



City of Blaine

Planning Commission

July 11, 2023 | 7:00 PM
Blaine City Hall
10801 Town Square Drive NE
Blaine, MN 55449

The Planning Commission is an advisory board to the City Council. One of the Commission's functions is to hold public hearings and make recommendations to the City Council. The City Council makes all final decisions on these matters. For each agenda item, the Commission will receive reports prepared by the City staff, open the public hearing, discuss and act on the application.

Public comments prior to the meeting must be received by 4:30PM on the Monday prior to the meeting date. Email comments to: Planning@BlaineMN.gov or phone 763-785-6180.

AGENDA

1. Call to Order

2. Roll Call

3. Approval of Minutes

- 3.1.** 2023-290 Approval of the June 13, 2023 Planning Commission Minutes
Sponsors:

4. Public Hearing

- 4.1.** 2023-282 Case File No. 23-0060 // The Rusty Bumblebee // 10950 Club West Parkway NE, #160
The applicant is requesting a conditional use permit amendment to allow outdoor dining with up to 68 seats in the rear of the building in the B-2 (Community Commercial) zoning district.
Sponsors: Shawn Kaye, Planner

- 4.2.** 2023-268 Case File No. 23-0056 // South Side Entertainment District // 2030 105th Avenue NE
The applicant is requesting a code amendment to the 105th Avenue Redevelopment District to allow drive-thru's on the south side of 105th Avenue, limited to one drive-thru per parcel, as a conditional use.
Sponsors: Sheila Sellman, City Planner

- 4.3.** 2023-279 Case File No. 23-0058 // The Picklr // 467 87th Lane NE
The applicant is requesting a conditional use permit for indoor pickleball

courts (amusement and recreation) in the B-3 (Regional Commercial) zoning district.

Sponsors: Sheila Sellman, City Planner

4.4. 2023-264

Case File No. 23-0057 // Jason Merkel // 1866 120th Lane NE

The applicant is requesting a variance to the 5-foot side yard setback for a shed.

Sponsors: Shawn Kaye, Planner

4.5. 2023-265

Case File No. 23-0047 // Mister Car Wash // 8501 Springbrook Drive

The applicant is requesting a conditional use permit for a zero lot line and stand-alone car wash in the B-3 (Regional Commercial) zoning district.

Sponsors: Sheila Sellman, City Planner

5. Adjournment



City of Blaine

Planning Commission

June 13, 2023 | 7:00 PM
Blaine City Hall
10801 Town Square Drive NE
Blaine, MN 55449

MINUTES

1. Call to Order

The Blaine Planning Commission met in the City Hall Chambers on Tuesday, June 13, 2023. Chair Goracke called the meeting to order at 7:00PM.

Members Present: Commission Members Deonauth, Gorzycki, Halpern, Homan, Swanson, and Chair Goracke.

Members Absent: Commission Member Olson.

Staff Present: Shawn Kaye, Planner
Elizabeth Showalter, Community Development Specialist
Teresa Barnes, Project Engineer

2. Approval of Minutes

- 2.1. 2023-207 Approval of the May 9, 2023 Planning Commission Minutes
Sponsors:

**Motion by Commissioner Homan to approve the minutes of May 9, 2023, as presented.
Motion seconded by Commissioner Deonauth. The motion passed 6-0.**

3. Public Hearing

- 3.1. 2023-135 Case File No. 23-0042 // Blaine Quality Automotive // 9664 Central Avenue NE
The applicant is requesting a conditional use permit amendment to allow overnight outside storage of up to 13 vehicles in a B-2 (Community Commercial) zoning district.
Sponsors: Elizabeth Showalter, Community Development Specialist

The report to the planning commission was presented by Elizabeth Showalter, Community Development Specialist. The public hearing for Case File 23-0042 was opened at 7:08PM.

Derrel Singh, 17350 Bataan Street NE in Ham Lake, reported he was the owner of Blaine Quality Automotive, which has been in business at this location for the past 27 years. He explained it was hard for him to comply with the existing conditional use permit, given the fact he has exceeded the three year make it or break it point and the business has grown. However, he stated there were some items the city has required and would be fulfilled.

Don Carlson, 1131 96th Lane NE, explained he was the park manager for Sandpiper Bend and Northview Villa. He stated many of his people have their cars fixed at Blaine Quality Automotive. He understood it took time to fix cars when parts had to be ordered.

The public hearing was closed at 7:13PM.

Chair Goracke asked if the eleven parking stalls would be adequate.

Mr. Singh stated he would start with eleven parking stalls based on staff's recommendation. He commented if he needed additional parking, he would have to come back before the city.

Chair Goracke commended Mr. Singh for serving the community well for the past 27 years.

Commissioner Swanson asked if the applicant minded enhancing the landscaping.

Mr. Singh stated he did not mind and noted he had met with a landscaper in order to discuss the work needed.

Commissioner Deonauth questioned what the applicant's thoughts were regarding a fence.

Mr. Singh discussed how catalytic converters were being stolen throughout the metro area and noted he had seven cars that had catalytic converters stolen. He stated he had to pay to have these replaced out of his pocket. He has since enhanced security on the property. He was of the opinion a fence would not enhance security for his property because officers would not be able to see into his property. Rather, he would like to have shrubs and boulders along the property line. He stated if he was required to do a fence, he feared it would not be appealing because it was too close to Highway 65.

Commissioner Halpern inquired if the city had any recorded complaints from the adjacent neighbors regarding the subject property.

Community Development Specialist Elizabeth Showalter reported a comment was received in opposition and a complaint was received in 2021 and these complaints were anonymous. She noted there was a period of time between 2002 and 2005 where there was a high volume of complaints and staff was working with the applicant to amend the CUP and the council considered revocation. In the end, no action was taken.

Commissioner Halpern asked if there was a general theme to the complaints.

Community Development Specialist Elizabeth Showalter stated the complaints were based on

the visual appearance of the property and there being too much stuff outside.

Commissioner Halpern requested further information regarding the new landscaping.

Community Development Specialist Elizabeth Showalter commented on the landscaping enhancements that would be required along Highway 65. She reported shrubs and/or a fence could be required along Ulysses to enhance the screening for the adjacent residents.

Commissioner Halpern questioned if the applicant would object to amendments to the landscaping plan.

Mr. Singh stated he did not have any objection to the requirement, but stated this could become quite expensive for him. He reiterated that this property was constructed in 1971. He explained if his customers were not able to pay their bill, the cars could become abandoned. It was his hope that the city would be able to help him with the financing of the landscaping improvements.

Chair Goracke asked if there were any grants from the city that would assist Mr. Singh with the landscaping enhancements.

Community Development Specialist Elizabeth Showalter reported staff has provided the applicant with information on the city's small business loan program. She was uncertain if the amount of work required would be enough to qualify for a small business loan.

Motion by Commissioner Deonauth to recommend approval of Planning Case 23-0042 based on the following conditions:

Case 23-0042:

1. **Outside overnight storage shall be limited to the 11 parking stalls indicated on the attached site plan.**
2. **Any vehicle storage beyond the 11 vehicles permitted by this CUP shall be removed by October 31, 2023.**
3. **All stalls must meet the dimensional requirements listed in 33.13 of the zoning code.**
4. **One accessible parking stall is required, which shall include the associated access aisle.**
5. **The parking lot shall be striped, including any required accessible parking stalls, by October 31, 2023. A scaled site plan depicting the proposed striping shall be submitted to the city prior to commencing the work.**
6. **Two six foot tall conifer trees and thirteen shrubs shall be planted along the Highway 65 frontage prior to October 31, 2023. A landscape plan showing the proposed trees and shrubs shall be provided by August 31, 2023.**
7. **Hours of operation are limited to 7:00 am to 7:00 pm on weekdays and 8:30 am to 1:00 pm on Saturday.**
8. **All vehicle parking to be on-site. No vehicle parking on the frontage road.**
9. **No vehicle repair may occur outside.**
10. **All vehicles stored outside must be licensed with current registration and appear drivable. Vehicles on blocks may not be stored outside overnight.**

11. All exterior storage other than vehicles must be removed by October 31, 2023.

Motion seconded by Commissioner Swanson. The motion passed 6-0.

Chair Goracke noted this would be on the agenda of the July 5, 2023 city council meeting.

