Resolution

Approval of Consent Agenda: - Erik Thorvig, Community Development Director

Agenda Item # 8.4

Resolution Granting Final Plat Approval to Create One Lot and Three Outlots to be Known as One Hundred Fifth Redevelopment. EB Blaine Development LLC (Case File No. 24-0052/SAS)

Executive Summary

The applicant is requesting final plat approval to create one lot and three outlots. Development is not proposed at this time and each building will be required to be on a platted lot. This final plat is for roadways and utilities.

Background

Planning Commission Public Hearing	07/09/24
City Council (Preliminary Plat)	07/15/24
City Council (Final Plat)	08/19/24
Action Deadline	10/06/24

Staff report prepared by Sheila Sellman, City Planner, and Teresa Barnes, Project Engineer

The final plat is consistent with the approved preliminary plat, Resolution No. 24-140.

Zoning

The subject site is zoned 105th Avenue Redevelopment District.

Land Use Designation

The subject site is guided Planned Commercial.

Surrounding Zoning and Uses

Properties to the east are zoned Heavy Industrial (I-2) and are developed with various industrial uses. A portion of the properties to the east are zoned 105th Avenue Redevelopment District (RD) and are

anticipated to be part of redevelopment project. Properties to the west are zoned Regional Recreation (RR) and are developed with parking lots or soccer fields. The north side abuts 109th Avenue and the south side abuts 105th Avenue.

Existing Conditions

The subject site is open space with ponding or parking.

History

The 105th Avenue/Radisson Road industrial area was and has been identified in the 2030 and 2040 Comprehensive Plans as a priority redevelopment area. It has also been identified as one of the four priority areas by the City Council through the visioning process that occurred in early 2021, and in the “Growth Management” portion of the City’s 2020-2023 strategic plan. This project is also identified in the City’s 2023-2026 Plan in the Economic Development priority. Based on direction from the City Council, the City embarked on a visioning/design process for this area to assist in future marketing and development efforts.

In 2022, the City created a new zoning district and rezoned this area to 105th Avenue Redevelopment District, amending the land use to Planned Commercial (PC) and select parcels to High Density Residential (HDR). Changes to zoning and land use incorporated portions of the Minnesota Amateur Sports Commission (MASC)/National Sports Center (NSC) property that were identified in the visioning process.

In 2023, a master developer was selected for the 105h Redevelopment Area. In 2023, the City, MASC and developer entered into various agreements that allow for private development to occur on the east portion of the NSC campus. Based on the revised master plan, a larger portion of MASC property will be incorporated into the redevelopment project than was originally anticipated when zoning and land use changes were approved in 2022.

In June, portions of the site were rezoned to the 105th Avenue Redevelopment District and reguided to Planned Commercial as additional land was added into the master plan. In July a master plan was approved and a preliminary plat was approved. The preliminary plat was approved for 9 lots and 6 outlots. The applicant is final platting in phases.

Evaluation of Request

Plat

The proposed plat is for one lot and three outlots. The breakdown is as follows:

- Lot 1, Block 1 is for the existing soccer fields and is 34.72 acres.
- Outlot A will be platted into future lots and is 8.42 acres.
- Outlot B will be platted into future lots and is 25 acres.
- Outlot C is for utilities and roadways and is 7.10 acres.

The 105th Avenue Redevelopment District does not have minimum lot size requirements and allows for zero lot lines. Because the land is owned by the Minnesota Amateur Sports Commission (MASC) and is part of a lease, right-of-way can't be dedicated and therefore will be an easement over the outlot. All lots that do not access a public street are anticipated to have access easements and shall be recorded

with the final plat.

Setbacks

A consistent street edge must be maintained at the right-of-way line along all street frontages. Street edge elements may consist of the principal building, landscaping, outdoor seating, or a combination of these elements. Exceptions may include: property adjacent to a water feature, surface parking or other instances the City Council deems appropriate.

Landscaping

No development is being proposed with the plat, landscaping will be reviewed with development.

Park Dedication

Park dedication is not collected on outlot or on property that is zoned Regional Recreation (RR).

Grading/Storm Drainage

No development is being proposed with the plat. Grading and storm water drainage will be reviewed with development.

Utilities

No development is being proposed with the plat. Utilities will be reviewed with development.

The developer shall be required to pay the deferred connection charges with platting.

- Parcel 21-32-23-23-0003 has two deferred charges for water services at \$54,244.04, and storm drainage \$23,296.77.
- Parcel 21-31-23-22-0005 has a deferred charge for water services at \$57,812.72.

The developer will be responsible to extend the required sanitary sewer, water main, and storm sewer to adequately serve the development. The extension of utilities, sizing, looping, and location will need to follow city standards and specifications.

Wetlands/Watershed

No development is being proposed with the plat. A Coon Creek Watershed District (CCWD) permit will be required to be received by the City prior to development.

Access/Street Design/Sidewalks

While no development is being proposed, the plat shows 6.72 acres for proposed street locations.

The developer is responsible for extending the appropriate network of streets into the site for any future development that will serve both future development and the existing recreational activities of the National Sports Center to the west and south, and access to the existing businesses/properties to the north and within the plat. These streets will need to meet the city standards and typical sections that will allow for parking on none, one, or both sides of the street. A geotechnical report is required that will recommend the different typical street sections based on the existing soils.

The master plan indicates that there are several connections proposed to existing county roads,

specifically Radisson Road (CSAH 52) and 109th Avenue (CSAH 12). The developer will be responsible for constructing any required improvements that the county outlines in their review of the development along with any mitigation measures listed in the AUAR. The master plan also indicates that there are several new street connections with 105th Avenue. The plan will need to identify how these will interact with the existing recreational activities to the south.

Sidewalks and trails are required to be constructed on at least one side of all streets. The goal will be to create a network that ties into the existing walks/trails and the locations will be determined in the plan review process. Sidewalks and trails are required to be constructed in accordance with current city standards. A geotechnical report is required that will recommend the different typical walk/trail sections based on the existing soils.

As part of the street design, the future development will be required to provide streetlights installed in the manner, location and type prescribed by the City Engineer. The developer shall pay the costs of all the street lighting installations. Any lighting above the typical street lighting will be the responsibility of the developer to install and maintain.

Easements/Right-of-way/Permits

The developer will need to obtain all required permits to construct any infrastructure. A copy of all permits will need to be submitted to the City prior to any site work.

Standard drainage and utility easements shall be dedicated along all lot lines and over areas of delineated wetlands, wetland mitigation, infiltration trenches, drainage swales, and storm water management features.

The developer will need to dedicate the appropriate right-of-way for any proposed public street and easements or outlots that contain any private streets or private alleys.

Strategic Plan Relationship

Successful redevelopment of priority projects is identified as a desired outcome in the Strategic Priority of Economic Development.

Board/Commission Review

The Planning Commission voted unanimously to approve the preliminary plat. The Planning Commission does not review final plats.

Financial Impact

Not applicable.

Public Outreach/Input

Notifications are not required for final plats.

Staff Recommendation

By motion, adopt the resolution.

Attachment List

1. Zoning and Location Map
2. Final Plat



City of Blaine

Signature Copy

Resolution: RES 24-163

Resolution Granting Final Plat Approval to Create One Lot and Three Outlots to be Known as One Hundred Fifth Redevelopment. EB Blaine Development LLC (Case File No. 24-0052/SAS)

WHEREAS, an application has been filed by EB Blaine Development LLC, as Case File No. 24-0052 for a final plat known as One Hundred Fifth Redevelopment; and

WHEREAS, said case involves the division of land in Anoka County, Minnesota, described as follows:

The West Half of the Northwest Quarter, Section 21, Township 31, Range 23, except the North 467.86 of the East 215 feet thereof, Anoka County, Minnesota.

WHEREAS, the Blaine City Council granted preliminary plat approval on July 15, 2024, subject to the conditions as contained in Blaine City Council Resolution No. 24-140; and

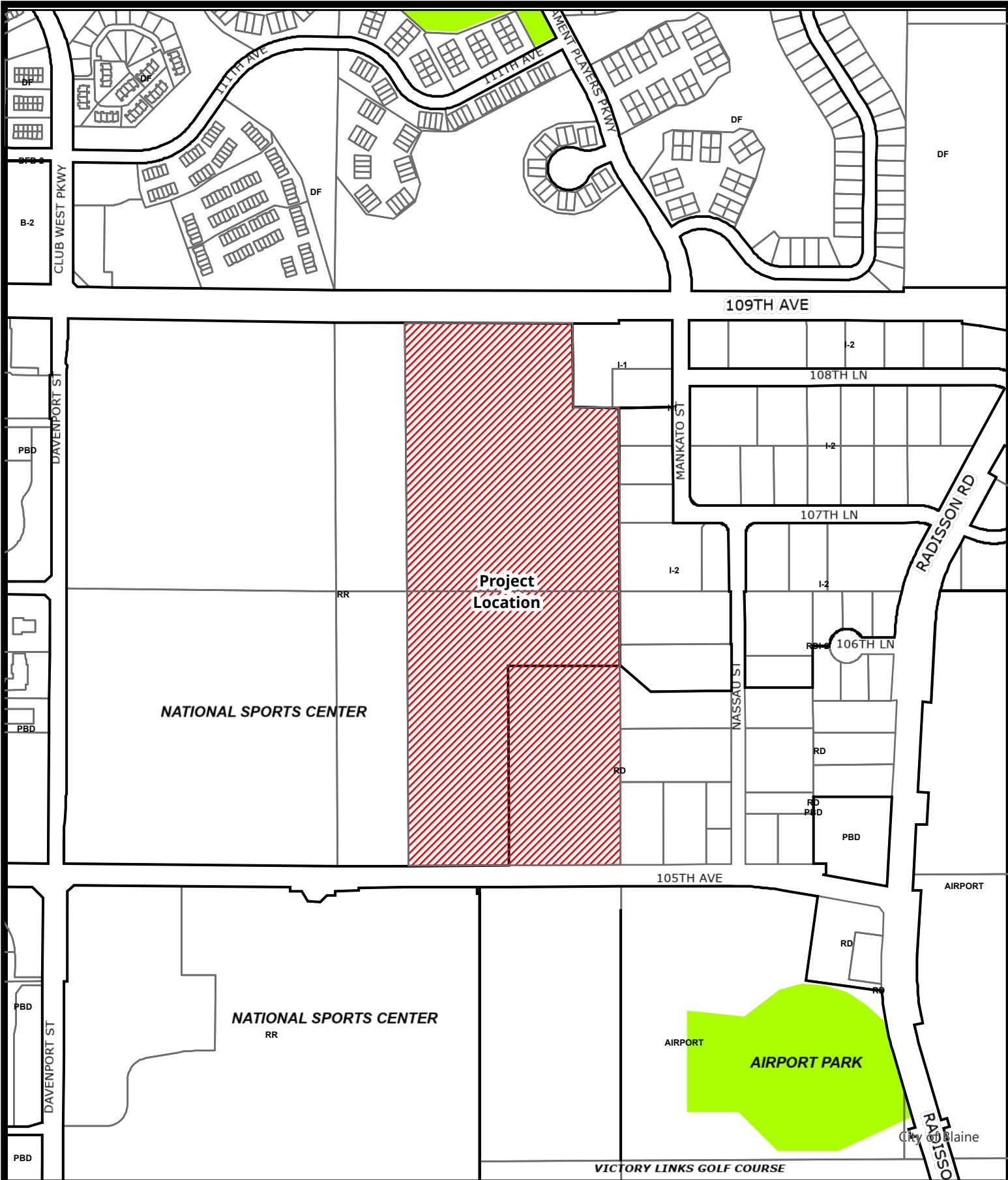
WHEREAS, the final plat is in general conformance with the approved preliminary plat.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Blaine that final plat approval for One Hundred Fifth Redevelopment per Section 75-33 of the subdivision regulations is hereby granted subject to the listed conditions.

NOW, THEREFORE, BE IT FURTHER RESOLVED The Mayor, City Clerk and City Manager are hereby authorized to execute any and all necessary documents, agreement and releases related to the approval, recording or administration of One Hundred Fifth Redevelopment.

1. The applicant is responsible for recording the plat mylars with Anoka County. Proof of recording must be provided to the City prior to issuance of a building permit.
2. The applicant is responsible for recording the access easements and any shared parking agreements with Anoka County.
3. The developer shall be required to pay the deferred connection charges upon platting. Parcel 21-32-23-23-0003 has two deferred charges for water service at \$54,244.04, and storm drainage \$23,296.77. Parcel 21-31-23-22-0005 has a deferred charge for water services at \$57,812.72.

PASSED by the City Council of the City of Blaine this 19th day of August, 2024.



BlaineMN.gov

Case File No. 24-0052 One Hundred Fifth Redevelopment

Blaine Planning Department / 10801 Town Square Dr NE / Blaine, MN 55449 / (763) 785-6180



ONE HUNDRED FIFTH REDEVELOPMENT

City of Blaine
County of Anoka
Sec. 21, Twp. 31, Rng. 23

KNOW ALL PERSONS BY THESE PRESENTS: That EB Blaine Development, LLC, owner of the following described property:

The West Half of the Northwest Quarter, Section 21, Township 31, Range 23, except the North 467.86 of the East 215 feet thereof, Anoka County, Minnesota.

Has caused the same to be surveyed and platted as ONE HUNDRED FIFTH REDEVELOPMENT, and does hereby dedicate to the public for public use the public ways and the drainage and utility easements as created by this plat.

In witness whereof said EB Blaine Development, LLC, has caused these presents to be signed by its proper officer this ____ day of _____, 20____.

EB BLAINE DEVELOPMENT, LLC

Signature _____ Printed Name, Title _____

STATE OF _____
COUNTY OF _____

The foregoing instrument was acknowledged before me this ____ day of _____, 20____, by Corey Burstad, as Managing Member of EB Blaine Development, LLC, on behalf of the company.

Signature _____ Printed Name, Notary _____
Notary Public, _____ County, _____
My Commission Expires _____

SURVEYORS CERTIFICATION

I Max L. Stanislawski do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat, and all public ways are shown and labeled on this plat.

Dated this ____ day of _____, 20____.

Max L. Stanislawski, Licensed Land Surveyor
Minnesota License No. 48998

STATE OF MINNESOTA
COUNTY OF HENNEPIN

This instrument was acknowledged before me this ____ day of _____, 20____, by Max L. Stanislawski.

Signature _____ Printed Name, Notary _____
Notary Public, _____ County, Minnesota
My Commission Expires January 31, 20____

CITY COUNCIL, CITY OF BLAINE, MINNESOTA

This plat of ONE HUNDRED FIFTH REDEVELOPMENT was approved and accepted by the City Council of the City of Blaine, Minnesota at a regular meeting thereof held this ____ day of _____, 20____, and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2.

City Council, City of Blaine, Minnesota

By: _____, Mayor By: _____, Clerk

COUNTY SURVEYOR

I hereby certify that in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this ____ day of _____, 20____.

David M. Ziegler, Anoka County Surveyor

COUNTY AUDITOR/TREASURER

Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, taxes payable in the year 20____ on the land hereinbefore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer entered this ____ day of _____, 20____.

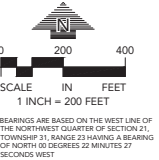
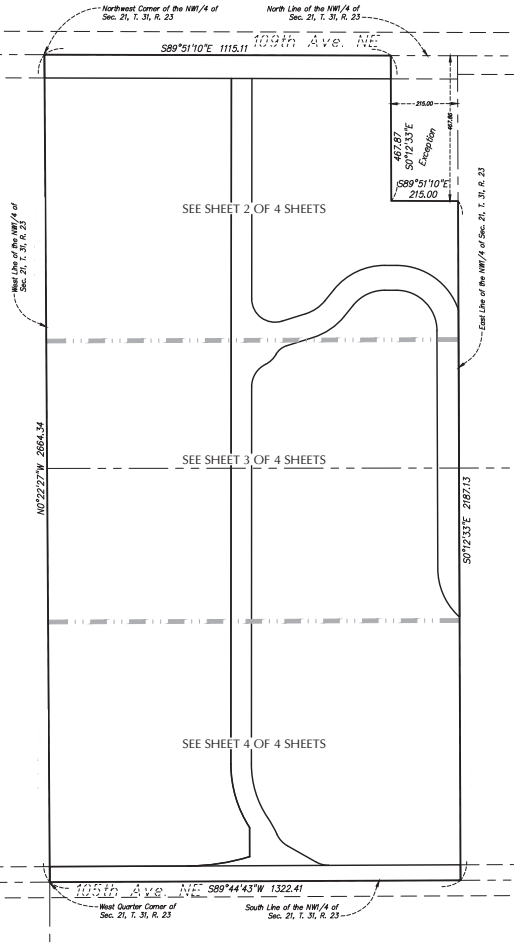
By: _____, Property Tax Administrator By: _____, Deputy

COUNTY RECORDER/REGISTRAR OF TITLES COUNTY OF ANOKA, STATE OF MINNESOTA

I hereby certify that this plat of ONE HUNDRED FIFTH REDEVELOPMENT was filed in the office of the County Recorder/Registrar of Titles for public record on this ____ day of _____, 20____, at ____ o'clock ____ M. and was duly recorded as Document Number _____.

By: _____, County Recorder/Registrar of Titles By: _____, Deputy

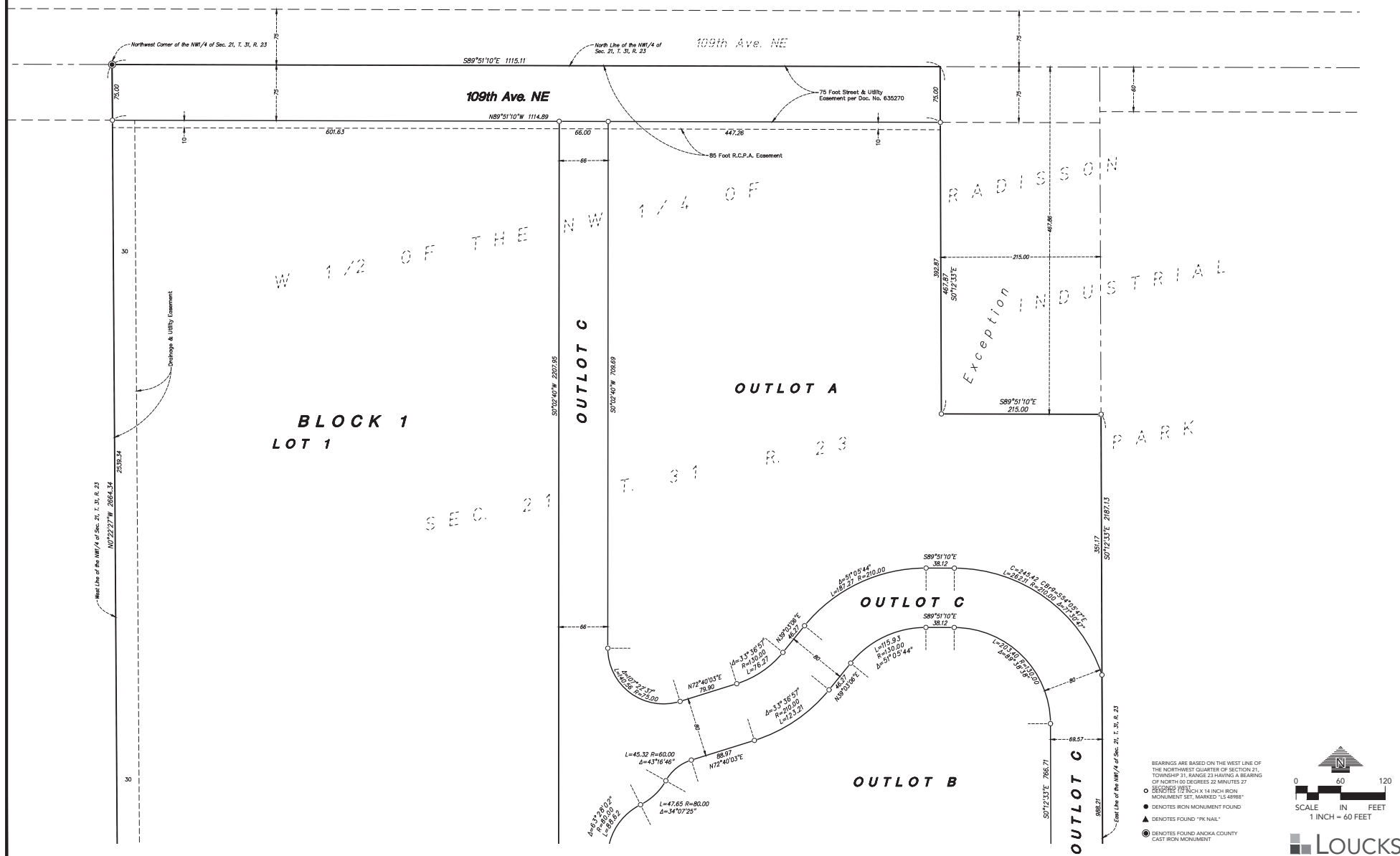
INSET DETAIL



LOUCKS

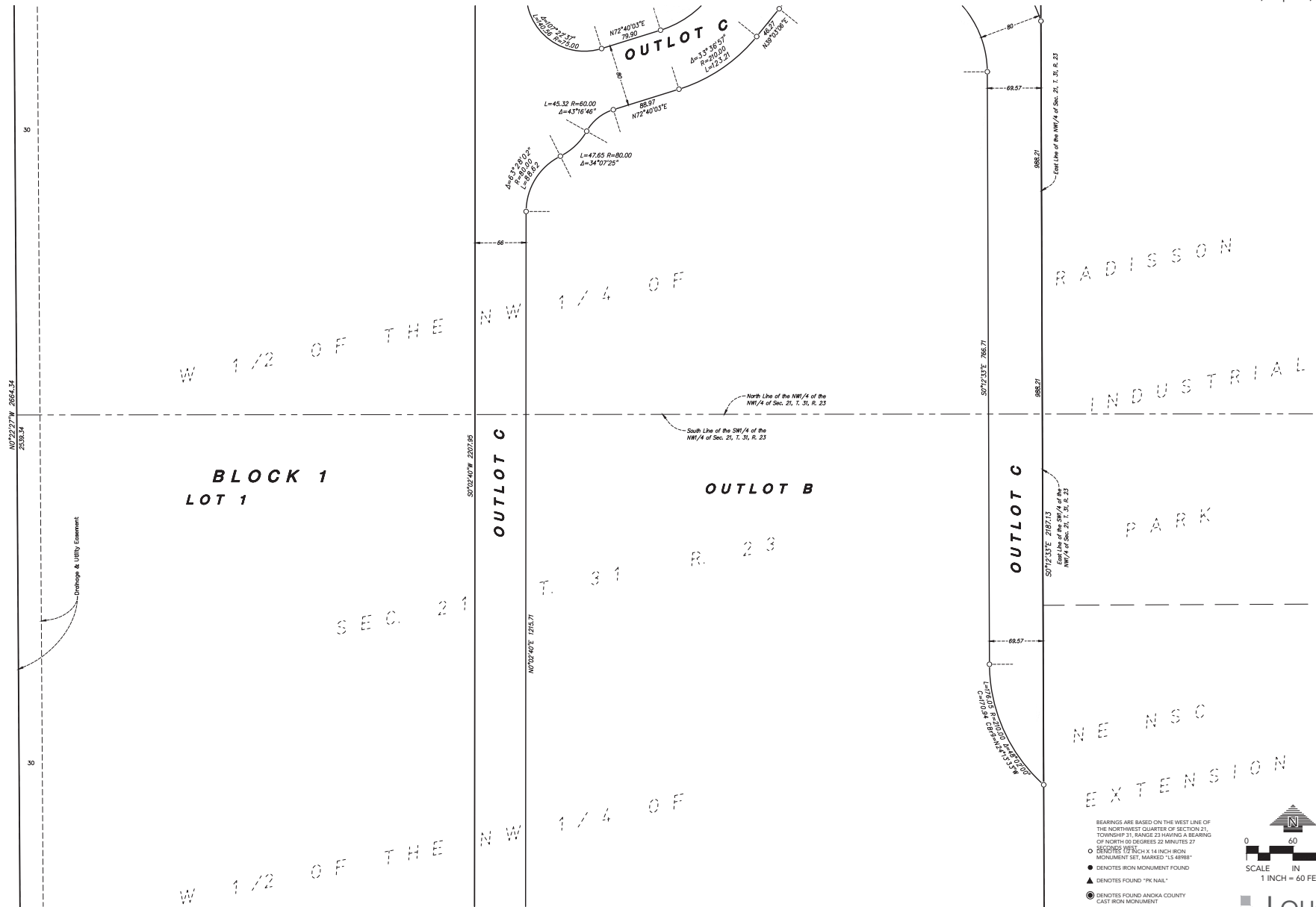
SHEET 1 OF 4 SHEETS

City of Blaine
County of Anoka
Sec. 21, Twp. 31, Rng. 23



ONE HUNDRED FIFTH REDEVELOPMENT

City of Blaine
County of Anoka
Sec. 21, Twp. 31, Rng. 23

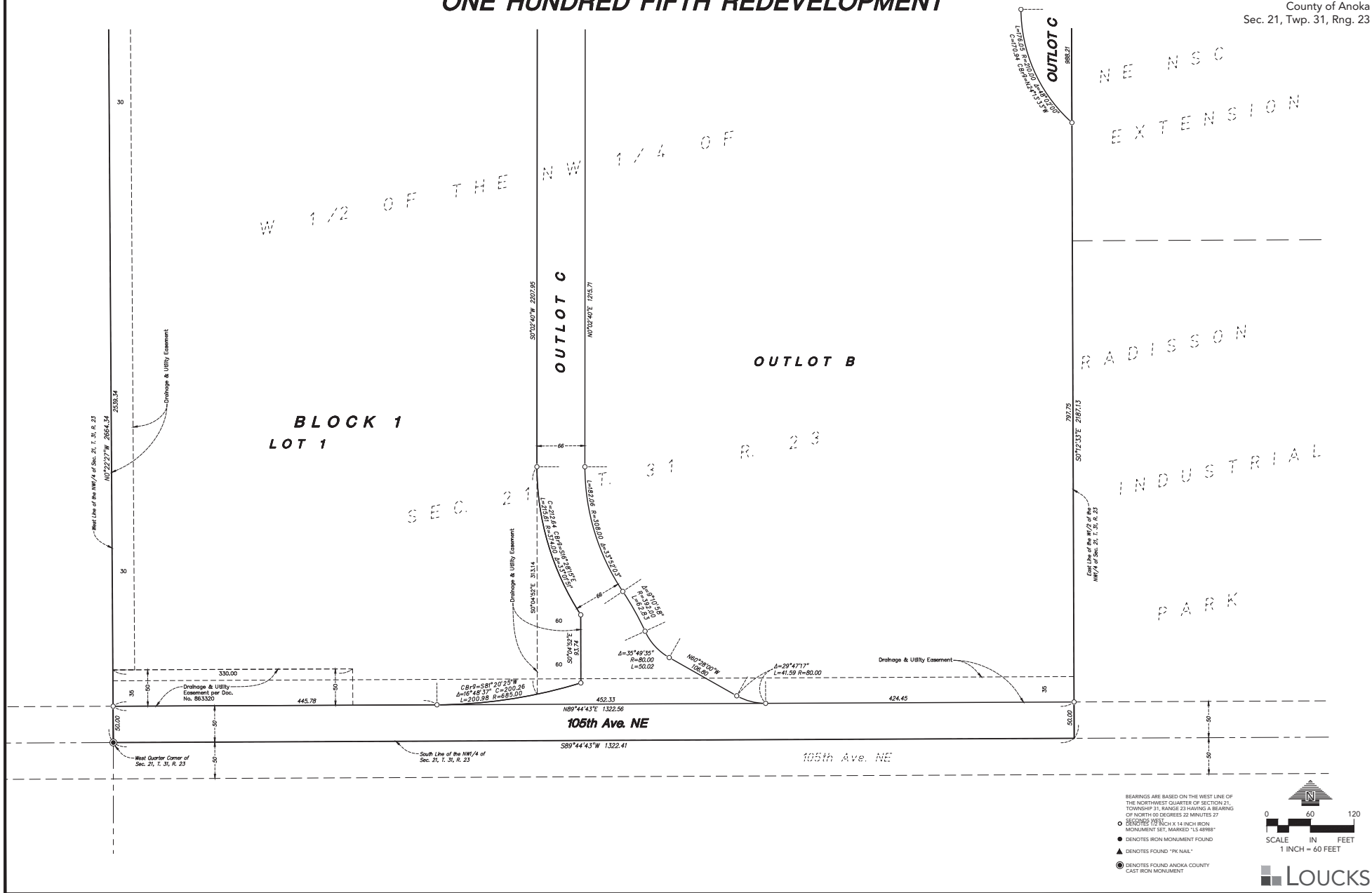


LOUCKS

SHEET 3 OF 4 SHEETS

ONE HUNDRED FIFTH REDEVELOPMENT

City of Blaine
County of Anoka
Sec. 21, Twp. 31, Rng. 23



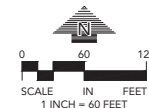
BEARINGS ARE BASED ON THE WEST LINE OF THE NORTHWEST QUARTER OF SECTION 21, TOWNSHIP 31, RANGE 23 HAVING A BEARING OF NORTH 01 DEGREES 23 MINUTES 27 SECONDS.

○ DENOTES 1/2 INCH X 14 INCH IRON MONUMENT SET, MARKED "15 4988"

● DENOTES IRON MONUMENT FOUND

▲ DENOTES FOUND "PK NAIL"

⊙ DENOTES FOUND ANOKA COUNTY CAST IRON MONUMENT





City of Blaine Staff Report

File Number: 2024-361

Agenda Date	Status
August 19, 2024	
In Control	File Type
City Council	Motion

Approval of Consent Agenda: -

Agenda Item # 8.5

Approve a Tobacco and Tobacco Products License for Irie Vybz Jamaican Restaurant LLC located at 76 Northtown Drive

Executive Summary

Council is asked to approve a tobacco and tobacco products license which will allow the applicant to sell tobacco products.

Background

Shanice Hines-Hyatt, applicant, has applied for a tobacco and tobacco products license for Irie Vybz Jamaican Restaurant LLC located at 76 Northtown Drive. The applicant has met the licensing requirements by completing all necessary forms and paying associated fees. Blaine Police Department has conducted a background investigation on the applicant and found no reason to deny the license. If approved, the tobacco license will be effective through December 31, 2024.

Strategic Plan Relationship

This item relates to the Growth Management strategic priority in the 2023-2026 strategic plan by providing additional opportunities for businesses to thrive while ensuring safe practices are employed.

Board/Commission Review

N/A

Financial Impact

Issuance of the license, including the background check, is included in the license fee adopted by city council.

Public Outreach/Input

No public notice is required for this license type.

Staff Recommendation

By motion, approve a tobacco and tobacco products license for Irie Vybz Jamaican Restaurant LLC located at 76 Northtown Drive.

Attachment List

None



City of Blaine Staff Report

File Number: RES 24-154

Agenda Date	Status
-------------	--------

August 19, 2024

In Control	File Type
------------	-----------

City Council

Resolution

7:00 PM - Public Hearing and Items Published for a Certain Time - Erik Thorvig, Community Development Director

Agenda Item # 9.1

Resolution Granting a Conditional Use Permit Amendment to Allow Preschool/Daycare in Addition to a K-8 School and Place of Worship in the Development Flex (DF) Zoning District at 3680 Pheasant Ridge Drive. East Blaine Mosque and Academy (Case File No. 24-0051/SAS)

Executive Summary

The applicant is requesting a conditional use permit to allow for preschool/daycare.

Background

City Council (Conditional Use Permit)	08/19/24
Action Deadline (60 Days)	09/10/24

Staff report prepared by Sheila Sellman, City Planner, and Teresa Barnes, Project Engineer

Zoning

The subject site is currently zoned Development Flex (DF).

Land Use Designation

The current land use designation is Planned Industrial (PI).

Surrounding Zoning and Uses

The site is surrounded by properties zoned Planned Business District (PBD) and guided PI. The surrounding properties are part of Lexington Ridge Business Park and Pheasant Ridge Business Park.

Existing Conditions

The site was originally developed by Minnesota School of Business. The applicant is currently remodeling the building for the mosque and K-8 school.

History

In 2006, the City approved a code amendment to allow a post-secondary education use as a conditional use in the PBD for a 46,800 square foot office/classroom building in the CSM business park campus.

In April 2006, the Minnesota School of Business received a conditional use permit to construct a three-story, 46,800 square foot college (post-secondary education), and for a zero-lot line for a shared driveway access between sites. Also in 2006, a preliminary and final plat was approved to subdivide 4.69 acres into one lot for the Minnesota School of Business building.

In 2017, the Minnesota School of Business closed all Minnesota locations. The building has been listed for sale/lease since that time, and has not been occupied since.

In June 2024 the site was rezoned to Development Flex (DF) and a conditional use permit was approved for a place of worship and K-8 school.

Evaluation of Request

In the DF zoning district, all the uses are governed by a Conditional Use Permit (CUP). The most recent CUP approved for the site is for a place of worship and a K-8 school. This CUP did not include a preschool/daycare. At the time of application, it was confirmed by city staff and the applicant that they were only requesting approval for a K-8 school.

The applicant has now indicated the need for a preschool/daycare and is requesting a CUP amendment. The zoning ordinance differentiates between educational services for kindergarten and higher versus preschool education/care. The zoning ordinance defines any education/care for children younger than kindergarten age as a day care facility.