- 3.2.** 2023-201 Case File No. 23-0046 // Aaron Jordan // 12640 Radisson Road NE
The applicant is requesting a variance to allow a 6-foot privacy fence in the front yard along Radisson Road NE.
Sponsors: Shawn Kaye, Planner

The report to the planning commission was presented by Shawn Kaye, Planner. The public hearing for Case File 23-0046 was opened at 7:34PM. As no one wished to appear, the public hearing was closed at 7:34PM.

Aaron Jordan, 2071 127th Lane NE, thanked the commission for considering his fence request. He explained the fence would assist with managing the noise from Radisson Road and would improve safety.

Commissioner Halpern asked if a six-foot fence would be installed between the applicant's property and the adjacent home.

Mr. Jordan stated he would be installing a six-foot privacy fence.

Motion by Commissioner Deonauth to recommend approval of Planning Case 23-0046 based on the following conditions:

Case 23-0046:

- 1. A fence permit is required.**
- 2. The fence cannot exceed six feet in height.**

Motion seconded by Commissioner Homan. The motion passed 6-0.

Chair Goracke noted this would be on the agenda of the July 5, 2023 city council meeting.

- 3.3.** 2023-202 Case File No. 23-0049 // Montessori School of Chantilly // 641 89th Avenue NE
The applicant is requesting a conditional use permit to operate a preschool/daycare in the Christ Lutheran Church building in the R-1 (Single Family) zoning district.
Sponsors: Shawn Kaye, Planner

The report to the planning commission was presented by Shawn Kaye, Planner. The public hearing for Case File 23-0049 was opened at 7:42PM. As no one wished to appear, the public

hearing was closed at 7:42PM.

Nadirzeh Jama, representative for the Montessori School of Chantilly, thanked the commission for considering her request.

Chair Goracke questioned how many teachers and instructors would be working at the Montessori school.

Ms. Jama stated she did not have this answer, but noted the number of staff would be based on the number of students, as certain ratios would have to be met.

Motion by Commissioner Deonauth to recommend approval of Planning Case 23-0049 based on the following conditions:

Case 23-0049:

1. The applicant must obtain a certificate of occupancy from the City prior to occupying the building.

Motion seconded by Commissioner Gorzycki. The motion passed 6-0.

Chair Goracke noted this would be on the agenda of the July 5, 2023 city council meeting.

- 3.4.** 2023-203 Case File No. 23-0050 // Ben Saefke // 2857 108th Lane NE
The applicant is requesting a conditional use permit to construct an 8 foot fence in the rear yard on a property adjacent to a county roadway in the R-1B (Single Family) zoning district.
Sponsors: Elizabeth Showalter, Community Development Specialist

The report to the planning commission was presented by Elizabeth Showalter, Community Development Specialist. The public hearing for Case File 23-0050 was opened at 7:47PM. As no one wished to appear, the public hearing was closed at 7:48PM.

Chair Goracke asked if the city has approved eight foot fences in the past.

Community Development Specialist Elizabeth Showalter reported other eight foot fences have been approved in Blaine along county roads.

Motion by Commissioner Homan to recommend approval of Planning Case 23-0050 based on the following conditions:

Case 23-0050:

- 1. The 8 foot fence is limited to the rear yard, which is defined as behind the rear plane of the home. A small portion of the fence shown on the submitted drawing is in the side yard and is therefore limited to 6 feet in height.**
- 2. Fence shall be maintenance free (vinyl or composite).**

3. Applicant to obtain all necessary permits prior to installation.

Motion seconded by Commissioner Halpern. The motion passed 6-0.

Chair Goracke noted this would be on the agenda of the July 5, 2023 city council meeting.

- 3.5.** 2023-204 Case File No. 23-0051 // On the Green, Indoor Golf // 12507 Central Avenue NE
The applicant is requesting a conditional use permit to operate a year-round golf experience with indoor virtual golf simulators in the B-3 (Regional Commercial) zoning district.
Sponsors: Shawn Kaye, Planner

The report to the planning commission was presented by Shawn Kaye, Planner. The public hearing for Case File 23-0051 was opened at 7:51PM. As no one wished to appear, the public hearing was closed at 7:52PM.

Elliot Jang, the applicant, explained he was requesting to build and operate a year round virtual golf indoor facility in Blaine. He stated that facility would have quick serve food and a full bar. He reported his family has nearly 20 years of small business experience and a passion for golf. He believed his business would benefit Blaine and the surrounding community. He understood Blaine has a major golf community, but there was a lack of simulators in the Blaine area. He thanked the commission for considering his request and noted he was available to answer questions.

Chair Goracke asked how many employees would be working at this facility.

Mr. Jang reported the machines were virtual and computer operated. He indicated he would need staff to check people in, along with serving food and alcohol. He commented further on the seasonal nature of his business and anticipated he would have one to three staff members.

Commissioner Halpern questioned how much a virtual golf simulator cost.

Mr. Jang reported commercial simulators range from \$20,000 to \$100,000. He reported he would be buying very high end simulators for his customers. He commented further on how he looked forward to engaging with the community through his new business.

Motion by Commissioner Swanson to recommend approval of Planning Case 23-0051 based on the following conditions:

Case 23-0051:

- 1. Applicant to obtain on-sale liquor license prior to any liquor sales.**
- 2. No activity related to the use is to be conducted outside the building.**

3. **The interior tenant finish work to be completed with a building permit meeting all Building and Fire Code requirements.**
4. **A Certificate of Occupancy is required prior to occupying the space.**
5. **All business signage by separate review and permit.**

Motion seconded by Commissioner Homan. The motion passed 6-0.

Chair Goracke noted this would be on the agenda of the July 5, 2023 city council meeting.

4. Adjournment

Motion by Commissioner Deomauth to adjourn the regular planning commission meeting.
Motion seconded by Commissioner Halpern. The motion passed 6-0.

Adjournment time was 7:58PM.



City of Blaine

Staff Report

File Number: 2023-282

Agenda Date	Status
-------------	--------

July 11, 2023

In Control	File Type
------------	-----------

Planning Commission

Report

Public Hearing - Shawn Kaye, Planner

Agenda Item # 4.1

Case File No. 23-0060 // The Rusty Bumblebee // 10950 Club West Parkway NE, #160

The applicant is requesting a conditional use permit amendment to allow outdoor dining with up to 68 seats in the rear of the building in the B-2 (Community Commercial) zoning district.

Background

Zoning	B-2 (Community Commercial)
Land Use	CC (Community Commercial)
Area	Approximately 8.57 Acres
Applicable Regulations	30.14 (o) and 27.04
Attachments	Zoning and Location Map Site Plan and Narrative Picture of Outdoor Dining Area Parking Analysis Resolution for Outdoor Dining Resolution for Live Entertainment
Schedule	Planning Commission: 07/11/23 City Council: 07/17/23

Staff report prepared by Shawn Kaye, Planner, and Teresa Barnes, Project Engineer

Executive Summary

Zoning

The property is zoned B-2 (Community Commercial).

Surrounding Zoning and Uses

The properties to the north and east are zoned DF (Development Flex) with townhomes to the north and commercial buildings to the east. The commercial buildings to the west are zoned B-2 and 109th Avenue is adjacent to the south.

Existing Conditions

The site is occupied by the Club West commercial building.

History

This tenant space received a Conditional Use Permit (CUP) for two outdoor dining patios on May 15, 2023 and a Conditional Use Permit amendment to allow live entertainment on June 5, 2023.

Evaluation of Request

Site Plan

The applicant recently received approval (May 2023) for two outdoor patios, 16 seats in the front of the site and 32 seats in the rear of the site. While constructing the rear patio area the applicant determined at this time they would prefer to have one larger patio in the rear instead of two patios on site. The 25 foot x 38 foot patio area has been fenced in on site, but is limited to 32 seats (per current CUP) until approval has been received by the City Council for up to 68 seats.

It should be noted that the existing outdoor dining area defined by a fence is 950 square feet. The occupant load factor defined by the fire and building code for tables and chairs is 15 square feet per person, which would allow a maximum of 63 occupants in the outdoor seating area. In addition, once the occupant load exceeds 49 occupants, a second exit from the seating area is required. A condition has been added that the applicant will need to apply for a building permit for the outdoor seating in the rear of the site.