The mosque, school and proposed preschool will utilize the existing building and parking with interior renovations. The mosque will have capacity for up to 300 people for worship services and the K-8 school will begin as a K-2 school. Currently, the applicant projects that approximately 50 families will enroll for grades K-2 with the student count under 60. The first year of instruction is anticipated for the 2024-2025 school year beginning in September. With each passing year, and as the initial students grow and move to the next grade, the school will increase its capacity until it reaches K-8. It is anticipated that at full capacity there will be no more than 20 students per grade level, with a strict maximum of 25. The preschool is estimated to have 50 children. Bussing is not proposed and students will be dropped off and picked up. The school will operate from 8:15AM - 3:30PM.

Parking

Places of worship require at least one (1) parking space for each four (4) seats in accordance with the design capacity of the main auditorium. According to the submitted plans, the capacity is 300 people. Mosques don't have seats for worship, but parking is calculated the same way, therefore requiring 75 parking stalls.

Schools, elementary, junior high, public or private: At least three (3) parking spaces per classroom, plus necessary spaces for student drop off, may be reduced at the zoning administrator's discretion. The calculation for the original CUP included 22 classrooms with a requirement of 66. This calculation included the 2 rooms that are now identified for preschool. Reducing the classrooms to 20 rooms

requires 60 parking stalls. Preschool/daycare requires 1 parking space per 300 square feet of floor area. Per the submitted plan, the preschool/daycare classrooms will total 1,672 square feet, resulting in the need for 5 parking stalls.

Business and professional offices or public administration buildings: At least one (1) parking space for each two hundred fifty (250) square feet of floor area. Based on the submitted plans, the proposed office space will require 4 parking stalls. In total, 144 parking stalls are required for the proposed uses. The submitted site plan indicates there are 278 parking stalls on site. Parking is met. The site plan indicates plenty of stacking area on site for pickup or drop off. Directional signage should be painted in the parking lot to indicate traffic flow for drop off and pick up.

Grading/Storm Drainage

The proposed project does not include any alterations to the existing grading or storm water drainage patterns on the property.

Utilities

The proposed use will utilize the existing utilities into the building. No new connections are proposed.

Standard water and sanitary sewer access charges (WAC & SAC) become due with each building permit at the rate established at the time the building permit is issued.

Wetlands/Watershed/FEMA

There are no wetlands or FEMA flood plains on the existing site. A Coon Creek Watershed District review is not required.

Access/Street Design/Sidewalks/Trails

The proposed use will utilize the existing access points to the existing parking area. No new access points will be granted. No additional street design, sidewalks or trails will be required.

Conditional Use Permit

A city exercises “quasi-judicial” authority when considering a CUP application. This means the city’s role is limited to applying the standards in the ordinance to the facts presented by the application. The city acts like a judge in evaluating the facts against the standards.

Section 27.04 Criteria for granting conditional use permits:

The Blaine City Council shall consider the advice and recommendations of the Planning Commission and the effect of the proposed use on the comprehensive plan and upon the health, safety, and general welfare of occupants of surrounding lands. Among other things, the Council shall consider the following findings where applicable.

In the Planned Business District, places of worship are permitted through a CUP and can be approved regardless of the outcome of the rezoning. All uses in the DF zone require a CUP.

1. The use shall not create an excessive burden on existing parks, schools, streets and other public facilities and utilities which serve or are proposed to serve the area.

- The building is existing, and the current CUP allows for a mosque (place of worship) and a K-8 school. At the time of issuing this CUP, it was determined the uses would not cause excessive burden. Adding preschool/daycare also would not cause an excessive burden.
- 2. The use will be located, designed, maintained, and operated to be compatible with adjoining properties and the existing or intended character of the zoning district.
 - The additional use of a pre-school/daycare to the approved mosque and K-8 school is deemed compatible with the adjoining properties and the intended character of the zoning district. The DF district is intended to provide for greater flexibility in land use planning and maximize the choice of housing types and styles than is possible under the strict application of other sections of this ordinance. The DF district also attempts to create a reasonable balance between the interests of the property owner in freely developing his property with greater flexibility in land uses, and at the same time protect, the interests of surrounding properties.
- 3. The use shall have an appearance that will not have an adverse effect upon adjacent properties.
 - The building is existing and does not have an adverse effect.
- 4. The use, in the opinion of the City Council, shall be reasonably related to the overall needs of the City and to the existing land use.
- 5. The use shall be consistent with the purposes of the zoning code and purposes of the zoning district in which the applicant intends to locate the proposed use.
 - The DF district is intended to provide for greater flexibility in land use planning and maximize the choice of housing types and styles than is possible under the strict application of other sections of this ordinance. The DF district also attempts to create a reasonable balance between the interests of the property owner in freely developing his property with greater flexibility in land uses, and at the same time protect the interests of surrounding properties. The addition of a preschool/daycare to the approved mosque and K-8 school are consistent.
- 6. The use should not be in conflict with the comprehensive plan of the City.
 - The site is guided PI. Other schools are located within the PI land use and are not in conflict.
- 7. The use will not cause traffic hazard or congestion.
 - The proposed use will not generate any additional traffic hazard or congestion.
- 8. The use shall have adequate utilities, access roads, drainage, and necessary facilities.
 - The existing structure is served with the required utility services, adequate roadway infrastructure and necessary drainage facilities to service the proposed uses.

Attachment List:

Zoning and Location Map

Narrative

Site Plans

Strategic Plan Relationship

Not applicable.

Board/Commission Review

The public hearing is being held at the City Council meeting, therefore no review or recommendation was received from the Planning Commission. Conditional Use Permits for changes in commercial or industrial tenants not neighboring residential areas are often referred directly to the City Council to expedite the review process for the applicant.

Financial Impact

Not applicable.

Public Outreach/Input

Notices of a public hearing were:

1. Mailed to property owners within 350 feet of the property boundaries.
2. Published in Blaine/Spring Lake Park/Columbia Heights/Fridley Life.
3. Posted on the City website.

Staff Recommendation

By motion, adopt the resolution.

Attachment List

1. Attachments



City of Blaine

Signature Copy

Resolution: RES 24-154

Resolution Granting a Conditional Use Permit Amendment to Allow Preschool/Daycare in Addition to a K-8 School and Place of Worship in the Development Flex (DF) Zoning District at 3680 Pheasant Ridge Drive. East Blaine Mosque and Academy (Case File No. 24-0051/SAS)

WHEREAS, an application has been filed by East Blaine Mosque as Conditional Use Permit Case File No. 24-0051 for East Blaine Mosque and Academy; and

WHEREAS, said case involves the property described as follows:

Lot 1 Block 1 MN SCHOOL OF BUSINESS BLAINE

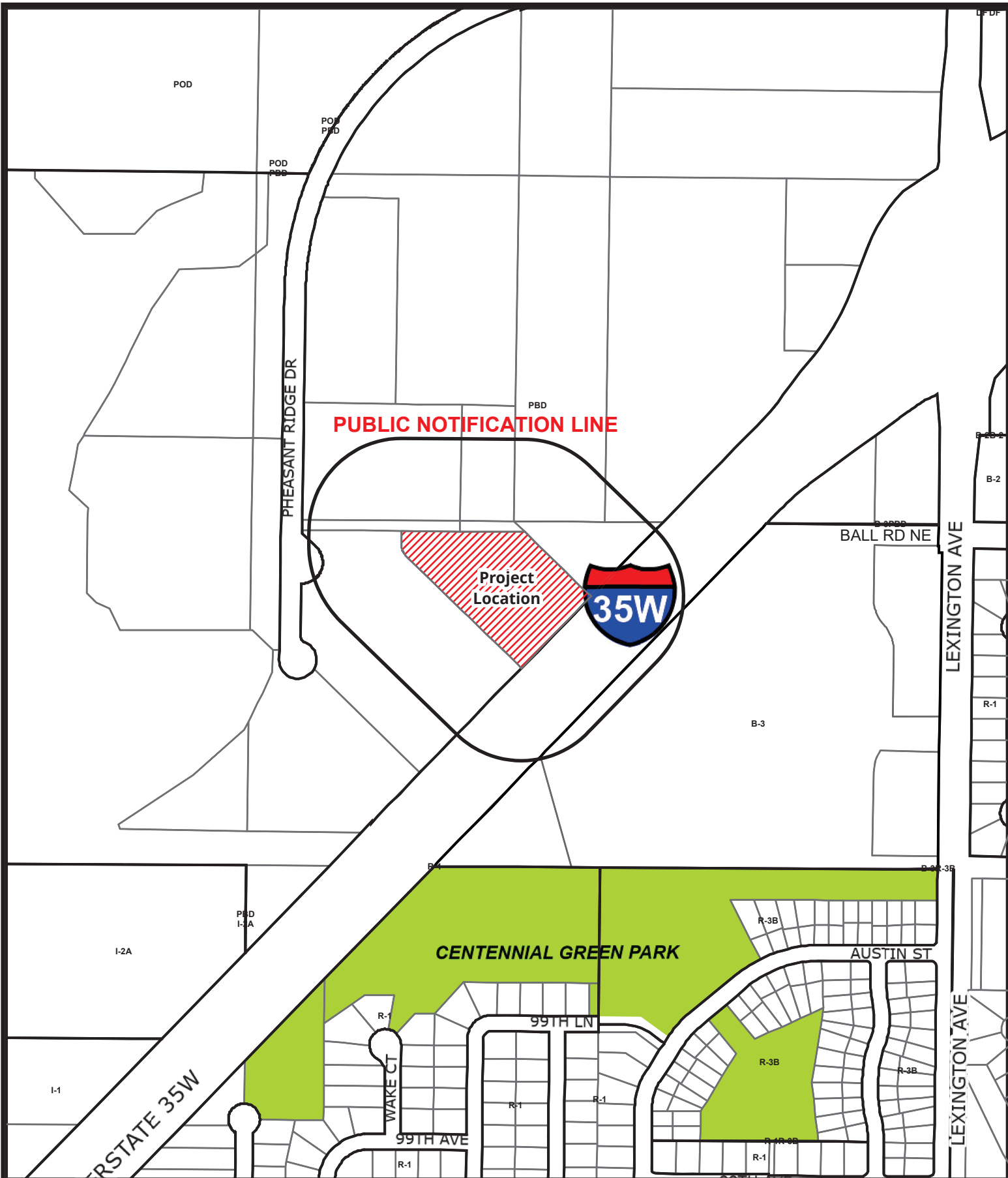
WHEREAS, the Blaine City Council held and public hearing and reviewed said case on August 19, 2024; and

WHEREAS, the criteria identified in Section 27.04 for granting a conditional use permit has been met.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Blaine that a conditional use permit is hereby approved per Sections 29.110, and 27.04 of the Zoning Ordinance to allow a place of worship, K-8 school and preschool/daycare with the following conditions:

1. Site plan approval is required as part of the building permit application. All site improvements, if any, to be included in the Site Improvement Performance Agreement (SIPA), and covered by an acceptable financial guarantee.
2. The City reserves the right to require the mosque to provide on-site traffic management.
3. All signage requires separate permits meeting the requirements of the zoning code.
4. Temporary uses such as outdoor events, are not permitted without a specific special event license issued by the City.
5. The performance standards in the Planned Business District (PBD) shall apply.
6. School hours shall be limited from 8AM to 3:30PM.
7. Directional signage shall be painted on the parking lot for the drop-off and pick-up area.
8. Loading areas shall be designed with appropriate means of vehicular access to/from a street or drive aisle in a manner which will least interfere with traffic circulation.
9. Each classroom is capped at 25 students.
10. Queuing of cars shall not extend onto Pheasant Ridge Drive.
11. A six-foot permanent fence shall be installed along the southwest property line by September 1, 2025.
12. Resolution 24-112 shall be replaced with this approval and become null and void.

PASSED by the City Council of the City of Blaine this 19th day of August, 2024.



BlaineMN.gov

Case File No. 24-0051 East Blaine Mosque and Academy

Blaine Planning Department / 10801 Town Square Dr NE / Blaine, MN 55449 / (763) 785-6180



Libby Law Office, P.A.

Attorneys at Law

Kirsten J. Libby, Esq. kirsten@libbylawoffice.com
Christopher J. Heinze, Esq. chris@libbylawoffice.com
Justin P. Holinka, Esq. justin@libbylawoffice.com

855 Rice Street, Suite 100
St. Paul, MN 55117

Office (651) 487-1208
Fax (651) 487-0662

July 11, 2024

Ms. Sheila Sellman
City Planner
Planning & Community Development
Blaine City Hall
10801 Town Square Drive NE
Blaine, MN 55449

Re: Application for Conditional Use Permit for 3680 Pheasant Ridge Drive

Ms. Sellman:

Please find this application for Conditional Use Permit for the real property located at 3680 Pheasant Ridge Drive, in Blaine, Minnesota.

Our client, East Blaine Community Center LLC, d/b/a East Blaine Mosque and Academy, is the fee owner of this property. They will be operating a mosque and an Islamic K-8 private elementary school in the very near future. They are requesting a Conditional Use Permit so that they may also operate a preschool, a/k/a a "Day care center, commercial" as set forth in § 250.2 of the Blaine zoning code.

The Property

Location: 3680 Pheasant Ridge Drive, Blaine, Minnesota
Site Size: 4.68 Acres
Building Size: 46,800 square feet (existing building)

The property currently is zoned as Development Flex, or "DF." The property includes the existing building with 278 parking stalls.

Planned Use of the Property

The City of Blaine granted Resolution RES 24-112 on June 17, 2024, wherein the City granted a Conditional Use Permit to allow a mosque and a K-8 school at the property, after first approving a rezoning of the property to DF zoning under ORD 24-2551 on the same date.

The existing building is three stories in height. The first floor houses the mosque and related community spaces. The second and third floors would house the preschool alongside the K-8 school.

As the City is aware, the K-8 school will begin as a K-2 school, with an estimate of approximately 50 families enrolling their children in the school for the first year of instruction (2024-2025), beginning in September of 2024. Pursuant to Resolution RES 24-112, the existing Conditional Use Permit restricts classroom size for the K-8 school at 25 students. As such, 145 parking stalls are required for the K-8 school. It is estimated that the preschool population will be approximately 50 children. As the property has 278 parking stalls, there is ample room for the addition of the preschool.

Additionally, while traffic is always a concern to any city planning commission, the number of vehicles that will be used to drop off and pick up students will not significantly impact traffic. To wit: the City has already addressed the traffic impact. Theresa Barnes, Project Engineer for the City, stated at an earlier Planning Commission meeting that the city did traffic counts on Pheasant Ridge Drive in 2023, meaning the city has a very good idea on the amount of existing traffic. Ms. Barnes stated that even if there was an addition of 500 cars per day added to the existing traffic counts, such an increase is “not taxing on that road at all.” Further, under the CUP for the K-8 school, the “queuing of cars shall not extend onto Pheasant Ridge Drive,” meaning that there are already protocols in place to ensure minimal traffic interruptions.

The hours of operation for the preschool will likely align with those of the K-8 school: specifically, between 8 a.m. and 3:30 p.m.

Application Materials

Pursuant to § 29.114(b) of the Blaine zoning code, our client’s application includes the following:

- Certificate of survey including all existing structures;
- Grading plan existing and proposed grades at 2 foot contour intervals to a known datum, sufficient spot elevations on all proposed hard surfaces, location of proposed stormwater facilities, identification of areas within a flood hazard zone, finished floor elevations of all buildings;
- Utility plan proposed location and size of all utility lines;
- Site plan including location of all proposed buildings and proposed uses, location of driveway and parking areas, building and parking setbacks, location of refuse areas, location of outdoor storage areas;
- Tree preservation plan meeting the requirements of § 33.09 of the Blaine zoning code;
- Landscape plan meeting the requirements of § 33.07 of the Blaine zoning code;
- Floor plan of proposed buildings including dimensions of proposed rooms, specification of uses;
- Elevations of the proposed building identifying exterior treatment, materials, and colors;

- Calculation of necessary parking spaces; and
- Narrative explaining the operation of the property.

§ 29.144(b).

Conclusion

In sum, the operation of a preschool is in concert with our client's current use as a K-8 school and a mosque. The preschool will act as a feeder school for the K-8 school and will provide those families with students at the K-8 school to also receive care for their children who are under the age of 5. As with the K-8 school, the preschool will increase the City's positive image, providing for its growth and the diverse needs of its citizens.

Very Truly Yours,

LIBBY LAW OFFICE, P.A.

/s/ Christopher Heinze

Christopher J. Heinze

Encl.

c: client

GENERAL SITE NOTES

- A. THIS DOCUMENT WAS GENERATED FROM EXISTING ARCHITECTURAL AND LAND SURVEY DOCUMENTS AND GOOGLE EARTH. LOCATIONS, SIZE, AND TYPE OF ROOFTOP TECHNICAL UNITS HAS NOT BEEN FIELD VERIFIED.
- B. NO CHANGES TO PARKING LOT STRIPING, NUMBER OF STALLS, DRAINAGE, LIGHTING OR GENERAL LANDSCAPING ARE ANTICIPATED IN THIS PROPOSAL.
- C. NO CHANGES IN THE BUILDING ENVELOPE ARE ANTICIPATED IN THIS PROPOSAL.