Parking

To meet the needs of the current tenants of the Club West Center, 402 stalls are required under the requirements of the code. The parking lot for the shopping center identifies 412 parking stalls. Therefore, adequate parking has been provided on site.

Conditional Use Permit

A city exercises “quasi-judicial” authority when considering a CUP application. This means the city’s role is limited to applying the standards in the ordinance to the facts presented by the application. The city acts like a judge in evaluating the facts against the standards.

The Blaine City Council shall consider the advice and recommendations of the Planning Commission and the effect of the proposed use on the comprehensive plan and upon the health, safety, and general welfare of occupants of surrounding lands. Among other things, the Council shall consider the following findings where applicable.

1. The use shall not create an excessive burden on existing parks, schools, streets and other public facilities and utilities which serve or are proposed to serve the area.
 - This outdoor dining area does not create an excessive burden.
2. The use will be located, designed, maintained, and operated to be compatible with adjoining properties and the existing or intended character of the zoning district.
 - The B-2 district is intended to provide retailing and services of both a convenience and durable nature to shoppers, such as apparel, furniture, food, banking and financial services for a trade area of nearby residential neighborhoods. The use meets this intent.
3. The use shall have an appearance that will not have an adverse effect upon adjacent properties.
 - The proposed outdoor dining will meet all setbacks and landscape requirements. The use will not have an adverse effect on adjacent properties.
4. The use, in the opinion of the City Council, shall be reasonably related to the overall needs of the City and to the existing land use.
5. The use shall be consistent with the purposes of the zoning code and purposes of the zoning district in which the applicant intends to locate the proposed use.
 - The use meets the purpose of the B-2 district.
6. The use shall not be in conflict with the comprehensive plan of the City.

- The comprehensive plan designation is CC (Community Commercial) which is for retailing and services that serve larger areas from neighborhood to regional scale. The use is not in conflict with the Comprehensive Plan.
- 7. The use will not cause traffic hazard or congestion.
 - The proposed development will not result in any additional traffic hazards or additional congestion to the area.
- 8. The use shall have adequate utilities, access roads, drainage and necessary facilities.
 - The proposed development, once constructed, will have the required utility services, adequate roads and necessary drainage facilities to service the proposed development.

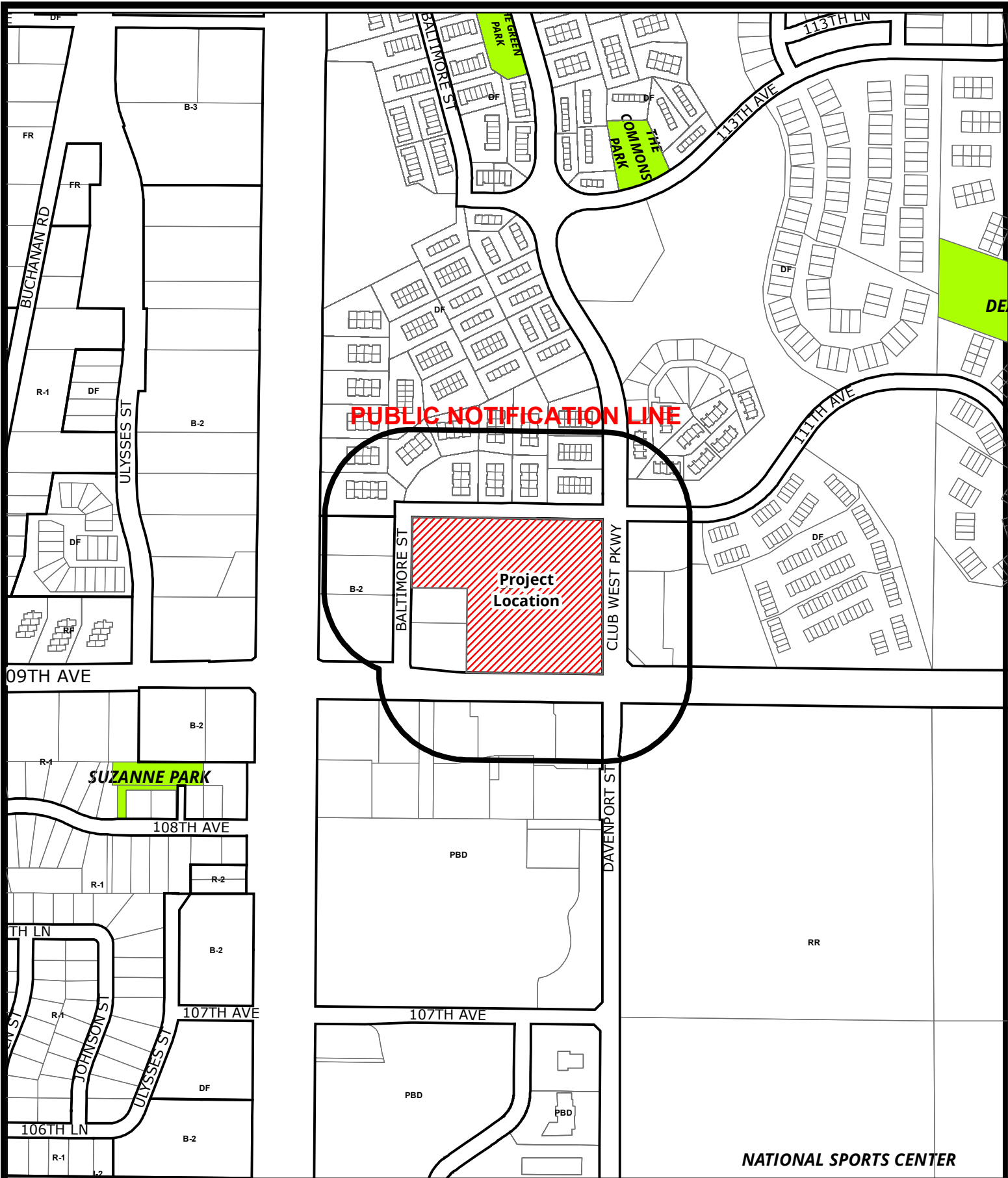
Recommendation

In Planning Case File No. 23-0060, it is recommended that the Planning Commission recommend approval of a conditional use permit amendment to allow outdoor dining with up to 68 seats in the rear of the building in the B-2 (Community Commercial) zoning district with the following conditions:

1. The outdoor dining area will be subject to a SAC review and payment. The applicant must work with the City's Chief Building Official and Met Council to determine the amount required for this use.
2. A building permit will be required for the additional seating proposed in the outdoor dining area.
3. No outdoor advertising on the building or outdoor dining area without obtaining a temporary sign permit is allowed.
4. The outdoor dining area in the rear of the tenant space will be limited to no more than 68 seats. The outdoor dining area in the rear is required to have a maintenance free composite privacy fence surrounding the seating area.
5. The ability to operate outdoor dining is reliant upon the applicant's ability to adequately control litter and refuse as associated with the facility.
6. Provide manufacturing specifications and requirements for propane heater use and clearance for combustibles if they are to be used on site.