PARKING REQUIREMENTS

PER CITY OF BLAINE ORDINANCE CHAPTER 11.04, APPENDIX 'B'

PROPOSED USE: MOSQUE AND COMMUNITY SPACES ON GROUND FLOOR WITH PRE-SCHOOL TO JUNIOR HIGH CLASSROOMS ON SECOND AND THIRD FLOORS.

HOUSES OF WORSHIP: 1 STALL PER 4 SEATS IN THE CHAPEL OR NAVE PLUS 1 STALL PER 100 SQUARE FEET OF NON-CHAPEL AREA.

OFFICE AREAS: 1 STALL PER 300 SQUARE FEET.

EDUCATION: 1 STALL PER TEACHER/ADMINISTRATOR

NARRATIVE

MOSQUES DO NOT HAVE SEATING AREAS, BASED ON OCCUPANCY CALCULATIONS FOR THE MOSQUE AREA, THE OCCUPANCY IS 3000 PERSONS. IF PARKING RATIO IS 1:4, 75 STALLS ARE REQUIRED FOR THE WORSHIP AREA.

DESIGNATED NON-CHAPEL COMMUNITY AREAS TOTAL 5,430 SQUARE FEET, REQUIRING 53.4 STALLS.

ADMINISTRATION OFFICES TOTAL 965 SQUARE FEET AND REQUIRE 32 STALLS.

TOTAL NUMBER OF PRE-SCHOOL THRU JUNIOR HIGH CLASSROOMS IS 31.1 STALLS SHALL BE PROVIDED FOR EACH STALL.

CALCULATIONS

MOSQUE AREA: 2,100 SF 1:4 75 STALLS

COMMONS AREA: 2,975 SF

OBSERVATION: 720 SF

EXISTENCE AREA: 1,464 SF

5,361 SF

1:100 SF 53.6 STALLS

ADMINISTRATION OFFICES: 965 SF

1:300 SF 32 STALLS

CLASSROOMS/TEACHERS: 30 STALLS

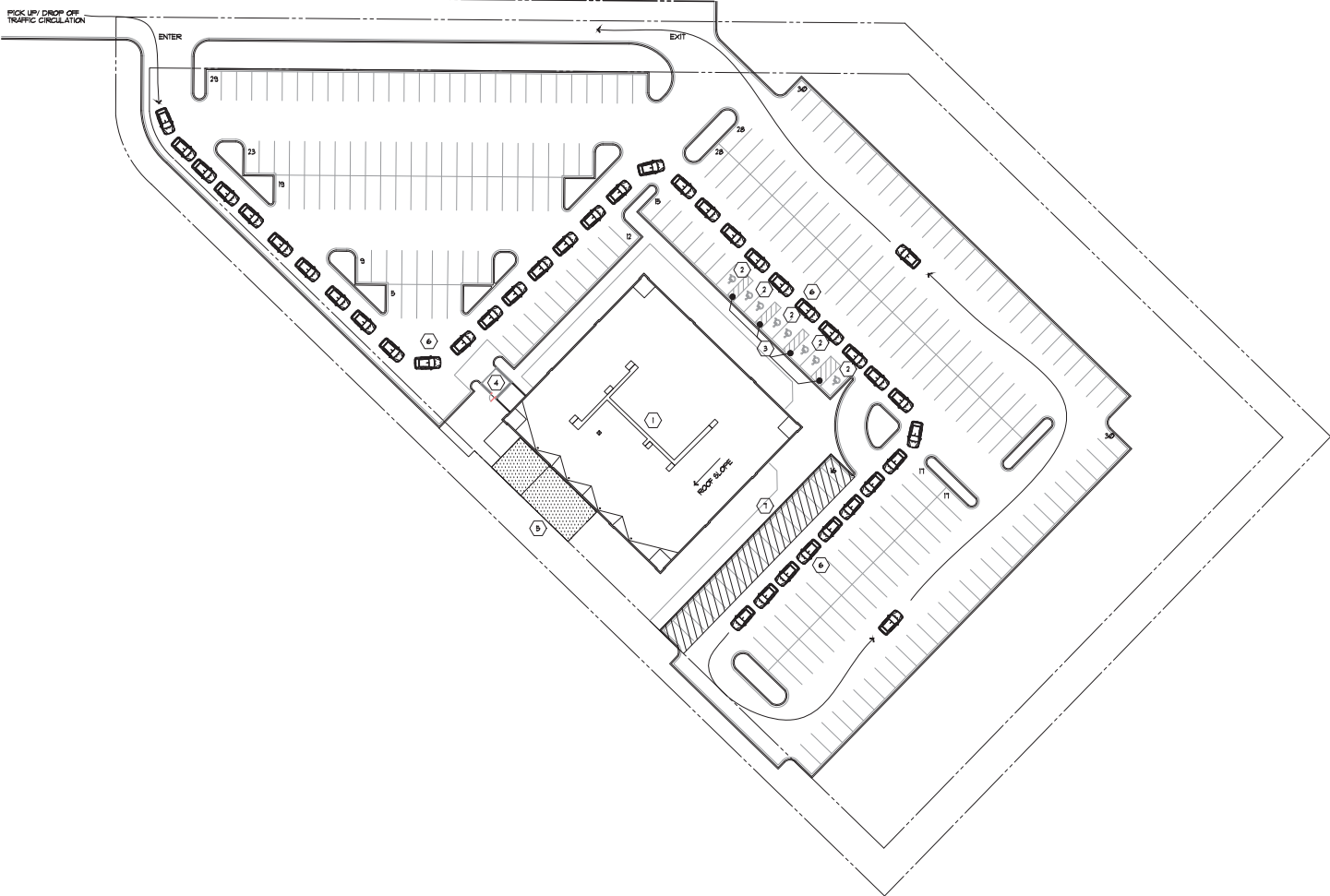
PARKING REQUIRED 155.6 + 55 STALLS

EXISTING SITE PARKING 218 STALLS

TEMPORARY PARKING FOR VISITORS, OR FOR ADDITIONAL STAFF WILL BE ACCOMMODATED IN THE 15 EXCESS PARKING STALLS. SOME STALLS MAY BE BLOCKED DURING LOADING PERIODS.

KEY NOTES

- EXISTING ROOF ASSEMBLY AND SYSTEMS TO REMAIN
- EXISTING HANDICAP STALLS
- EXISTING HANDICAP ACCESS AISLE
- EXISTING TRASH ENCLOSURE
- FUTURE PLAY AREA-1900 SF.
- DROP-OFF AUTO STACKING-UP TO 46 AUTOMOBILES
- PROPOSED DROP OFF ZONE



1 SITE PLAN
A010 1/32" = 1'-0"



118 E. 26th Street
Suite 300
Minneapolis, MN 55404
P:612-879-8225
F:612-879-8152
www.tanek.com

Blaine Mosque
3680 Pheasant Ridge Dr
Blaine, MN, 55449

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the state of Minnesota.

Nathaniel Shea date
name date
24515
license number signature

scale as noted
name ed/ns

03.07.2024
site plan and parking analysis
level 01





118 E. 26th Street
Suite 300
Minneapolis, MN 55404
P:612-879-8225
F:612-879-8152
www.tanek.com

project

Blaine Mosque
3680 Pheasant Ridge Dr
Blaine, MN, 55449

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the state of Minnesota.

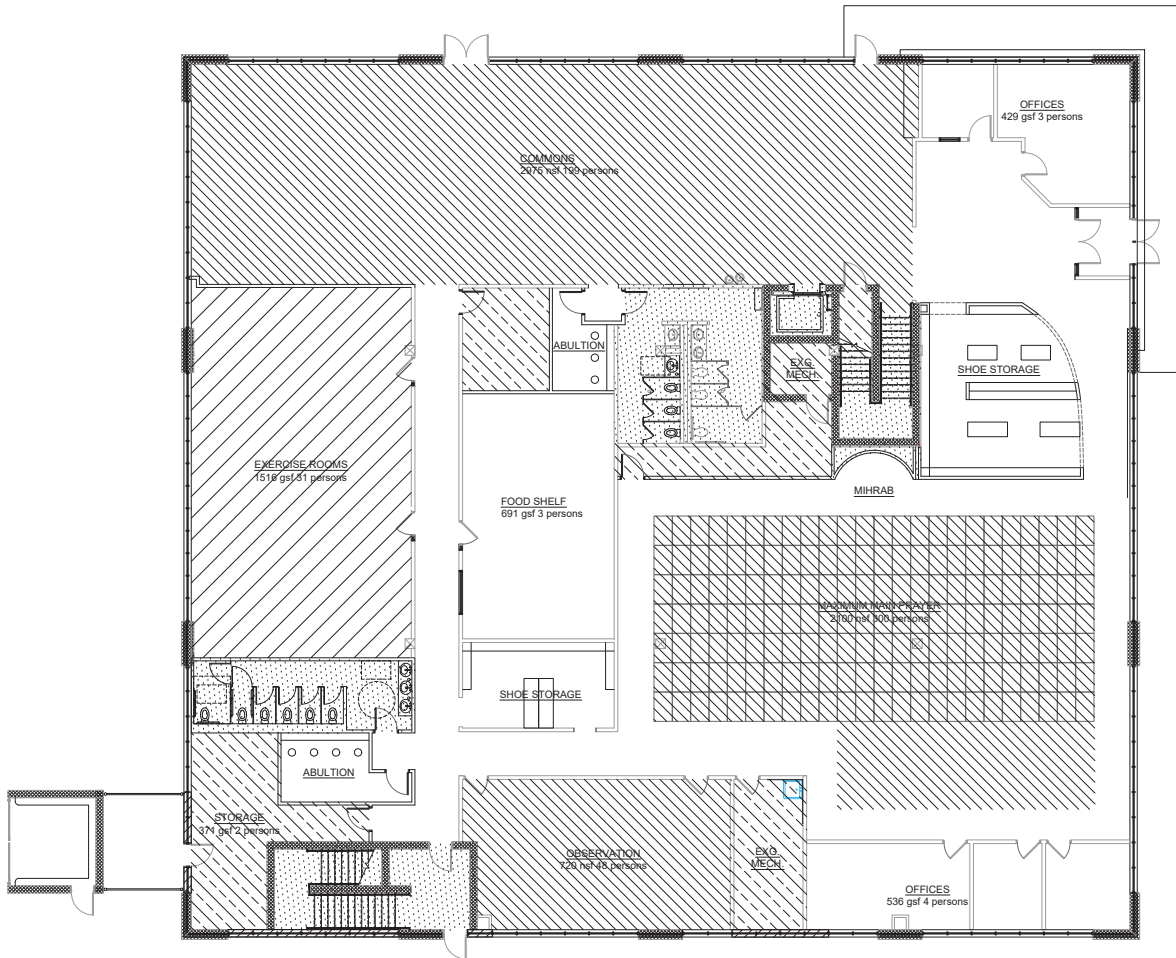
Nathaniel Shea _____ date
name _____ date
24515 _____
license number _____ signature

scale _____ as noted
name _____ ed/ns

03.07.2024

first floor plan

a100
copyright Tanek 2024



First Floor Prayer Areas

MAIN PRAYER	2,100 sq ft
OBSERVATION	720 sq ft
Total Prayer Area	2,820 sq ft

First Floor Estimated Occupants

Base Occupant load is Business, less Stairs, Elevator, and Toilets	
1/150 gsf	3645/150= 24.3 total
Separate Occupant load for General Assembly	
1/15 nst	3694/15 = 246.3 total
Separate Occupant load for Prayer Assembly	
1/7 nst	2100/7 = 300 total
Separate Occupant load for Shoes/Abultion	
1/50 gsf	1021/50= 20.4 total
Separate Occupant load for Exercise	
1/50 gsf	1516/50= 30.3 total
Separate Occupant load for Storage/Mech	
1/300 gsf	1762/300= 5.9 total
First Floor Occupants	607.2 = 608 total

Toilets required based on Worship requirements

304/150=	2.1 =	3 male wc required, 6 provided
304/75=	4.1 =	5 female wc required, 6 provided

1
a100
FIRST FLOOR PLAN
1/8" = 1'-0"





118 E. 26th Street
Suite 300
Minneapolis, MN 55404
P:612-879-8225
F:612-879-8152
www.tanek.com

project

Blaine Mosque
3680 Pheasant Ridge Dr
Blaine, MN, 55449

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the state of Minnesota.

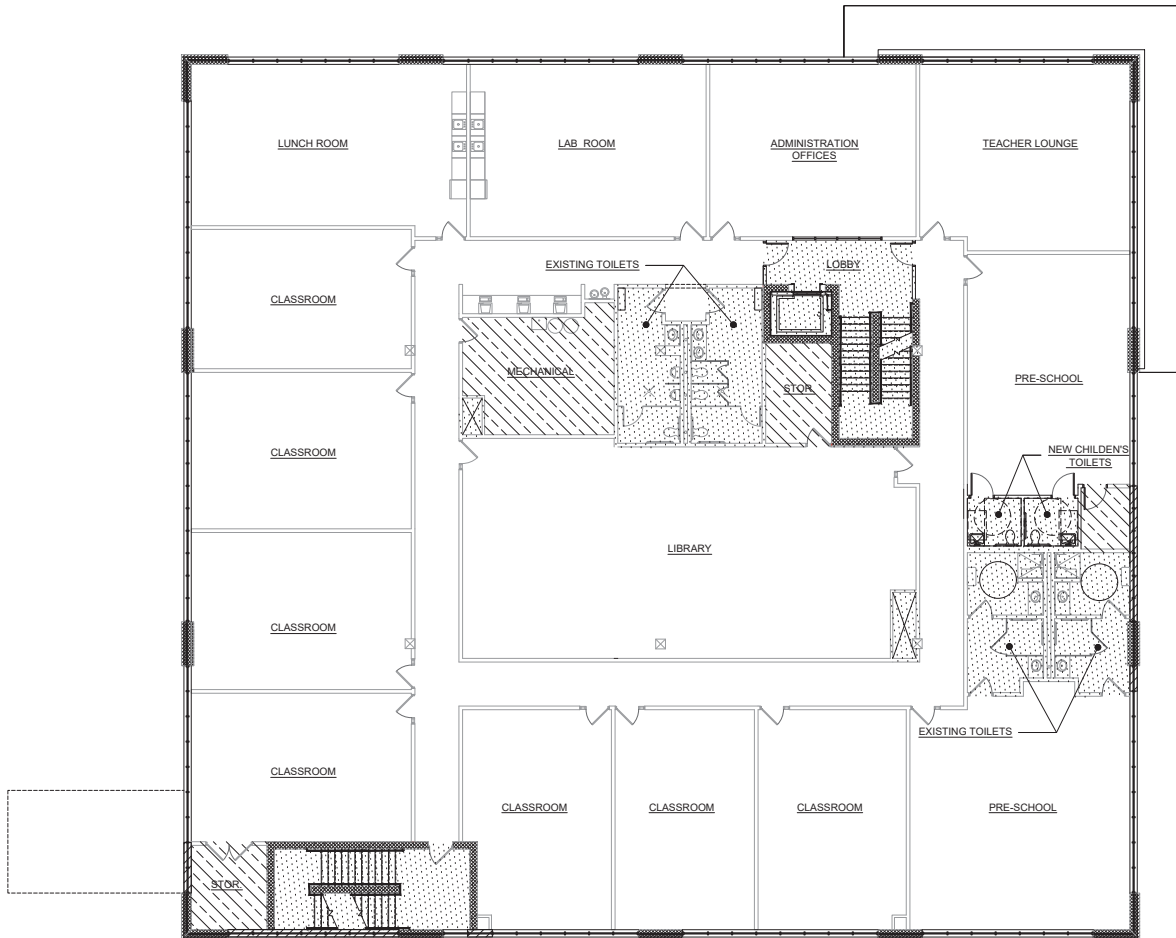
Nathaniel Shea date
name date
24515
license number signature

scale as noted
name ed/ns

03.07.2024

second floor plan

a110
copyright Tanek 2024



Second Floor Estimated Occupants

Base Occupant load is Business, less Stairs, Elevator, and Toilets
1/150 gsf 3352/150= 22.3 total
Separate Occupant load for Classrooms
1/20 nsf 4934/20= 246.7 total
Separate Occupant load for Storage/Mech
1/300 gsf 629/300= 2.1 total
Separate Occupant load for Preschool
1/35 nsf 1672/35 = 47.7 total
Separate Occupant load for Library
1/35 nsf 1758/60 = 29.3 total
Separate Occupant load for Assembly
1/35 nsf 1523/15 = 101.5 total*
*Assumes users are from the floor population