Attachment List

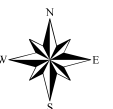
1. Attachments



BlaineMN.gov

Case File No. 23-0060 The Rusty Bumblebee

Blaine Planning Department / 10801 Town Square Dr NE / Blaine, MN 55449 / (763) 785-6180

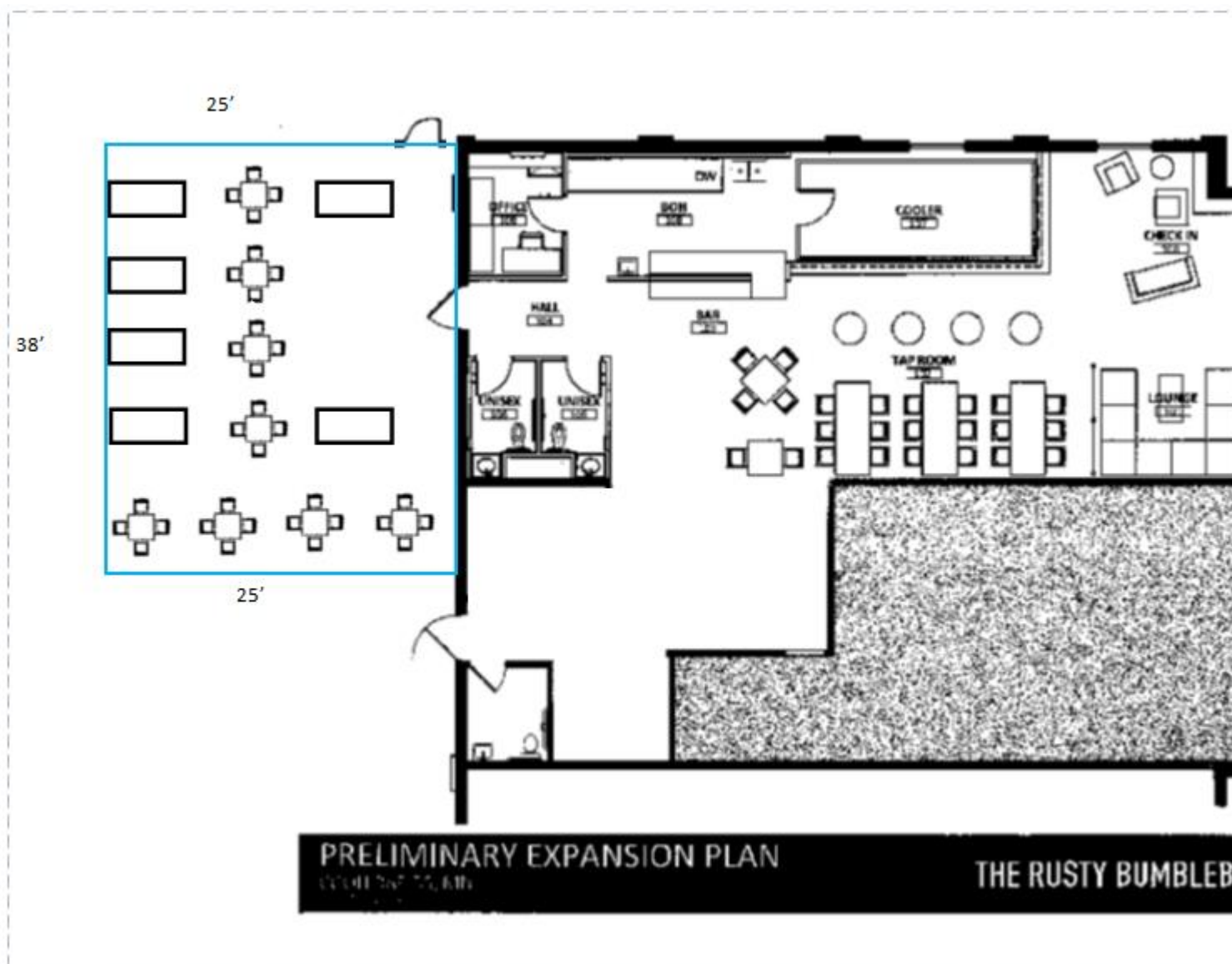


Patio Proposal Amendment

With the ability of having live entertainment on our back patio we have decided to amend our

AMEND SEATING

After creating the initial rear patio, we have determined that just having one large rear patio instead of two would be more advantageous to our company and provide a better customer experience. With the blessing of the City, we increased the rear patio size to 25'x38'. With the increased size of our rear patio, we are able to accommodate 68 seats rather than the 32 that was approved with the first conditional use permit.



USABLE SPACE FOR 6-7 MONTHS

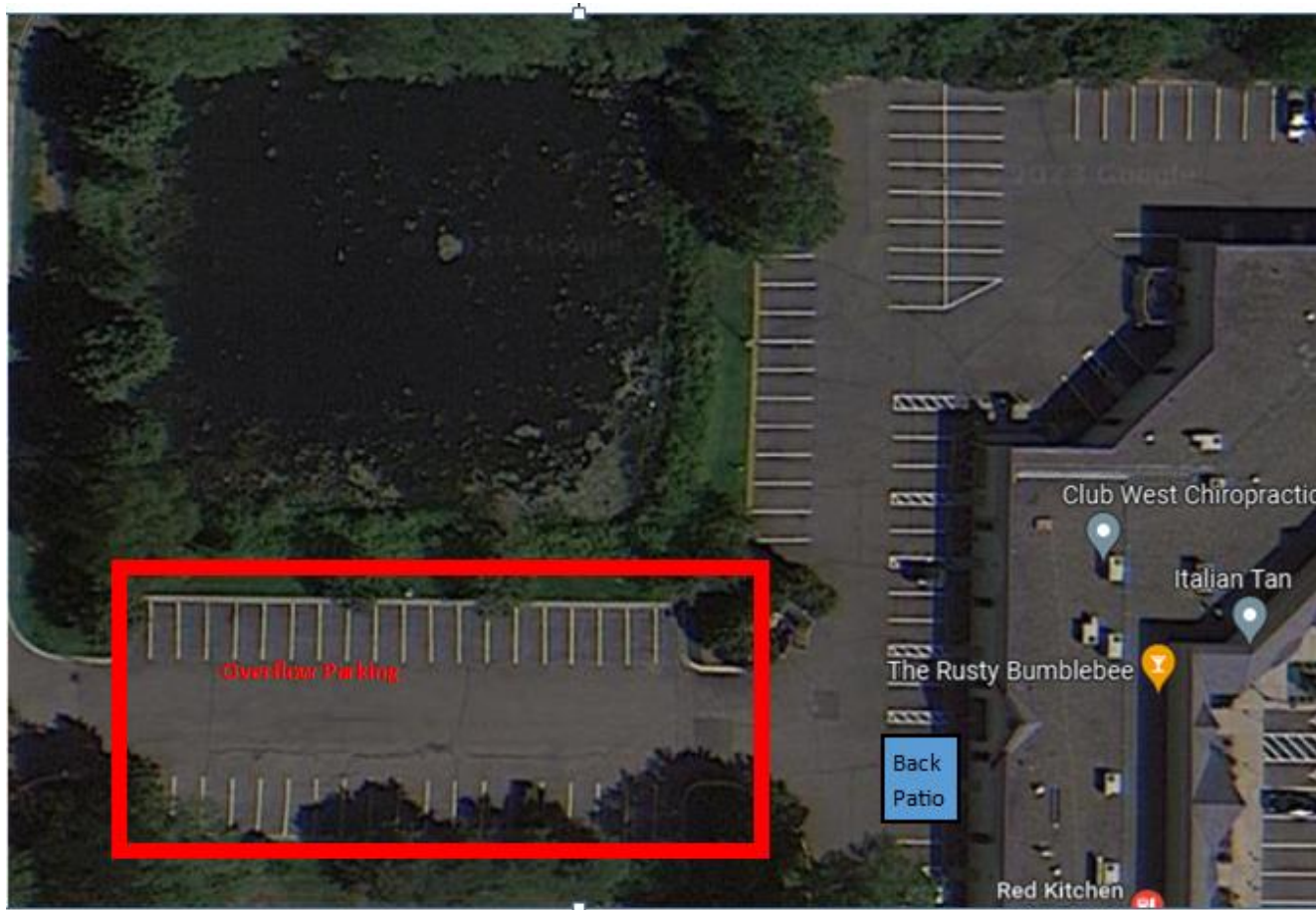
Minnesota summers are great, but we can expand the use of the patios by installing heaters. Our customers can enjoy an outdoor beverage even when the temperatures get a little cooler. The expanded seating will provide usable outdoor space up to 6-7 months a year!

ENHANCED CUSTOMER EXPERIENCE

Building one larger patio will deliver an enhanced experience to the customers. Our customers can enjoy the fresh air and feel closer to nature while they enjoy a nice tasty beverage while listening to live entertainment.

ENHANCED CURB APPEAL

Our outdoor patio not only enables us to expand our seating area but also enhances the curb appeal of our tap house and of the entire retail space. It feels cozier and a lot more welcoming and will have customers flowing in all day long. The back patio has a composite privacy fence that replaced 4 parking spots. The back patio also draws attention to the overflow parking directed behind us that is rarely used (Fig. 2). The patio is currently lit with string patio lights.



INCREASED PROFITS

Accommodating more customers allows us to better serve our customers and provides increased profits. It will also benefit the other surrounding retailers due to the increased foot traffic. Serving more customers will especially benefit our food service neighbors because we permit outside food into our tap house.

SUMMARY

Having more seating in our back patio comes with many benefits to our customers and our community. Expanded seating will provide usable outdoor space 6-7 months of the year, will enhance our customer experience, and increase our company's profits. The expanded patio seating is consistent with the expectations of Blaine residents.



Suite	Size	Description	Parking Ratio	Stalls Required
Suite 100	1,084	Wild Bill's Dining	100	10.8
	2,704	Wild Bills Bar	40	67.6
	1,139	Wild Bills Kitchen	200	5.7
	3,200	Wild Bills Outdoor Dining	100	32.0
Suite 110	2,066	eCig Market	200	10.3
Suite 120	1,632	Right Fit Running	200	8.2
Suite 130	1,648	Topper's Pizza	200	8.2
Suite 140	524	Red Kitchen Dining	100	5.2
	542	Red Kitchen Kitchen	200	2.7
Suite 150	1,625	TC Med Spa	200	8.1
Suite 160	959	Taproom Seating	40	24.0
	171	Taproom Back of House	200	0.9
	634	Taproom Outdoor Dining	100	6.3
Suite 170	4,315	Italian Tan	200	21.6
Suite 180	2,380	Vacant	200	11.9
Suite 190	2,154	Club West Chiropractic	150	14.4
Suite 200	5,120	Burn Boot Camp	300	17.1
Suite 220	1,444	Hajime Dining	100	14.4
	1,081	Hajime Kitchen	200	5.4
Suite 240	3,222	Von Hanson's Meats	200	16.1
Suite 280	4,330	Tavern Dining	100	43.3
	704	Tavern Bar	40	17.6
	1,700	Tavern Kitchen	200	8.5
	2,207	Tavern Outdoor Dining	100	22.1
a	5,374	Bank of the West	400	13.4
b	1,271	Dry cleaner	200	6.4
			Total Required	402.2
			Total Provided	412



City of Blaine

Signature Copy

Resolution: RES 23-87

Resolution Granting a Conditional Use Permit to Allow Outdoor Dining with 16 Seats in the Front of the Building and 32 Seats in the Rear of the Building in a B-2 (Community Commercial) Zoning District at 10950 Club West Parkway NE, #160. The Rusty Bumblebee (Case File No. 23-0036)

WHEREAS, an application has been filed by Club West Plaza LLC as Conditional Use Permit Case File No. 23-0036 for The Rusty Bumblebee; and

WHEREAS, said case involves the property described as follows:

Lots 1, 2, 5, 6 and 7, Block 2, ROSELAND INDUSTRIAL PARK

WHEREAS, the Blaine Planning Commission held a public hearing on May 9, 2023, and recommended approval regarding said Conditional Use Permit; and

WHEREAS, the Blaine City Council has reviewed said case on May 15, 2023; and

WHEREAS, the criteria identified in Section 27.04 for granting a conditional use permit has been met.

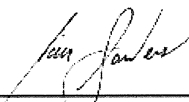
NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Blaine that a conditional use permit is hereby approved per Section 30.14(o) and 27.04 of the Zoning Ordinance to allow outdoor dining with 16 seats in the front of the building and 32 seats in the rear of the building in a B-2 (Community Commercial) zoning district with the following conditions:

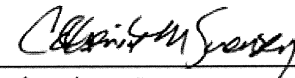
1. The outdoor dining area will be subject to a SAC review and payment. The applicant must work with the City's Chief Building Official and Met Council to determine the amount required for this use.
2. No outdoor advertising on the building or outdoor dining area without obtaining a temporary sign permit is allowed.
3. The outdoor dining area in the front of the tenant space will be limited to no more than 16 seats. The outdoor dining area in the front is required to have a decorative metal fence surrounding the seating area.
4. The outdoor dining area in the rear of the tenant space will be limited to no more than 32 seats. The outdoor dining area in the rear is required to have a maintenance free composite privacy fence surrounding the seating area.

5. The ability to operate outdoor dining is reliant upon the applicant's ability to adequately control litter and refuse as associated with the facility.
6. Music from speakers, not including live music, is permitted provided said music is not in violation of Article IV, Division 2, Noise of the Blaine City Code.
7. Contingent upon amended liquor liability certificate of insurance outlining new patio areas.

PASSED by the City Council of the City of Blaine this 15th day of May, 2023.



Signed by: 
Tim Sanders, Mayor

Attest by: 
Catherine Sorensen, CMC, City Clerk



City of Blaine

Signature Copy

Resolution: RES 23-98

Resolution Granting a Conditional Use Permit to Allow Live Entertainment in the B-2 (Community Commercial) Zoning District at 10950 Club West Parkway NE, #160. The Rusty Bumblebee (Case File No. 23-0052/SLK)

WHEREAS, an application has been filed by Club West Plaza LLC as Conditional Use Permit Case File No. 23-0052 for The Rusty Bumblebee; and

WHEREAS, said case involves the property described as follows:

Lots 1, 2, 5, 6 and 7, Block 2, ROSELAND INDUSTRIAL PARK

WHEREAS, the Blaine City Council held a public hearing on June 5, 2023, regarding said Conditional Use Permit; and

WHEREAS, the Blaine City Council has reviewed said case on June 5, 2023; and

WHEREAS, the criteria identified in Section 27.04 for granting a conditional use permit has been met.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Blaine that a conditional use permit amendment is hereby approved per Section 30.24 and 27.04 of the Zoning Ordinance to allow live entertainment at an existing restaurant with the following conditions:

1. Live entertainment on the patio and inside the building is permitted provided said music is not in violation of Article IV, Division 2, Noise of the Blaine City Code.

PASSED by the City Council of the City of Blaine this 5th day of June, 2023.

Signed by

Tim Sanders, Mayor



Signed by

Cathy Sorensen, CMC, City Clerk



City of Blaine

Staff Report

File Number: 2023-268

Agenda Date	Status
-------------	--------

July 11, 2023

In Control	File Type
------------	-----------

Planning Commission

Report

Public Hearing - Sheila Sellman, City Planner

Agenda Item # 4.2

Case File No. 23-0056 // South Side Entertainment District // 2030 105th Avenue NE

The applicant is requesting a code amendment to the 105th Avenue Redevelopment District to allow drive-thru's on the south side of 105th Avenue, limited to one drive-thru per parcel, as a conditional use.

Background

Zoning	105th Avenue Redevelopment District
Applicable Regulations	30.905 and 30.906 Code of Ordinances Zoning and Location Map Ordinance Amendment Narrative
Schedule	Planning Commission: 07/11/23 City Council 07/17/23 and 08/07/23

Staff report prepared by Sheila Sellman, City Planner

The applicant is proposing a code amendment to Sections 30.905 Conditional Uses and Section 30.906 Prohibited Uses to add drive-thrus south of 105th Avenue as a conditional use. The 105th Redevelopment Zoning District was created in 2022 specifically for this redevelopment area. The Council meticulously reviewed all possible uses for this redevelopment district and specifically prohibited drive-thrus.

If the Council determines that a drive-thru is appropriate for a portion of this area, staff suggests specific language under Conditional Uses: Drive-thru south of 105th Avenue, limited to one drive-thru per parcel. This would allow a drive-thru on the south side of 105th Avenue and limit it to one drive-thru per lot, not per development, to keep the number of drive-thrus at a minimum.