Second Floor Occupants 348.1 = 349 total

Toilets required, based on Education requirements

174.5/50= 3.49 = 4 male wc required, 4 provided
174.5/50= 3.49 = 4 female wc required, 4 provided
*plus 2 unisex preschool

1 SECOND FLOOR PLAN
1/8" = 1'-0"





118 E. 26th Street
Suite 300
Minneapolis, MN 55404
P:612-879-8225
F:612-879-8152
www.tanek.com

project

Blaine Mosque
3680 Pheasant Ridge Dr
Blaine, MN, 55449

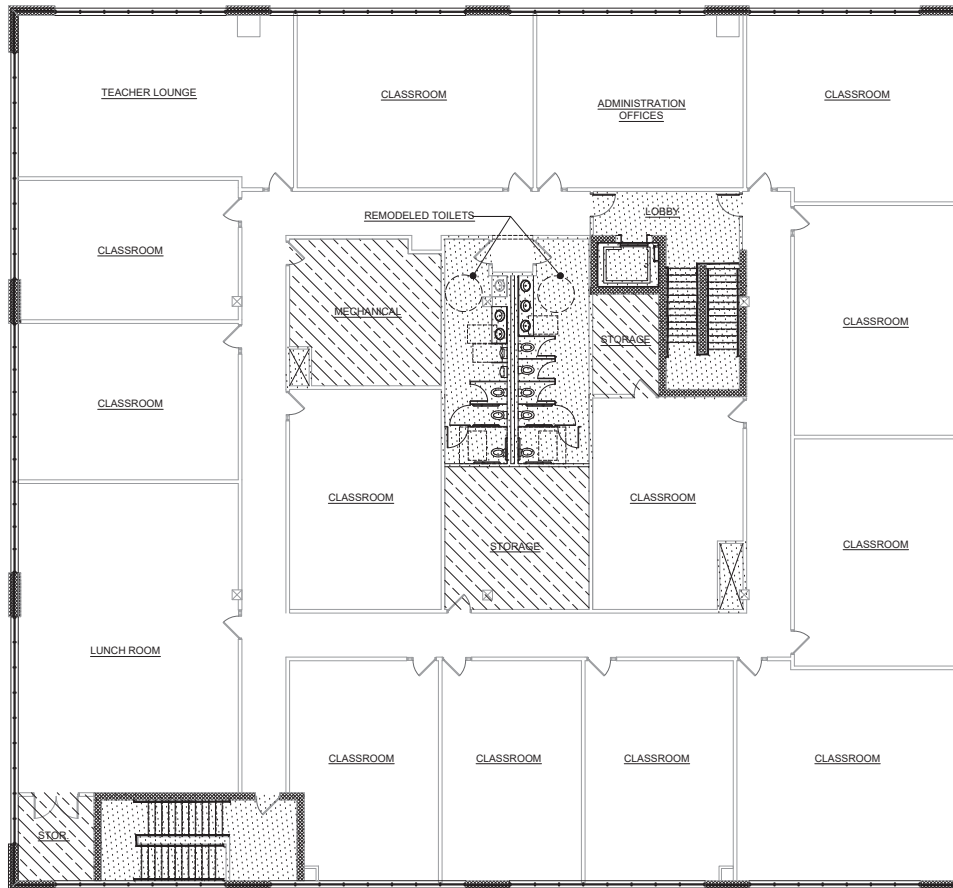
I hereby certify that this plan,
specification or report was prepared by me
or under my direct supervision and that I
am a duly licensed architect under the laws
of the state of Minnesota.

Nathaniel Shea date
name date
24515 date
license number signature

scale as noted
name ed/ns

03.07.2024

third floor plan



Third Floor Estimated Occupants

Base Occupant load is Business, less Stairs, Elevator, and Toilets
1/150 gsf 2633/150= 17.5 total
Separate Occupant load for Classrooms
1/20 nsf 7859/20= 393 total
Separate Occupant load for Storage/Mech
1/300 gsf 1032/300= 3.4 total
Separate Occupant load for Assembly
1/15 nsf 2089/15 = 139.3 total*
*Assumes users are from the floor population

Third Floor Occupants 413.9 = 414 total

Toilets required, based on Education requirements

207/50= 4.14 = 5 male wc required, 5 provided
2207/50= 4.41 = 5 female wc required, 5 provided



City of Blaine

Staff Report

File Number: ORD 24-2557

Agenda Date	Status
August 19, 2024	
In Control	File Type
City Council	Ordinance

Development Business - Erik Thorvig, Community Development Director

Agenda Item # 10.1

First Reading

Ordinance Approving Amendments to Section 39.901 (Definitions) and Section 30.904 (Permitted Uses in the 105th Avenue Redevelopment District) of the Zoning Ordinance to Add Cigar Lounge as a Permitted Use. Society Cigars (Pinpoint Community Development) (Case File No. 24-0040/SAS)

Executive Summary

The applicant is requesting an ordinance amendment to the 105th Redevelopment District to allow a cigar lounge.

Background

Planning Commission Public Hearing	08/14/24
City Council (1st Reading)	08/19/24
City Council (2nd Reading)	09/04/24
Action Deadline (60 Days)	08/11/24
Action Deadline (60 Days - City Extended)	10/10/24

Staff report prepared by Sheila Sellman, City Planner.

The applicant is requesting an ordinance amendment to the 105th Avenue Redevelopment District (RD) in order to allow a cigar lounge.

In 2022, the City created the RD zoning district in anticipation of the development of the 105th Avenue area. This zoning code is tailored to a mixed-use type of development and is intended to promote development and redevelopment consistent with the master plan by encouraging residential uses in conjunction with commercial and expanded recreational activities to create an entertainment district with greater flexibility in land uses, and at the same time protect the interest of surrounding properties in the following ways:

- (a) By promoting a planned environment for integrated commercial uses which feature design continuity. A development shall reflect a common theme using compatible architectural design and consistency in signage, landscaping and lighting.
- (b) By encouraging a more creative approach in development, that will result in quality living environments through innovative design and aesthetic controls.
- (c) By providing for mixed-use development(s) that are carefully planned to promote efficient use of land, parking, and open space.
- (d) By providing enhanced oversight through site plan approvals to ensure compatibility of mixed uses and consistency with the approved master plan.
- (e) By encouraging pedestrian access.
- (f) By allowing flexibility in setback and height restrictions.
- (g) By ensuring high standards of site design, architectural design, building materials and landscape design are achieved through design guidelines and approvals.
- (h) By providing the means for greater creativity and flexibility in environmental design than is provided under the strict application of the Blaine Zoning Ordinance and Subdivision Ordinance, while, at the same time, preserving the health, safety, order, convenience, prosperity, and general welfare of the City of Blaine.

Currently, this district prohibits tobacco/vape shops but does not address cigar lounges. The applicant is proposing a cigar-only establishment where members and non-members can buy and sample cigars. The applicant believes that their business is a "perfect complement to the high-end restaurant experiences and other amenities" within the district.

The proposed ordinance, if passed, will define what a cigar lounge is and will be listed under permitted uses. As proposed, cigar lounge is defined as: a licensed tobacco products shop limited to cigars and pipes pursuant to MN Statute 144.416 that includes a private indoor area dedicated to the sampling cigars and pipes that are purchased onsite. The majority of the cities surveyed indicated that they don't define a cigar lounge, and it would be permitted where retail is allowed.

Strategic Plan Relationship

Not applicable.

Board/Commission Review

The Planning Commission meeting has not occurred at the time of printing this agenda. The item will be updated accordingly.

Financial Impact

Not applicable.

Public Outreach/Input

Notices of a public hearing were:

1. Published in Blaine/Spring Lake Park/Columbia Heights/Fridley Life.
2. Posted on the City website.

Staff Recommendation

By motion, introduce the ordinance for first reading and direct that it be placed on file for second reading at the September 4, 2024, council meeting.

Attachment List

None



City of Blaine

Signature Copy

Ordinance: ORD 24-2557

First Reading

Ordinance Approving Amendments to Section 39.901 (Definitions) and Section 30.904 (Permitted Uses in the 105th Avenue Redevelopment District) of the Zoning Ordinance to Add Cigar Lounge as a Permitted Use. Society Cigars (Pinpoint Community Development) (Case File No. 24-0040/SAS)

THE CITY OF BLAINE DOES ORDAIN: (Added portions are underscored and deleted portions are shown in overstrike.)

30.90 – 105th AVENUE REDEVELOPMENT DISTRICT (RD)

30.901 Definitions.

Definitions listed apply only to this district. If something is not defined in this section the definition in the city code shall apply.

Cigar Lounge – a licensed tobacco products shop limited to cigars and pipes pursuant to MN Statute 144.416 that includes a private indoor area dedicated to the sampling cigars and pipes that are purchased onsite.

30.904 Permitted uses.

- (a) Art galleries and studios.
- (b) Bakery.
- (c) Candy or ice cream shops.
- (d) Cigar lounge
- ~~(d)~~(e) Coffee shop.
- ~~(e)~~(f) Delicatessen stores.
- ~~(f)~~(g) Entertainment - such as live music.
- ~~(g)~~(h) General retail.
- ~~(h)~~(i) Market under 5,000 square feet.
- ~~(i)~~(j) Multi-family residential.
 - (1) Multi-level multiple unit (apartments).
 - (2) Townhomes.
- ~~(j)~~(k) Professional office not including medical or clinics.
- ~~(k)~~(l) Restaurants.
 - (1) Class I.
 - (2) Class II under 3,000 square feet without drive-thru.

(Ord. No. 22-2506, 7-18-2022)

30.906 Prohibited use.

- (a) Auto sales - Indoor or outdoor sales.
- (b) Automobile repair.
- (c) Car washes.
- (d) Daycare.
- (e) Drive-thru facilities, except when located south of 105th Avenue NE.
- (f) Fitness centers including yoga and gyms.
- (g) Gas/convenience stores.
- (h) Outdoor storage.
- (i) Pawn shops.
- (j) Self-storage/mini storage.
- (k) Tobacco/vape shop, except for cigar lounge as defined in Section 30.901
- (l) Any uses not listed as permitted, or conditional.

INTRODUCED and read in full this 19th day of August, 2024.

PASSED by the City Council of the City of Blaine the day of , 20 .



City of Blaine Staff Report

File Number: RES 24-157

Agenda Date	Status
August 19, 2024	
In Control	File Type
City Council	Resolution

Administration - Daniel Schluender, Director of Engineering

Agenda Item # 11.1

Resolution Accepting a Bid from Kurilla Contracting in the Amount of \$59,180 for the 2024 Blaine Storm Outlet Project, I/P 24-50

Executive Summary

Accept a bid and approve a contract with Kurilla Contracting for the 2024 Storm Outlet Project, Project No. 24-50. This project was approved in the 2024 Budget.

The project consists of the removal and installation of various storm sewer outlet aprons and pipe, grading around the new pipe and aprons to provide cover over the pipe and match existing ground, and turf restoration throughout the City as shown in the plans.

Background

Bids were received electronically at 10:00 AM, August 7, 2024, for Project No. 24-50. A total of 8 bids were received, ranging from \$59,180.00 to \$112,548.84 with one bid deemed non-responsive. The 3 lowest bidders and Engineer's estimate are as follows:

Engineer's Estimate	\$175,000
Kurilla Contracting	\$59,180.00
Windberg Companies LLC	\$64,477.35
CKC Contracting	\$68,151.32

Bids have been checked and tabulated, and it has been determined that Kurilla Contracting of Buffalo, Minnesota is the lowest bidder. The Engineering Department has not worked with Kurilla Contracting in the past but they have provided example projects for projects completed in other Cities in the area. Staff has contacted a number of these Cities and recommends that the low bid be accepted, and a contract entered into with Kurilla Contracting. City Council is also asked to approve a 10% contingency to bring the total project budget to \$65,098.00. The funding source for this project is the Storm Water

Capital Fund and there are sufficient funds budgeted to cover these costs.

Strategic Plan Relationship

The project aligns with the City's strategic initiatives for providing a Well-maintained Infrastructure.

Board/Commission Review

N/A

Financial Impact

These projects were previously authorized as part of the 2024-2028 Capital Improvement Program (CIP), which was adopted via [resolution 23-207](#) on December 18, 2023. The CIP included outfall replacements at 10710 Taylor Street and Madison & 126th for \$100,000 and \$75,000 respectively. These activities are anticipated to be included in the City's annual bonding request, subject to Council approval, which is tentatively scheduled for October. The annual debt service payments are expected to be repaid by user fees from the Storm Sewer Utility Fund. The scope of each project has been revised, and the bid costs have come in lower than the adopted budget. These projects were identified by staff in 2021 as failing sections of pipe and outfalls that needed to be replaced and were added to the CIP.

2024-2028 Capital Improvement Plan			
Project Name	Project Number	2024 Appropriated Amount	Amending Appropriation Including Contingency
Outfall Replacement - 10710 Taylor Street	U2450*	\$100,000	\$54,549
Outfall Replacement - Madison & 126th	U2450*	\$75,000	\$10,549
TOTAL		\$175,000	\$65,098

**While projects were approved separately as part of the CIP, they have been combined for bidding and construction purposes.*

To date, \$159.58 has been encumbered. This is due to the smaller scale of project engineering services that City staff have completed and not referred to the pool of pre-approved consultants. Staff anticipates improvements to begin and be completed in 2024.

For the outfall replacement on Taylor Street, a significant amount of material needs to be moved along the utility easement between two existing homes. Due to this site constraint, engineering staff originally estimated \$100,000 in the CIP based on discussion with Public Works on available equipment and costs if Public Works were to do this project. Bids came in under budget on the earthwork portion of the project. In addition to cost-savings realized on earthwork, in the original scope of the project a large storm structure was included to be replaced. Once the area was surveyed, staff engineers were able to incorporate the preservation of this structure into the design, which saved on material costs.

For the outfall replacement on Madison Street, the original capital budget included the need to have a tree contractor included on the project to remove large trees in order for the contractor to access the Madison outfall. Since this budget was approved in the Storm Capital Budget, the storm water department has purchased more forestry equipment intended to be used in our storm pond maintenance program. They will be able use this equipment to conduct the tree removal in-house which will reduce the contracted project costs.

Public Outreach/Input

N/A

Staff Recommendation

By motion, adopt the resolution.

Attachment List

1. Bid Tabulation
2. 2024 STORM OUTLET PLANS_BID
3. 2024 Storm Outlet Eng Est



City of Blaine

Signature Copy

Resolution: RES 24-157

Resolution Accepting a Bid from Kurilla Contracting in the Amount of \$59,180 for the 2024 Blaine Storm Outlet Project, I/P 24-50

WHEREAS, pursuant to advertisement for bids for Improvement Project No. 24-50, said bids were received on August 7, 2024, electronically opened and tabulated according to law, and the following 7 bids were received complying with the advertisement:

Kurilla Contracting	\$59,180.00
Windberg Companies LLC	\$64,477.35
CKC Contracting	\$68,151.32
Vinco, Inc.	\$76,147.00
St. Paul Utilities	\$86,692.00
New Look Contracting, Inc.	\$88,932.00
Twin Cities Utilities, LLC	\$112,548.84

AND WHEREAS, Kurilla Contracting of Buffalo, Minnesota is the lowest responsible bidder.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Blaine as follows:

1. The Mayor and City Manager are hereby authorized and directed to enter into a contract with Kurilla Contracting for the designated improvements in the amount of \$59,180.00.
2. A 10% contingency is hereby approved to bring the total project budget to \$65,098 and the City Manager or their designee is hereby authorized to sign all change orders up to the authorized project budget amount.

BE IT FURTHER RESOLVED, that the City Council of the City of Blaine hereby authorizes the following project and budget amendments associated with the 2024 Storm Outlet Project,

2024-2028 Capital Improvement Plan			
Project Name	Project Number	2024 Appropriated Amount	Amending Appropriation Including Contingency
Outfall Replacement - 10710 Taylor Street	U2450*	\$100,000	\$54,549
Outfall Replacement - Madison & 126th	U2450*	\$75,000	\$10,549

TOTAL	\$175,000	\$65,098
--------------	------------------	-----------------

PASSED by the City Council of the City of Blaine this 19th day of August, 2024.

2024 Blaine Storm Outlet Project (#9230603)
Owner: Blaine MN, City of
Solicitor: Blaine MN, City of - Engineering Department
08/07/2024 10:00 AM CDT

					Engineer Estimate		Kurilla Contracting		Winberg Companies LLC		CKC Contracting		Vinco, Inc	
Line Item	Item Code	Item Description	UoM	Quantity	Unit Price	Extension	Unit Price	Extension	Unit Price	Extension	Unit Price	Extension	Unit Price	Extension
BASE BID - SCHEDULE A - TAYLOR STREET														
1	2021.501	MOBILIZATION	LS	1	\$9,830.00	\$9,830.00	\$5,500.00	\$5,500.00	\$6,300.00	\$6,300.00	\$1,300.00	\$1,300.00	\$3,000.00	\$3,000.00
2	2101.501	CLEAR AND GRUB	LS	1	\$3,500.00	\$3,500.00	\$3,000.00	\$3,000.00	\$3,150.00	\$3,150.00	\$4,960.00	\$4,960.00	\$1,000.00	\$1,000.00
3	2104.502	REMOVE CONCRETE APRON	EACH	2	\$750.00	\$1,500.00	\$750.00	\$1,500.00	\$210.00	\$420.00	\$875.00	\$1,750.00	\$275.00	\$550.00
4	2104.503	REMOVE CONCRETE STORM PIPE	LF	16	\$25.00	\$400.00	\$55.00	\$880.00	\$47.25	\$756.00	\$95.00	\$1,520.00	\$135.00	\$2,160.00
5	2104.503	SALVAGE AND REINSTALL CHAIN LINK FENCE	LF	51	\$35.00	\$1,785.00	\$130.00	\$6,630.00	\$68.25	\$3,480.75	\$53.00	\$2,703.00	\$20.00	\$1,020.00
6	2105.607	COMMON BORROW (LV)	CY	146	\$70.00	\$10,220.00	\$30.00	\$4,380.00	\$47.25	\$6,898.50	\$87.00	\$12,702.00	\$31.00	\$4,526.00
7	2501.502	15" RC PIPE APRON	EACH	1	\$1,750.00	\$1,750.00	\$1,750.00	\$1,750.00	\$1,260.00	\$1,260.00	\$2,010.00	\$2,010.00	\$3,330.00	\$3,330.00
8	2503.503	15" RC PIPE SEWER DESIGN 3006 CLASS III	LF	8	\$150.00	\$1,200.00	\$130.00	\$1,040.00	\$236.25	\$1,890.00	\$179.00	\$1,432.00	\$185.00	\$1,480.00
9	2503.503	21" RC PIPE SEWER DESIGN 3006 CLASS III	LF	101	\$150.00	\$15,150.00	\$120.00	\$12,120.00	\$136.50	\$13,786.50	\$111.00	\$11,211.00	\$150.00	\$15,150.00
10	2503.602	CONNECT TO EXISTING STORM SEWER	EACH	2	\$2,000.00	\$4,000.00	\$1,750.00	\$3,500.00	\$1,029.00	\$2,058.00	\$1,060.00	\$2,120.00	\$750.00	\$1,500.00
11	2506.502	CONST DRAINAGE STRUCTURE DES SD-60	EACH	1	\$6,500.00	\$6,500.00	\$6,000.00	\$6,000.00	\$6,825.00	\$6,825.00	\$8,600.00	\$8,600.00	\$22,100.00	\$22,100.00
12	2573.503	SEDIMENT CONTROL LOG TYPE STRAW	LF	35	\$5.00	\$175.00	\$10.00	\$350.00	\$10.50	\$367.50	\$16.00	\$560.00	\$7.00	\$245.00
13	2575.501	TURF ESTABLISHMENT - SEEDING	LS	1	\$2,500.00	\$2,500.00	\$2,000.00	\$2,000.00	\$2,819.25	\$2,819.25	\$2,550.00	\$2,550.00	\$2,600.00	\$2,600.00
14	2575.504	ROLLED EROSION PREVENTION CATEGORY 10	SY	94	\$5.00	\$470.00	\$10.00	\$940.00	\$8.40	\$789.60	\$26.00	\$2,444.00	\$24.00	\$2,256.00
Subtotal					\$ 58,980.00		\$ 49,590.00		\$ 50,801.10		\$ 55,862.00		\$ 60,917.00	
BASE BID - SCHEDULE B - MADISON STREET														
15	2021.501	MOBILIZATION	LS	1	\$1,630.00	\$1,630.00	\$3,000.00	\$3,000.00	\$4,725.00	\$4,725.00	\$1,300.00	\$1,300.00	\$1,000.00	\$1,000.00
16	2104.502	REMOVE CONCRETE APRON	EACH	1	\$1,250.00	\$1,250.00	\$750.00	\$750.00	\$262.50	\$262.50	\$1,060.00	\$1,060.00	\$1,200.00	\$1,200.00
17	2104.503	REMOVE CONCRETE STORM PIPE	LF	8	\$25.00	\$200.00	\$100.00	\$800.00	\$78.75	\$630.00	\$177.79	\$1,422.32	\$156.25	\$1,250.00
18	2501.502	18" RC PIPE APRON	EACH	1	\$1,750.00	\$1,750.00	\$1,200.00	\$1,200.00	\$1,890.00	\$1,890.00	\$1,749.00	\$1,749.00	\$3,200.00	\$3,200.00
19	2503.503	18" RC PIPE SEWER DESIGN 3006 CLASS III	LF	8	\$150.00	\$1,200.00	\$50.00	\$400.00	\$262.50	\$2,100.00	\$139.00	\$1,112.00	\$330.00	\$2,640.00
20	2511.507	RANDOM RIPRAP CLASS III	CY	6	\$175.00	\$1,050.00	\$140.00	\$840.00	\$173.25	\$1,039.50	\$416.00	\$2,496.00	\$210.00	\$1,260.00
21	2573.503	SEDIMENT CONTROL LOG TYPE STRAW	LF	40	\$5.00	\$200.00	\$15.00	\$600.00	\$15.75	\$630.00	\$15.00	\$600.00	\$7.00	\$280.00
22	2575.501	TURF ESTABLISHMENT - SEEDING & BLANKET	LS	1	\$2,500.00	\$2,500.00	\$2,000.00	\$2,000.00	\$2,399.25	\$2,399.25	\$2,550.00	\$2,550.00	\$4,400.00	\$4,400.00
Subtotal					\$ 9,780.00		\$ 9,590.00		\$ 13,676.25		\$ 12,289.32		\$ 15,230.00	
Total Bid Schedule					\$ 68,760.00		\$ 59,180.00		\$ 64,477.35		\$ 68,151.32		\$ 76,147.00	

2024 Blaine Storm Outlet Project (#9230603)
Owner: Blaine MN, City of
Solicitor: Blaine MN, City of - Engineering Department
08/07/2024 10:00 AM CDT

Bid Rejected Due to Lack of
Signed Bid Proposal Sheet,
Affidavit of Non-Collusion and

					St Paul Utilities		New Look Contracting, Inc.		Twin Cities Utilities LLC		Fields Contracting LLC	
Line Item	Item Code	Item Description	UoM	Quantity	Unit Price	Extension	Unit Price	Extension	Unit Price	Extension	Unit Price	Extension
BASE BID - SCHEDULE A - TAYLOR STREET												
1	2021.501	MOBILIZATION	LS	1	\$5,000.00	\$5,000.00	\$12,500.00	\$12,500.00	\$9,423.08	\$9,423.08		
2	2101.501	CLEAR AND GRUB	LS	1	\$5,000.00	\$5,000.00	\$11,750.00	\$11,750.00	\$50,615.38	\$50,615.38		
3	2104.502	REMOVE CONCRETE APRON	EACH	2	\$1,500.00	\$3,000.00	\$1,000.00	\$2,000.00	\$596.62	\$1,193.24		
4	2104.503	REMOVE CONCRETE STORM PIPE	LF	16	\$40.00	\$640.00	\$65.00	\$1,040.00	\$74.58	\$1,193.28		
5	2104.503	SALVAGE AND REINSTALL CHAIN LINK FENCE	LF	51	\$80.00	\$4,080.00	\$110.00	\$5,610.00	\$20.84	\$1,062.84		
6	2105.607	COMMON BORROW (LV)	CY	146	\$12.00	\$1,752.00	\$41.00	\$5,986.00	\$48.21	\$7,038.66		
7	2501.502	15" RC PIPE APRON	EACH	1	\$3,500.00	\$3,500.00	\$2,150.00	\$2,150.00	\$1,495.56	\$1,495.56		
8	2503.503	15" RC PIPE SEWER DESIGN 3006 CLASS III	LF	8	\$90.00	\$720.00	\$100.00	\$800.00	\$98.77	\$790.16		
9	2503.503	21" RC PIPE SEWER DESIGN 3006 CLASS III	LF	101	\$80.00	\$8,080.00	\$128.00	\$12,928.00	\$85.09	\$8,594.09		
10	2503.602	CONNECT TO EXISTING STORM SEWER	EACH	2	\$13,000.00	\$26,000.00	\$1,200.00	\$2,400.00	\$811.29	\$1,622.58		
11	2506.502	CONST DRAINAGE STRUCTURE DES SD-60	EACH	1	\$9,000.00	\$9,000.00	\$9,000.00	\$9,000.00	\$6,461.59	\$6,461.59		
12	2573.503	SEDIMENT CONTROL LOG TYPE STRAW	LF	35	\$8.00	\$280.00	\$12.00	\$420.00	\$5.55	\$194.25		
13	2575.501	TURF ESTABLISHMENT - SEEDING	LS	1	\$4,000.00	\$4,000.00	\$2,500.00	\$2,500.00	\$4,307.69	\$4,307.69		
14	2575.504	ROLLED EROSION PREVENTION CATEGORY 10	SY	94	\$10.00	\$940.00	\$5.00	\$470.00	\$5.38	\$505.72		
Subtotal					\$ 71,992.00		\$ 69,554.00		\$ 94,498.12		\$ -	
BASE BID - SCHEDULE B - MADISON STREET												
15	2021.501	MOBILIZATION	LS	1	\$5,000.00	\$5,000.00	\$6,500.00	\$6,500.00	\$8,583.08	\$8,583.08		
16	2104.502	REMOVE CONCRETE APRON	EACH	1	\$500.00	\$500.00	\$2,350.00	\$2,350.00	\$694.94	\$694.94		
17	2104.503	REMOVE CONCRETE STORM PIPE	LF	8	\$40.00	\$320.00	\$128.00	\$1,024.00	\$86.87	\$694.96		
18	2501.502	18" RC PIPE APRON	EACH	1	\$3,000.00	\$3,000.00	\$3,950.00	\$3,950.00	\$1,586.73	\$1,586.73		
19	2503.503	18" RC PIPE SEWER DESIGN 3006 CLASS III	LF	8	\$95.00	\$760.00	\$158.00	\$1,264.00	\$103.37	\$826.96		
20	2511.507	RANDOM RIPRAP CLASS III	CY	6	\$300.00	\$1,800.00	\$260.00	\$1,560.00	\$189.06	\$1,134.36		
21	2573.503	SEDIMENT CONTROL LOG TYPE STRAW	LF	40	\$8.00	\$320.00	\$12.00	\$480.00	\$5.55	\$222.00		
22	2575.501	TURF ESTABLISHMENT - SEEDING & BLANKET	LS	1	\$3,000.00	\$3,000.00	\$2,250.00	\$2,250.00	\$4,307.69	\$4,307.69		
Subtotal					\$ 14,700.00		\$ 19,378.00		\$ 18,050.72		\$ -	
Total Bid Schedule					\$ 86,692.00		\$ 88,932.00		\$ 112,548.84		\$ -	

CONSTRUCTION PLANS FOR:
IMPROVEMENT PROJECT 24-50
2024 BLAINE STORM OUTLET PROJECT

PROJECT LOCATION MAP

LEGEND

EXISTING

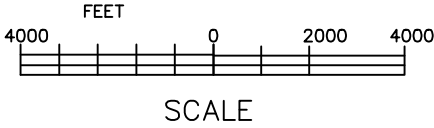
- STORM SEWER & MANHOLE
- SANITARY SEWER & MANHOLE
- WATERMAIN, HYDRANT, VALVE & MANHOLE
- CULVERT
- BULKHEAD
- UNDERGROUND TELEPHONE LINE
- TELEPHONE MANHOLE
- UNDERGROUND ELECTRIC LINE
- ELECTRIC MANHOLE
- GAS MAIN & VALVE
- STREET LIGHT
- MAILBOX
- TRAFFIC SIGN
- STREET SIGN
- POWER POLE W/ GUY WIRE
- DECIDUOUS TREE
- CONIFEROUS TREE
- BUSH - SHRUB
- HEDGE
- WOODED AREA
- FENCE
- GUARD RAIL
- DITCH
- TRAFFIC SIGNAL POLE
- HANDHOLE
- CONCRETE CURB & GUTTER
- BITUMINOUS CURB
- CONCRETE PAVEMENT
- BUILDING
- SECTION LINE
- QUARTER LINE
- SIXTEENTH LINE
- RIGHT OF WAY LINE

PROPOSED

- CONSTRUCTION LIMITS
- CONSTRUCTION CENTERLINE
- RIGHT OF WAY LINE
- STORM SEWER & MANHOLE
- SANITARY SEWER & MANHOLE
- WATERMAIN, HYDRANT, VALVE & MANHOLE
- CULVERT
- CATCH BASIN
- BULKHEAD
- CONCRETE CURB & GUTTER

NOTES:

- THE EXACT LOCATION OF UNDERGROUND UTILITIES SUCH AS GAS, TELEPHONE, FIBEROPTIC, ELECTRIC, CABLE TV AND PIPELINES ARE UNKNOWN. THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL BEFORE COMMENCING AND CONSTRUCTION OR EXCAVATION. GOPHER STATE ONE CALL SYSTEM.....1-800-252-166
- THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CI/ASCE 38-02, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA."
- ALL TRAFFIC CONTROL DEVICES AND SIGNING SHALL CONFORM TO THE MMUTCD, INCLUDING "FIELD MANUAL FOR TEMPORARY TRAFFIC CONTROL ZONE LAYOUTS" - CURRENT EDITION.
- THE 2020 EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AND THE 2020 EDITION OF THE MATERIALS LAB SUPPLEMENTAL FOR CONSTRUCTION SHALL GOVERN EXCEPT AS MODIFIED BY THE SPECIFICATIONS FOR THIS PROJECT.



ENGINEERING DEPARTMENT
10801 Town Square Dr NE Blaine, Minnesota 55449
Phone (763) 785-6172

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Brent Larson
BRENT LARSON, PE

Date: 7/16/2024 Minnesota Lic. No. 45850

INDEX TO PLANS

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2-3	QUANTITIES, DETAILS AND NOTES
4-5	TAYLOR STREET OUTLET PLAN
6	MADISON STREET OUTLET PLAN

PROJECT LOCATION

Jul 16, 2024 -- 9:04am
H:\Team\GISEng\Public Projects\2024 Project List\24-50 Taylor & Madison St Outfall_PLANS.dwg

STATEMENT OF ESTIMATED QUANTITIES				
ITEM NO.	SPEC. REF.	DESCRIPTION	UNIT	ESTIMATED QUANTITY
Bid Schedule A - Taylor Street				
1	2021.501	MOBILIZATION	LS	1
2	2101.501	CLEAR AND GRUB	LS	1
3	2104.502	REMOVE CONCRETE APRON	EACH	2
4	2104.503	REMOVE CONCRETE STORM PIPE	LF	16
5	2104.503	SALVAGE AND REINSTALL CHAIN LINK FENCE	LF	51
6	2105.607	COMMON BORROW (LV)	CY	146
7	2501.502	15" RC PIPE APRON	EACH	1
8	2503.503	15" RC PIPE SEWER DESIGN 3006 CLASS III	LF	8
9	2503.503	21" RC PIPE SEWER DESIGN 3006 CLASS III	LF	101
10	2503.602	CONNECT TO EXISTING STORM SEWER	EACH	2
11	2506.502	CONST DRAINAGE STRUCTURE DES SD-60	EACH	1
12	2573.503	SEDIMENT CONTROL LOG TYPE STRAW	LF	35
13	2575.501	TURF ESTABLISHMENT - SEEDING	LS	1
14	2575.504	ROLLED EROSION PREVENTION CATEGORY 10	SY	94
Bid Schedule B - Madison Street				
15	2021.501	MOBILIZATION	LS	1
16	2104.502	REMOVE CONCRETE APRON	EACH	1
17	2104.503	REMOVE CONCRETE STORM PIPE	LF	8
18	2501.502	18" RC PIPE APRON	EACH	1
19	2503.503	18" RC PIPE SEWER DESIGN 3006 CLASS III	LF	8
20	2511.507	RANDOM RIPRAP CLASS III	CY	6
21	2573.503	SEDIMENT CONTROL LOG TYPE STRAW	LF	40
22	2575.501	TURF ESTABLISHMENT - SEEDING & BLANKET	LS	1

REFERENCE NOTES:

1. CLEAR AND GRUB ONLY TREES AND/OR BUSHES NECESSARY TO INSTALL PIPE AS SHOWN IN THE PLANS. TREES ON PRIVATE PROPERTY SHALL BE PROTECTED.
2. STRIP TOPSOIL PRIOR TO GRADING OR PIPE INSTALLATION. RESPREAD ONCE FILL IS INSTALLED AND GRADING IS COMPLETE.
3. STORM STRUCTURE SHALL HAVE A NEENAH R-1733 FRAME AND CASTING.
4. TURF ESTABLISHMENT SHALL INCLUDE FINE GRADING AND SOIL PREPARATION INCLUDING PLACING STRIPPED TOPSOIL IN ALL DISTURBED AREAS TO MATCH THE NEW SURFACE TO EXISTING GROUND. TURF ESTABLISHMENT ITEMS SHALL BE AS FOLLOWS:

4.1. TAYLOR STREET AREA – MNDOT SEED MIX 36-261, TYPE 4 FERTILIZER AT 150 LBS/AC, AND DISK ANCHORED TYPE 1 MULCH OR HYDRO-MULCH. FIBER BLANKET SHALL USED WHERE SHOWN AND SHALL BE CATEGORY 10 WITH WOOD OR BIODEGRADABLE PLANT BASED PLASTIC OR OTHER EQUIVALENT ANCHORS.