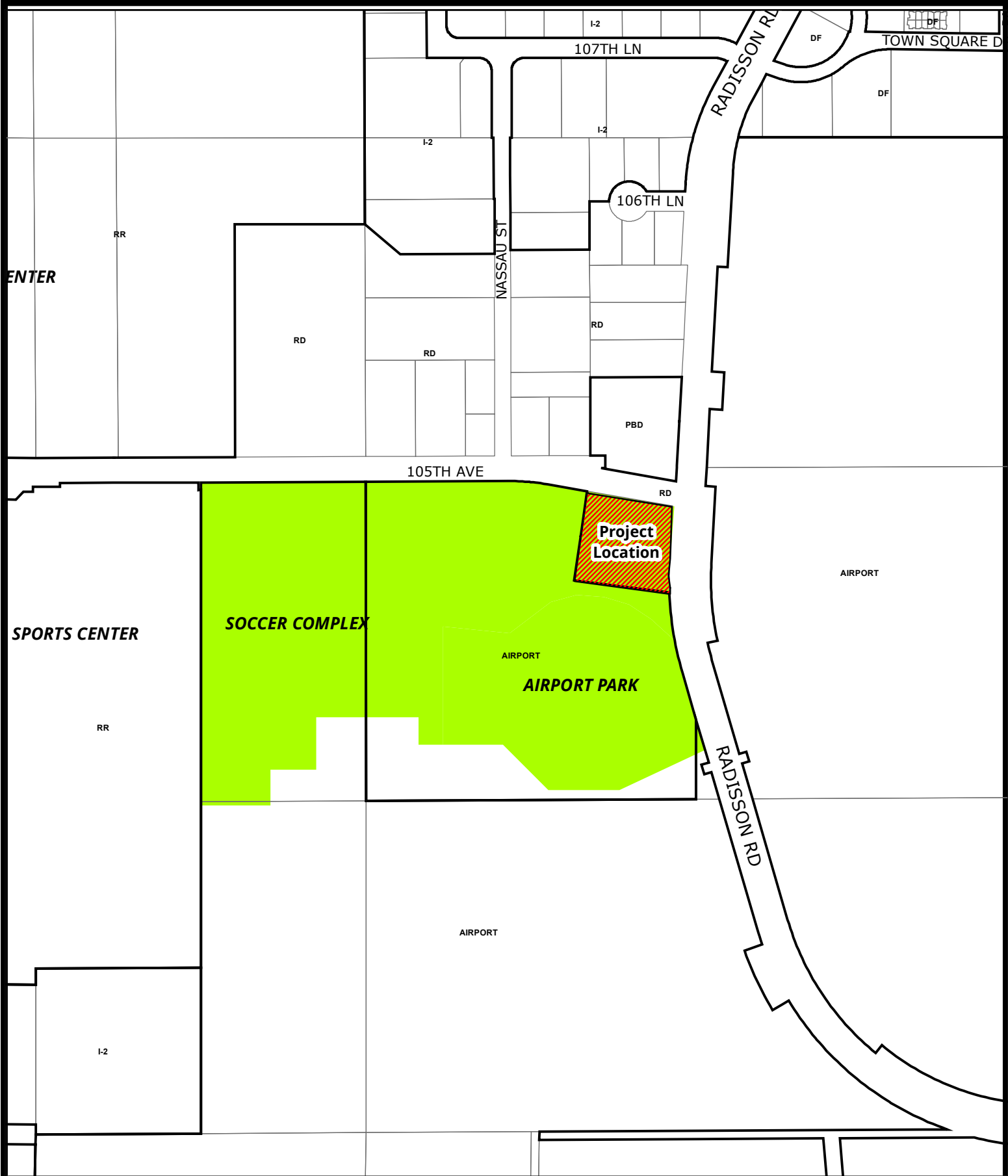
The applicant had made this request in May 2023 and it was not approved, City Council suggested that the applicant come back with the request when a user could be identified. The applicant has identified a coffee chain as the user. The user would have a drive-thru, indoor dining and outdoor dining.

Recommendation

In Planning Case File No. 23-0056, it is recommended that the Planning Commission recommend approval of a code amendment to the 105th Avenue Redevelopment District to allow drive-thru's on the south side of 105th Avenue NE, limited to one drive-thru per parcel, as a conditional use permit.

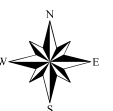
Attachment List

1. Attachments



Case File No. 23-0056 South Side Entertainment

Blaine Planning Department / 10801 Town Square Dr NE / Blaine, MN 55449 / (763) 785-6180



Proposed Ordinance

Section 30.90 105th AVENUE REDEVELOPMENT DISTRICT (RD)

30.905 Conditional uses.

- (m) Drive-thru located on south of 105th Avenue NE, limit to one per parcel

30.906 Prohibited use.

- (a) Auto sales - indoor or outdoor sales.
- (b) Automobile repair.
- (c) Car washes.
- (d) Daycare.
- (e) Drive-thru facilities, except when located south of 105th Avenue NE

Southside Narrative

A popular and desired coffee chain is looking for 1,200 sq ft to lease at the National Sports Village. In their 13 page Letter of Intent, they have outlined very specific needs, including a drive-thru as an essential design element needed to support their business needs. A big component, beyond safety, for the right in right out into the development was to provide the potential conveniences such as excellent coffee & morning food options for the thousands that travel south on Radisson Rd for work every day. With the drive-thru amendment approval; NSV will be able to welcome in this highly desired coffee chain and provide a convenience so many locals desire.



City of Blaine

Staff Report

File Number: 2023-279

Agenda Date	Status
-------------	--------

July 11, 2023

In Control	File Type
------------	-----------

Planning Commission

Report

Public Hearing - Sheila Sellman, City Planner

Agenda Item # 4.3

Case File No. 23-0058 // The Picklr // 467 87th Lane NE

The applicant is requesting a conditional use permit for indoor pickleball courts (amusement and recreation) in the B-3 (Regional Commercial) zoning district.

Background

Zoning	B-3 (Regional Commercial)
Land Use	CC (Community Commercial)
Area	12.72 Acres
Applicable Regulations	30.24(b) and 27.04
Attachments	Zoning and Location Map Narrative Floor Plan
Schedule	Planning Commission: 07/11/23 City Council: 08/07/23

Staff report prepared by Sheila Sellman, Planner, and Teresa Barnes, Project Engineer

Executive Summary

Zoning

The subject site is zoned B-3 (Regional Commercial)

Surrounding Zoning and Uses

The parcels to the north and east are zoned R-1 (single family residential) and are developed with single-family homes. Properties to the west and south are zoned B-3 (Regional Commercial) and are developed with retail and commercial uses.

Existing Conditions

The existing retail center was built in 1990. The existing uses are retail and surface parking. The proposed pickle ball courts will be in a current vacant space (formerly Marshall's) in the strip center.

Northtown District Vision Plan

In July 2022, the City Council adopted the Northtown District Vision Plan (Plan). The Plan includes the

Northtown Mall property plus surrounding area, including the subject site. The Plan presents a long-range framework for redevelopment in the district. Market-driven, the framework is designed to change in the myriad of ways, accommodating, for example, existing large-footprint stores, while over time, responding to retailers' changing needs and the impacts of new technologies on the shopping habits of clients. The Plan shows this site as retail/commercial.

Evaluation of Request

The applicant is requesting a conditional use permit for an indoor pickle ball court in an existing retail center. Indoor recreation is primarily reviewed for parking considerations since there is not a set parking requirement for recreation in the code.

Site Plan

The building is existing and the proposed use will occupy 26,687 square feet. All changes will be internal creating 8 indoor pickleball courts.

Parking

Parking for recreational uses is determined through the conditional use permit the analysis is based on 8 courts.

Previous parking requirements for similar uses have included:

- X-golf was required to have four stalls per golf simulator (each simulator can accommodate a group up to four people) and the ratios for restaurant use were applied to the seating and kitchen areas.
- Fun Lab was calculated at 1 stall per 300 for the whole use (including dining areas) which is a common parking requirement for community center type uses
- Batting cages used to be located at 9240 Baltimore Street (now a multitenant office building). The parking requirement applied to the CUP in 1989 for the use was three stalls per batting cage to account for users, people waiting, and staff. This use was just batting cages, there was not restaurant use.
- Bowling alleys have a specific code requirement of 5 spaces per lane plus 1 space for every 400 square feet of area not used for bowling

Based on the previous approvals for the golfing simulators of four stalls per simulator it makes sense to apply this same logic to the pickle ball courts as they can accommodate four people at a time. There are 8 courts being proposed so the parking requirement will be 32 stalls. No restaurant or other use is being proposed at this time. The original space required 120 parking stalls, the overall retail building requires 594 parking stalls (including the vacant Rainbow Foods space) and 604 stalls are onsite, therefore parking requirements are met.

Landscaping

No new landscaping is proposed or required.

Tree Preservation

No trees are being removed.

Grading/Storm Drainage

There are no proposed alterations to the exterior of the building; therefore, there will be no changes to the existing grading or storm drainage currently provided on the property.

Wetlands/Watershed

There are no wetland on the existing developed property; There are no proposed alterations to the exterior of the building; therefore, no watershed review is required.