4.2. MADISON STREET AREA – MNDOT SEED MIX 36-261, TYPE 4 FERTILIZER AT 150 LBS/AC, AND CATEGORY 10 FIBER BLANKET WITH WOOD OR BIODEGRADABLE PLANT BASED PLASTIC OR OTHER EQUIVALENT ANCHORS SHALL BE USED OVER ENTIRE DISTURBED AREA.

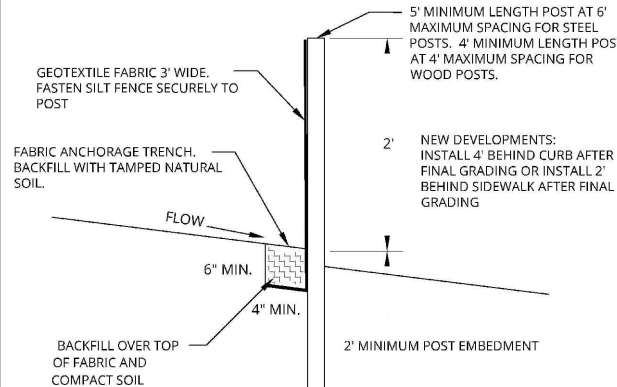
4.3. RESTORATION SHALL BE COMPLETED WITHIN 24 HOURS OF COMPLETION OF EARTH DISTURBING ACTIVITIES.

GENERAL NOTES:

1. ALL CONSTRUCTION SHALL BE PER BLAINE SPECIFICATIONS, SPECIAL CONDITIONS OF THE CONTRACT, AND MNDOT STANDARD SPECIFICATIONS UNLESS OTHERWISE NOTED IN THESE PLANS.
2. A PRE-CONSTRUCTION MEETING SHALL BE HELD A MINIMUM OF 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
3. ALL PERIMETER SEDIMENT AND EROSION CONTROL SHALL BE IN PLACE PRIOR TO ANY EARTH DISTURBING ACTIVITIES.
4. THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO COMMENCING ANY EXCAVATION.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY SURVEYING NECESSARY TO COMPLETE THE PROJECT AS DESIGNED.
6. SOILS AND STOCKPILE SHALL BE STABILIZED WITHIN 7 DAYS (MAXIMUM) OF INACTIVITY UNLESS OTHERWISE STATED IN THE PLANS.
7. CONTRACTOR SHALL SWEEP STREETS BY THE END OF EACH DAY WITH A PICKUP BROOM WHERE SEDIMENT MAY HAVE TRANSPORTED.

	ENGINEERING DEPARTMENT 10801 Town Square Drive, Blaine, Minnesota 55449 Phone (763) 785-6172	I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional engineer under the laws of the State of Minnesota.  Date <u>7/16/24</u> Reg. No. <u>45850</u>	DATE	REVISION	PROJECT NO.		QUANTITIES AND NOTES CITY PROJ. NO. 24-50 2024 BLAINE STORM OUTLET PROJECT SHEET NO. 2 OF 6 SHEETS
					DESIGN BY: BML	DRAWN BY: BML	
					CHECKED BY:	APPROVED BY:	
					AS BUILT BY:		

- USE PROPER EQUIPMENT SUCH THAT THE SOIL IS SLICED, NOT TURNED OVER.
- GEOTEXTILE FABRIC EMBEDDED 8" TO 12" IN THE SOIL SLIT, LEAVING ABOUT 2' OF FABRIC ABOVE GROUND.
- COMPACT THE SOIL IMMEDIATELY NEXT TO THE GEOTEXTILE BY DRIVING OVER IT WITH A TRACTOR TIRE AT LEAST TWICE.
- STEEL T-POSTS PLACED ON DOWNSTREAM SIDE OF WATER FLOW EMBEDDED AT LEAST 2' INTO THE GROUND. MAXIMUM SPACING 6'. NIPPLES ON POST FACE AWAY FROM THE GEOTEXTILE TO KEEP TIES FROM SLIPPING ON POST.
- FOR STEEL POSTS USE 3 PLASTIC ZIP TIES (50 LB TENSILE) AT LEAST 1" APART TO SECURE THE GEOTEXTILE TO EACH POST WITHIN THE TOP 8".
- FENCE SHALL BE HEAVY DUTY TYPE.
- USE WOOD LATHE AND STAPLES ON FACE OF SILT FENCE TO SECURE TO WOOD POSTS.
- CONTRACTOR SHALL REMOVE FENCE AND POSTS PER SPECIFICATIONS.



SILT FENCE MATERIALS SHALL MEET MNDOT SPECIFICATION 3886
CONTRACTOR SHALL REMOVE FENCE AND POSTS PER SPECIFICATIONS.

HEAVY DUTY SILT FENCE

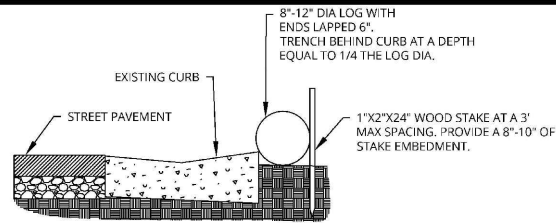
Plate No. EC-2



2024 STANDARD DETAIL PLATE

City of Blaine - Engineering Department

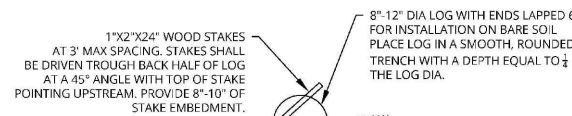
10801 Town Square Drive NE, Blaine, Minnesota 55449 763-785-6172 Fax 763-785-6139



CURB INSTALLATION



FIELD INSTALLATION USING MULCH OR COMPOST



FIELD INSTALLATION USING STRAW OR WOOD FIBER

SEDIMENT CONTROL LOG INSTALLATION

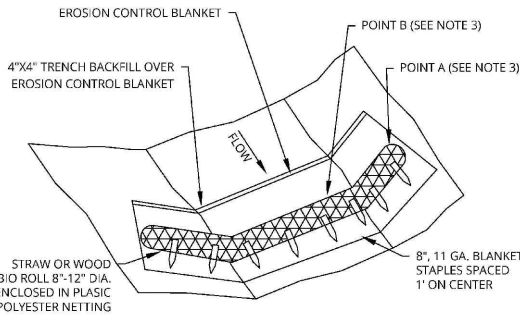
Plate No. EC-8



2024 STANDARD DETAIL PLATE

City of Blaine - Engineering Department

10801 Town Square Drive NE, Blaine, Minnesota 55449 763-785-6172 Fax 763-785-6139



NOTES:

1. SEE DETAIL EC-8 FOR BIOROLL STAKE INSTALLATION.
2. APPROXIMATE SPACING OF DITCH CHECK (FT) = $\frac{\text{DITCH CHECK HEIGHT(FT)}}{\% \text{ CHANNEL SLOPE}} \times 100$
3. POINT "A" MUST BE A MINIMUM OF 6 INCHES HIGHER THAN POINT "B" TO ENSURE THAT WATER FLOWS OVER THE DITCH CHECK AND NOT AROUND THE ENDS.

BIOROLL BLANKET SYSTEM DITCH CHECK

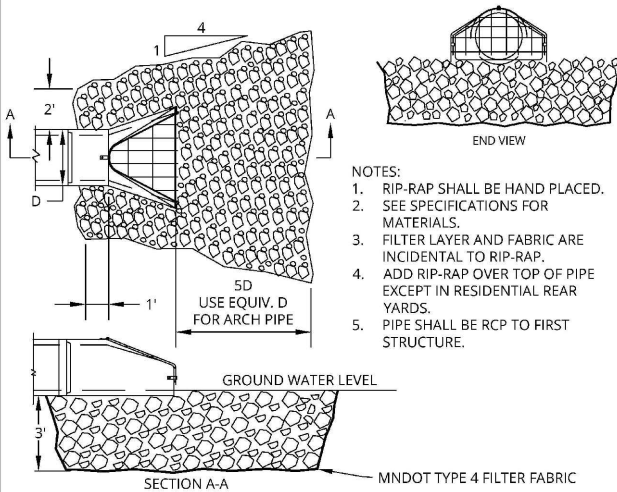
Plate No. EC-9



2024 STANDARD DETAIL PLATE

City of Blaine - Engineering Department

10801 Town Square Drive NE, Blaine, Minnesota 55449 763-785-6172 Fax 763-785-6139



NOTES:

1. RIP-RAP SHALL BE HAND PLACED.
2. SEE SPECIFICATIONS FOR MATERIALS.
3. FILTER LAYER AND FABRIC ARE INCIDENTAL TO RIP-RAP.
4. ADD RIP-RAP OVER TOP OF PIPE EXCEPT IN RESIDENTIAL REAR YARDS.
5. PIPE SHALL BE RCP TO FIRST STRUCTURE.

RIP-RAP QUANTITIES (C.Y.)					
PIPE DIA.	RIP-RAP	PIPE DIA.	RIP-RAP	PIPE DIA.	RIP-RAP
12"	6	24"	14	42"	35
15"	8	27"	17	48"	43
18"	9	30"	21	54"	50
21"	12	36"	28	60"	58

HEAVY DUTY TRASH GUARD REQUIRED ON:
-UPSTREAM APRONS
-DOWNSTREAM APRONS 30" OR LARGER IN MAINTAINED RESIDENTIAL AREAS
-NO TRASH GUARD ON DITCH CROSSINGS UNLESS OTHERWISE DIRECTED

RIP-RAP FOR OUTLET TO
WET DITCH OR BASIN

Plate No. SD-3



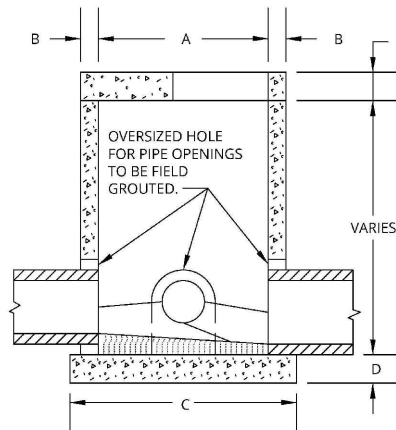
2024 STANDARD DETAIL PLATE

City of Blaine - Engineering Department

10801 Town Square Drive NE, Blaine, Minnesota 55449 763-785-6172 Fax 763-785-6139

- NOTES:
1. 54" THRU 120" DIA. STRUCTURES ARE MANUFACTURED WITH BELL END END FACING DOWN.
 2. STRUCTURES ARE MANUFACTURED IN ACCORDANCE WITH ASTM C-478 AND MNDOT STANDARD PLATE 4005 WITH RUBBER GASKET JOINTS.
 3. REFER TO BLAINE DETAIL MI-3 FOR CASTING, ADJUSTING RINGS, AND STEPS.
 4. PROVIDE MORTAR FILLETS TO FIT THE BOTTOM PORTION OF PIPE TO DIRECT FLOW TO OUTLET HALF-WAY UP PIPE MINIMUM.
 5. COVER SLAB DESIGN VARIES WITH CASTING.
 6. REINFORCING STEEL SHALL BE PER ASTM C-478 AND MNDOT PLATE 4005.

A	B	C	D	E
48"	5"	64"	6"	6"
54"	5.5"	72"	8"	8"
60"	6"	78"	8"	8"
66"	6.5"	85"	8"	8"
72"	7"	92"	8"	8"
78"	7.5"	100"	8"	8"
84"	8"	106"	8"	8"
90"	8.5"	114"	8"	8"
96"	9"	120"	8"	8"
102"	9.5"	127"	12"	8"
108"	10"	132"	12"	12"
120"	10"	146"	12"	12"



STANDARD STORM SEWER CATCH BASIN/MANHOLE & MANHOLE

Plate No. SD-6

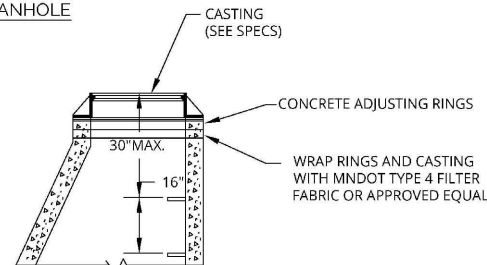


2024 STANDARD DETAIL PLATE

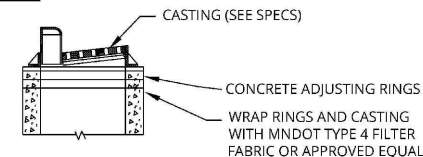
City of Blaine - Engineering Department

10801 Town Square Drive NE, Blaine, Minnesota 55449 763-785-6172 Fax 763-785-6139

MANHOLE



CATCHBASIN



NOTES:

1. USE MINIMUM OF 2-0.2' ADJUSTING RINGS, MAXIMUM OF 5-0.2' ADJUSTING RINGS. GROUT RINGS 1/4" MIN.
2. MANHOLE STEPS SHALL BE PER MNDOT PLATE 4180, TYPE W. STEPS SHALL BE LOCATED ON UPSTREAM WALL FOR PIPE SIZES UP TO AND INCLUDING 15" AND ON SIDE WALL FOR GREATER THAN 15".
3. LIDS FOR SANITARY SEWER SHALL BE MARKED "SANITARY" AND LIDS FOR STORM SEWERS SHALL BE MARKED "STORM".
4. NO WOOD SHIMS WILL BE ALLOWED.

ADJUSTING RINGS & STEPS

Plate No. MI-3



2024 STANDARD DETAIL PLATE

City of Blaine - Engineering Department

10801 Town Square Drive NE, Blaine, Minnesota 55449 763-785-6172 Fax 763-785-6139



ENGINEERING DEPARTMENT

10801 Town Square Drive, Blaine, Minnesota 55449

Phone (763) 785-6172

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional engineer under the laws of the State of Minnesota.

Date 7/16/24 Reg. No. 45850

DATE

REVISION

PROJECT NO.

DESIGN BY: BML

DRAWN BY: BML

CHECKED BY:

APPROVED BY:

AS BUILT BY:

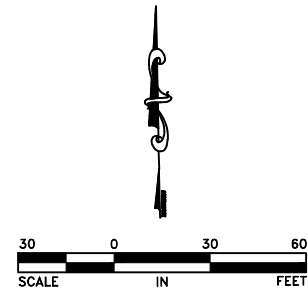
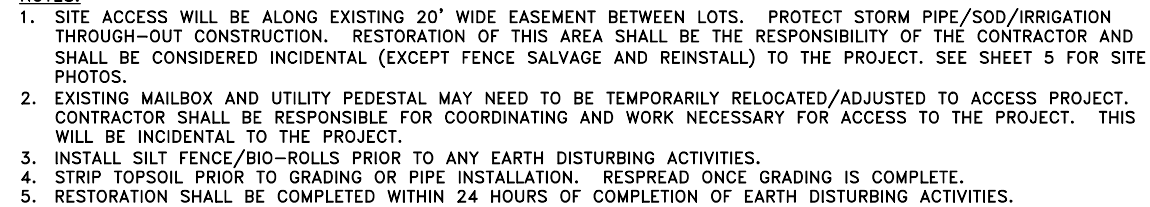
DETAILS

CITY PROJ. NO. 24-50
2024 BLAINE STORM OUTLET PROJECT

SHEET NO. 3 OF 6 SHEETS

Page 82 of 90

EXISTING CONDITIONS AND REMOVALS



Phone (763) 785-6172

Date 7/16/24 Reg. No. 45850

AS BUILT BY:	
--------------	--

SHEET NO. 4 OF 6 SHEETS

14 LF 15" RCP
(INCLUDES FES LENGTH)
@ 20.2%
(TIE PIPE AND APRON TOGETHER)

(1) CONNECT TO EXISTING STORM

85 LF 21" RCP
@ 0.25%

EX. 21" RCP APRON
INV 892.51

EX. CBMH 1 (BEEHIVE CASTING)
RIM 899.88
INV (W) 894.14
NEW INV (W) 894.25

60" DIA MH
NEENAH 1733 CASTING
RIM 900.70
INV (E) 897.45
INV (N,W) 894.46

EX. 4" DRAINTILE

FES 101
15" RCP APRON
INV 897.30

10720

(BENCHMARK)
EX. 21" RC APRON
INV 897.48

21" RC PIPE

EX. SHED

10710

16 LF 21" RCP
@ 0.21%
(TIE NEW PIPE TOGETHER
AND TO EXISTING PIPE)

PROTECT EXISTING DRAINTILE

TAYLOR ST

10700

SCALE 0 30 60
IN FEET

10710 & 10720 TAYLOR STREET



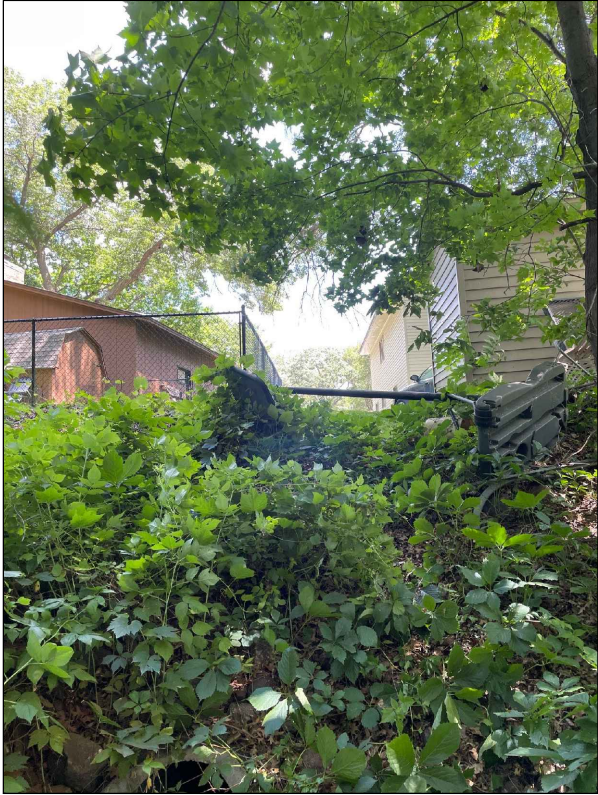
STREET VIEW
LOOKING WEST
ALONG LOT LINE
TOWARD REAR YARD



LOOKING WEST DOWN
LOT LINE TOWARD
REAR YARD



LOOKING WEST,
CHAIN LINK FENCE
ON LOT LINE



LOOKING EAST,
STANDING AT EX.
FES 1



STANDING AT EX.
FES 1, LOOKING
WEST AT EX. FES 2



LOOKING WEST AT
EX. FES 2



LOOKING EAST AT
EX. CBMH 101



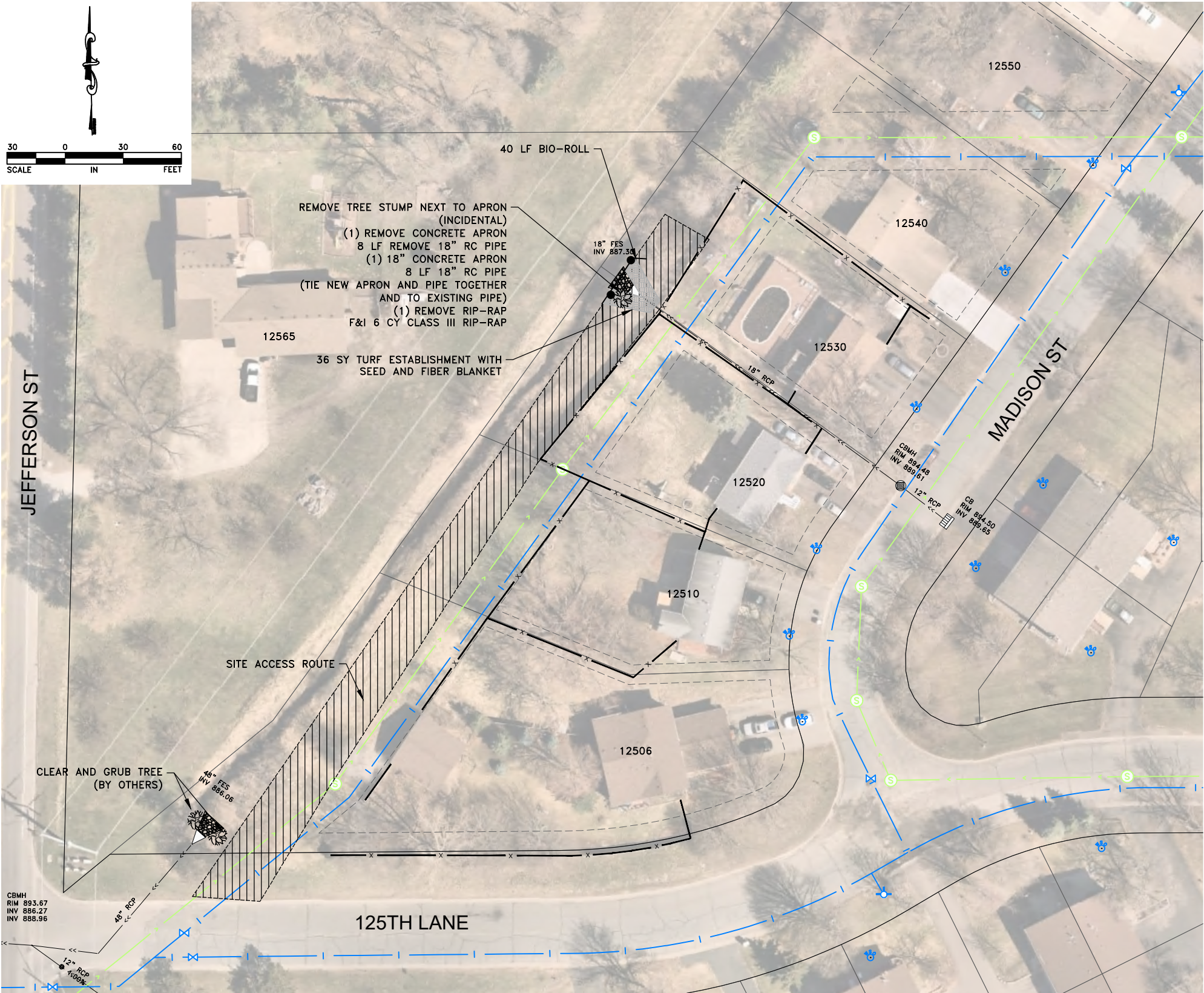
ENGINEERING DEPARTMENT
10801 Town Square Drive, Blaine, Minnesota 55449
Phone (763) 785-6172

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional engineer under the laws of the State of Minnesota.
[Signature]
Date 7/16/24 Reg. No. 45850

DATE	REVISION	PROJECT NO.
		DESIGN BY: BML DRAWN BY: BML
		CHECKED BY: APPROVED BY:
		AS BUILT BY:

TAYLOR STREET OUTFALL
CITY PROJ. NO. 24-50
2024 BLAINE STORM OUTLET PROJECT

12520 & 12530 MADISON STREET



- NOTES:
- 1. SITE ACCESS WILL BE ALONG EXISTING EASEMENT BETWEEN REAR OF LOTS/FENCES AND DITCH (TYPICALLY 20' TO 40'+ WIDE). PROTECT ALL EXISTING SANITARY STRUCTURES/FENCES/IRRIGATION THROUGH-OUT CONSTRUCTION. RESTORATION OF THIS AREA SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT.
 - 2. INSTALL SILT FENCE/BIO-ROLLS PRIOR TO ANY EARTH DISTURBING ACTIVITIES.
 - 3. STRIP TOPSOIL PRIOR TO GRADING OR PIPE INSTALLATION. RESPREAD ONCE GRADING IS COMPLETE.
 - 4. RESTORATION SHALL BE COMPLETED WITHIN 24 HOURS OF COMPLETION OF EARTH DISTURBING ACTIVITIES.



ENGINEERING DEPARTMENT
10801 Town Square Drive, Blaine, Minnesota 55449
Phone (763) 785-6172

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional engineer under the laws of the State of Minnesota.
[Signature]
Date 7/16/24 Reg. No. 45850

DATE	REVISION	PROJECT NO.
		DESIGN BY: BML DRAWN BY: BML
		CHECKED BY: APPROVED BY:
		AS BUILT BY:

MADISON STREET OUTFALL
CITY PROJ. NO. 24-50
2024 BLAINE STORM OUTLET PROJECTS
SHEET NO. 6 OF 6 SHEETS

CITY OF BLAINE

2024 BLAINE STORM OUTLET ROJECT PROJECT NO. 24-50 ENGINEER'S ESTIMATE

7/16/24

Bid Schedule A - Taylor Street

Item No.	Spec. Ref	Description	Unit	Total Estimated Quantity	Est. Unit Price	Total Estimated Extension
1	2021.501	MOBILIZATION	LS	1	\$ 9,830.00	\$ 9,830.00
2	2101.501	CLEAR AND GRUB	LS	1	\$ 3,500.00	\$ 3,500.00
3	2104.502	REMOVE CONCRETE APRON	EA	2	\$ 750.00	\$ 1,500.00
4	2104.503	REMOVE CONCRETE STORM PIPE	LF	16	\$ 25.00	\$ 400.00
5	2104.503	SALVAGE AND REINSTALL CHAIN LINK FENCE	LF	51	\$ 35.00	\$ 1,785.00
6	2105.607	COMMON BORROW (LV)	CY	146	\$ 70.00	\$ 10,220.00
7	2501.502	15" RC PIPE APRON	EACH	1	\$ 1,750.00	\$ 1,750.00
8	2503.503	15" RC PIPE SEWER DESIGN 3006 CLASS III	LF	8	\$ 150.00	\$ 1,200.00
9	2503.503	21" RC PIPE SEWER DESIGN 3006 CLASS III	LF	101	\$ 150.00	\$ 15,150.00
10	2503.602	CONNECT TO EXISTING STORM SEWER	EACH	2	\$ 2,000.00	\$ 4,000.00
11	2506.502	CONST DRAINAGE STRUCTURE DES SD-60	EACH	1	\$ 6,500.00	\$ 6,500.00
12	2573.503	SEDIMENT CONTROL LOG TYPE STRAW	LF	35	\$ 5.00	\$ 175.00
13	2575.501	TURF ESTABLISHMENT - SEEDING	LS	1	\$ 2,500.00	\$ 2,500.00
14	2575.504	ROLLED EROSION PREVENTION CATEGORY 10	SY	94	\$ 5.00	\$ 470.00
SUBTOTAL						\$ 58,980.00

Bid Schedule B - Madison Street

Item No.	Spec. Ref	Description	Unit	Total Estimated Quantity	Est. Unit Price	Total Estimated Extension
15	2021.501	MOBILIZATION	LS	1	\$ 1,630.00	\$ 1,630.00
16	2104.502	REMOVE CONCRETE APRON	EA	1	\$ 1,250.00	\$ 1,250.00
17	2104.503	REMOVE CONCRETE STORM PIPE	LF	8	\$ 25.00	\$ 200.00
18	2501.502	18" RC PIPE APRON	EACH	1	\$ 1,750.00	\$ 1,750.00
19	2503.503	18" RC PIPE SEWER DESIGN 3006 CLASS III	LF	8	\$ 150.00	\$ 1,200.00
20	2511.507	RANDOM RIPRAP CLASS III	CY	6	\$ 175.00	\$ 1,050.00
21	2573.503	SEDIMENT CONTROL LOG TYPE STRAW	LF	40	\$ 5.00	\$ 200.00
22	2575.501	TURF ESTABLISHMENT - SEEDING & BLANKET	LS	1	\$ 2,500.00	\$ 2,500.00
SUBTOTAL						\$ 9,780.00

Bid Schedule A - Taylor Street	\$ 58,980.00
Bid Schedule B - Madison Street	\$ 9,780.00
Total	\$ 68,760.00
10% CONTINGENCY	\$ 6,876.00
TOTAL	\$ 75,636.00



City of Blaine

Staff Report

File Number: ORD 24-2562

Agenda Date	Status
August 19, 2024	
In Control	File Type
City Council	Ordinance

Administration -

Agenda Item # 11.2

First Reading

Amending Chapter 38 - Fire Prevention and Protection, Article II. Minnesota State Fire Code, Sec. 38-33 Fire Protection Permits and Inspection Program; Fire Sprinkler Systems

Executive Summary

Council is asked to hold first reading of a proposed ordinance to delegate authority for fire protection permits and inspections.

Background

The City of Blaine has had the delegated authority from the Minnesota State Fire Marshal Division to perform fire sprinkler permit plan review and inspections of fire protection systems. This delegation is assigned to a staffed individual within the city and staff have been working towards reassigning the delegation since the retirement of the fire marshal who previously held the delegation. In communicating with the State Fire Marshal Division, they too have had recent retirements and have refined their delegation process by requiring municipalities to adopt by ordinance language referencing Minnesota Administrative Rules 7512.2800 (MUNICIPAL PERMIT PROGRAM). These code amendments provide such language to complete the delegated authority process.

Sec. 38-33 – Amended language to allow for the adoption of Minnesota Administrative Rules 7512.2800. This will allow for the City of Blaine to maintain issuing permits for fire protection systems.

Sec. 38-343 – Amended language from Uniform Fire Code to Minnesota State Fire Code. The Uniform Fire Code is an outdated code that has since been replaced by the Minnesota State Fire Code and has been changed for consistency to match other references within ordinances.

Strategic Plan Relationship

N/A

Board/Commission Review

N/A

Financial Impact

N/A

Public Outreach/Input

N/A

Staff Recommendation

Staff recommends adopting these changes to ensure the timely and safe inspections for all structures in the City of Blaine with fire protection systems.

Attachment List

None



City of Blaine

Signature Copy

Ordinance: ORD 24-2562

First Reading

Amending Chapter 38 - Fire Prevention and Protection, Article II. Minnesota State Fire Code, Sec. 38-33 Fire Protection Permits and Inspection Program; Fire Sprinkler Systems

THE CITY OF BLAINE DOES ORDAIN: (Added portions are underscored and deleted portions are shown with overstrike.)

Article II. - Minnesota State Fire Code

The most current edition of the "Minnesota State Fire Code," as adopted by the commissioner of public safety pursuant to Minn. Stat. § 299- F.011, including all of the amendments, rules and regulations established, adopted and published from time to time by the state commissioner of public safety, through the state fire marshal division is hereby adopted by reference. The Minnesota State Fire Code is hereby incorporated in this article as if fully set out in this section.

(Code 1980, § 9-1; Ord. No. 93-1331, 5-6-1993; Ord. No. 03-1972, 4-17-2003)

State law reference(s)—Adoption by reference, Minn. Stat. § 471.62.

Article II. - Minnesota State Fire Code

Sec. 38-33.

~~Fire department permit fees~~ Fire protection permits and inspection program; fire sprinkler systems.

~~All fire department permit fees shall be set in accordance with a fee schedule adopted by action of the city council.~~

(a) Fire Protection Permit and Inspection Program. Pursuant to Minnesota Rule 7512.2800, the city requires a fire protection system plan review and permit to perform fire protection-related work. The application, administration and enforcement for the Program shall be in the manner provided for in the Minnesota State Building Code and Minnesota State Fire Code, and shall be enforced within all areas where the city enforces these Codes to the fullest extent permitted by law.

(b) Permit Required. No person shall engage in any sprinkler installation, modification, changing and/or removal of all sprinkler protection systems within the city without obtaining a permit from the city. It shall be the duty of an applicant to secure a permit prior to commencement of any fire protection related activities described in this subsection.

(c) Application Process. Applications shall be submitted to the city for review. If the application is incomplete or denied, the city will inform the applicant as to the reason for incompleteness or denial and any information required to complete the application. Following review and approval of an application, the city shall issue a permit and inform the applicant of any special provisions associated with the proposed fire protection activities related to the permit.

(d) Permit Fees. The issuance of permits and the collection of fees shall be in the manner authorized in Minn. Stat. §326B.121. Fees for permits under this subchapter, which may include a surcharge in accordance with Minn. Stat. §326B.153, shall be included in the fee schedule and as adopted by action of the city council.

(e) Maintenance. All fire sprinkler systems shall be maintained in accordance with the Minnesota State

Fire Code.

(Code 1980, § 9-3; Ord. No. 93-1331, 5-6-1993; Ord. No. 03-1972, 4-17-2003)

Sec. 38-34. Penalties.

- (a) Any person who shall violate any provisions of this article and/or the ~~Minnesota Uniform Fire Code~~ Minnesota State Fire Code shall be guilty of a misdemeanor.
- (b) The application of the penalty in subsection (a) of this section shall not be held to prevent the enforced removal of prohibited conditions.
- (c) Each day any such violation shall continue shall constitute a separate offense.

INTRODUCED and read in full this 19th day of August 2024.

PASSED by the City Council of the City of Blaine this day of 2024.