Access/Street Design/Sidewalks/Trails

There are no proposed alterations to the exterior of the building; therefore, there will be no changes to the existing access to the property. There are no additional street design, sidewalk or trails required.

Easements/Right-of-way/Permits

There are no proposed alterations to the exterior of the building; therefore, no additional easements or right-of-way required.

Conditional Use Permit

A city exercises “quasi-judicial” authority when considering a CUP application. This means the city’s role is limited to applying the standards in the ordinance to the facts presented by the application. The city acts like a judge in evaluating the facts against the standards

Section 27.04 Criteria for granting conditional use permits:

The Blaine City Council shall consider the advice and recommendations of the Planning Commission and the effect of the proposed use on the comprehensive plan and upon the health, safety, and general welfare of occupants of surrounding lands. Among other things, the Council shall consider the following findings where applicable. (Ord. No. 20-2447, 7-20-2020)

1. The use shall not create an excessive burden on existing parks, schools, streets and other public facilities and utilities which serve or are proposed to serve the area.
 - The use will not create an excessive burden on existing parks, schools or streets.
2. The use will be located, designed, maintained, and operated to be compatible with adjoining properties and the existing or intended character of the zoning district.
 - The use is going into an existing retail center. Therefore, it is compatible with adjoining properties.
3. The use shall have an appearance that will not have an adverse effect upon adjacent properties.
 - The use is going into an existing retail center. The appearance will not change.
4. The use, in the opinion of the City Council, shall be reasonably related to the overall needs of the City and to the existing land use.
5. The use shall be consistent with the purposes of the zoning code and purposes of the zoning district in which the applicant intends to locate the proposed use.
 - The B-3 district is intended for retailing and services of both convenience and durable nature. The use meets this intent.
6. The use shall not be in conflict with the comprehensive plan of the City.
 - The use is not in conflict with the comprehensive plan.
7. The use will not cause traffic hazards or congestion.
 - The proposed use will not generate any additional traffic hazard or congestion.
8. The use shall have adequate utilities, access roads, drainage and necessary facilities.
 - The existing structure is served with the required utility services, adequate roadway infrastructure and necessary drainage facilities to service the proposed uses.

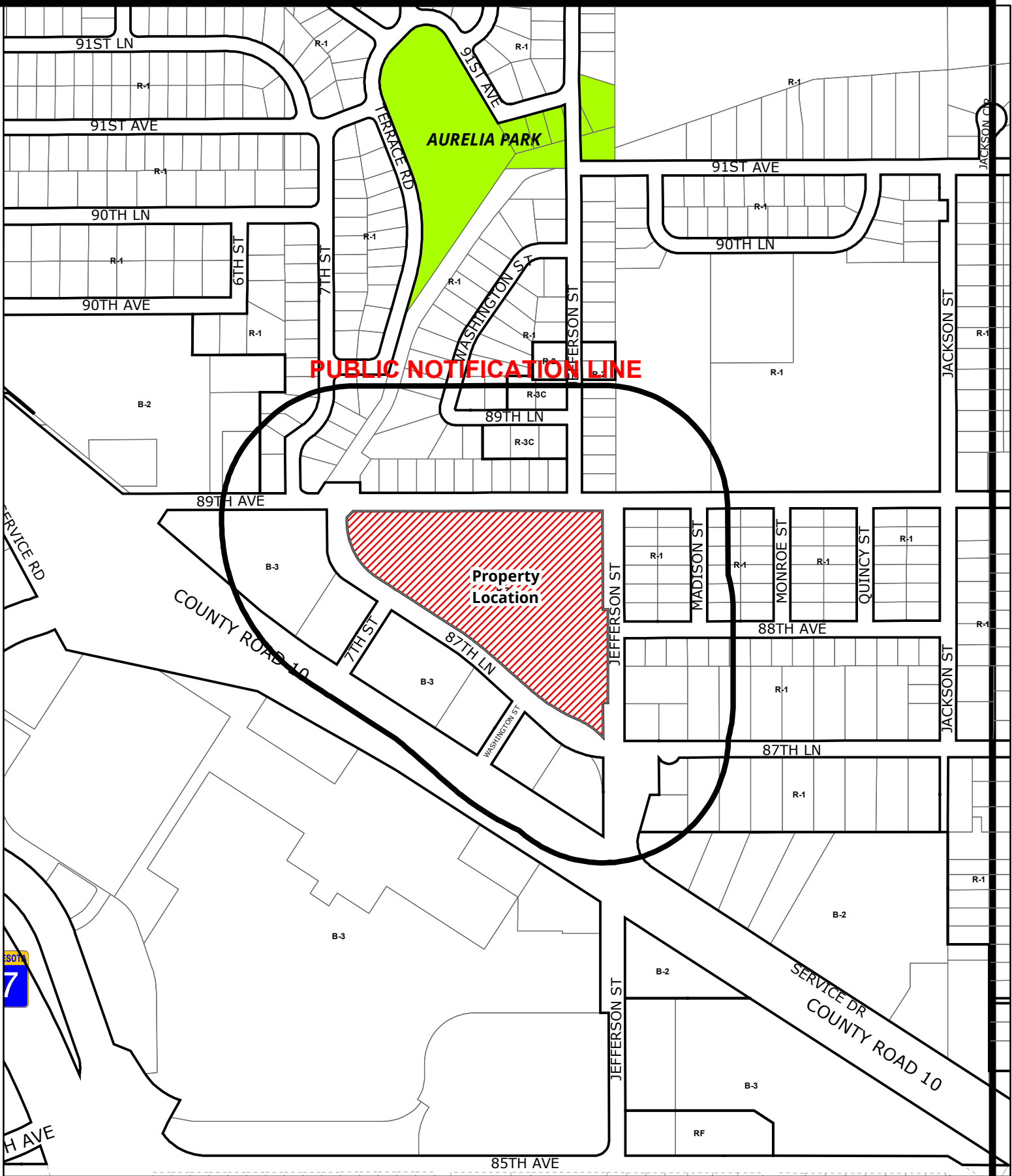
Recommendation

In Planning Case File No. 23-0058, it is recommended that the Planning Commission recommend approval of a conditional use permit for indoor pickleball courts (amusement and recreation) in the B-3 (Regional Commercial) zoning district with the following conditions:

1. A Certificate of Occupancy permit is required.

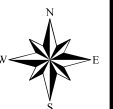
Attachment List

1. Attachments



Case File No. 23-0058 The Picklr

Blaine Planning Department / 10801 Town Square Dr NE / Blaine, MN 55449 / (763) 785-6180



The Picklr Narrative:

The Picklr is leasing 467 87th Lane NE, at the Rainbow Village, which is 26,687 SF. They would like to start construction to create 8 indoor pickleball courts which will be used for playing daily.

The Picklr has multiple locations in multiple states and is looking forward to this expansion into Minnesota. When you visit The Picklr, you can expect to have a great time. Their courts are state-of-the-art professional grade surfacing. You'll find everything you need at The Picklr to play like a pro.

Two stories in this area, could do a 2nd level viewing area and hangout

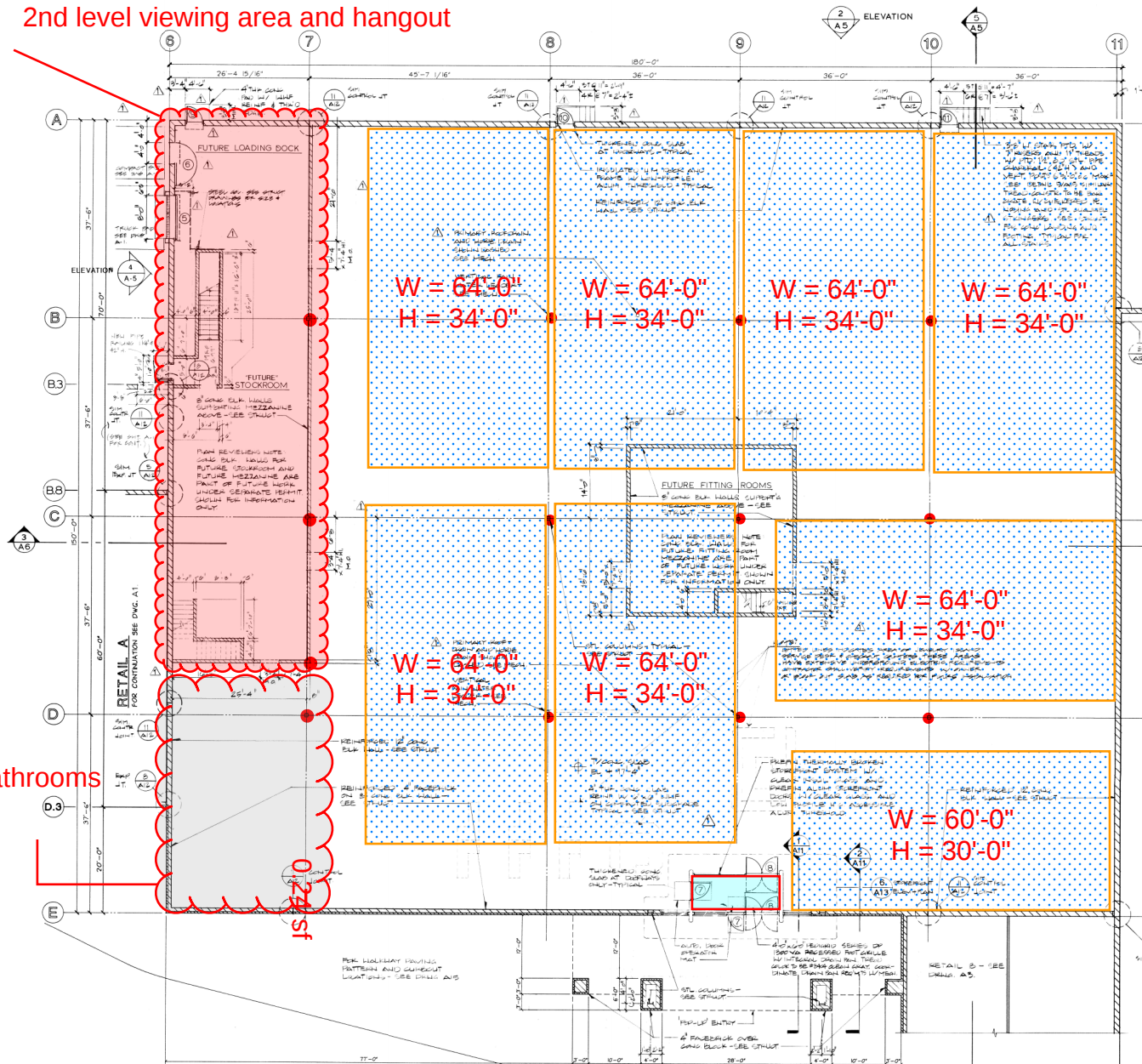
Bathrooms



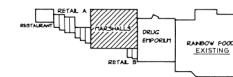
FLOOR PLAN - MARSHALLS

SCALE 1/8" = 1'-0"

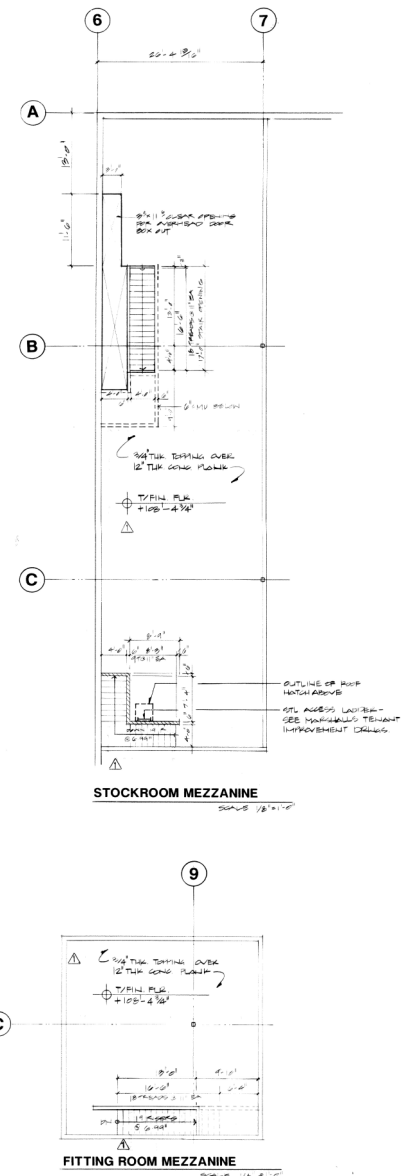
Carpet 7450
Base Cove 700
Upstairs Carpet
2,600 Base Cove
350



DRUG EMPORIUM
FOR CONTINUATION SEE DWG. A3



KEY PLAN



Vander Ploeg and Associates, Inc.
architects and planners
1700 north dixie highway
boca raton, florida 33432
(407) 368-1493



FLOORPLAN
SCALE: 1/8" = 1'-0"
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION,
SUPERINTENDENT AND THAT I AM A duly LICENSED
ARCHITECT UNDER THE LAWS OF THE STATE OF FLORIDA.
DATE: 8.22.99 REGISTRATION NO.: 20020

RAINBOW VILLAGE
BLAINE, MINNESOTA
ROBERT MUIR COMPANY

PROJECT: 99022
DATE: 5-29-99
SHEET NO: A:2
ISSUED FOR CONSTRUCTION
GENERAL REVISION NO. 1 8/15/99



City of Blaine Staff Report

File Number: 2023-264

Agenda Date	Status
-------------	--------

July 11, 2023

In Control	File Type
------------	-----------

Planning Commission

Report

Public Hearing - Shawn Kaye, Planner

Agenda Item # 4.4

Case File No. 23-0057 // Jason Merkel // 1866 120th Lane NE

The applicant is requesting a variance to the 5-foot side yard setback for a shed.

Background

Zoning	R-1A (Single Family)
Land Use	LDR (Low Density Residential)
Area	0.27 Acres
Applicable Regulations	29.005 (e)
Attachments	Zoning and Location Map Site Survey Aerial Shed Elevations Narrative Applicant Criteria Findings
Schedule	Planning Commission: 07/11/23 City Council: 08/07/23

Staff report prepared by Shawn Kaye, Planner, and Teresa Barnes, Project Engineer

Executive Summary

Zoning

The property is zoned R-1A (Single Family).

Surrounding Zoning and Uses

The adjacent properties are zoned R-1A and occupied by single-family homes.

Comprehensive Land Use

The subject property and adjacent properties are guided LDR (Low Density Residential).

Existing Conditions

The property has a single-family home with an attached garage. The rear yard has a deck, trees, and an open grass area.

Evaluation of Request

Code Requirement

R-1A

29.005 Standards -

(e) Rear yard and side yard setback for detached garage—Fifteen (15) feet, and accessory buildings—Five (5) feet. Corner yard setback for garages and accessory buildings—twenty five (25) feet.

The 5-foot side yard setback for accessory buildings is required in the R-1AA, R-1A, and R-1B Zoning District. The 5-foot side yard setback can be found in most DF (Development Flex) zoning standards. The R-1 zoning district permits side yard setbacks of not less than five (5) feet with the exception that accessory buildings, less than one hundred twenty (120) square feet in area, shall have a rear and side yard setback of not less than one (1) foot.

In 2005, a City Council sub-committee researched various single family code requirements. Based on that review, the City Council directed a change to the R-1 standards to allow a one-foot setback to the side yard if the accessory building was under 120 s.f.

A question was raised at the 2005 City Council meeting as to why the yard shed modification was limited to the R-1 Zoning district. It was suggested in 2005 that R-1 was chosen based on the experience R-1 homeowners had shared with various city council members in 2005. The City Council in 2005 chose not to include any other zoning districts at that time based on not hearing concerns from residents in those zoning districts.

Site Plan

The applicant is requesting to locate an 8x12 (96 square foot) shed with a 3-foot side yard setback instead of a 5-foot side yard setback. The shed is proposed to be located in the southeast corner of the site.

The shed location has been chosen by the homeowner because it is furthest from the house and in an area of deep shade where grass cannot grow (due to many trees on neighbors property). The desired location of the shed has an oak tree located in the southeast corner of the property. In order to keep the oak, a variance of 2 feet is being requested to allow a 3-foot setback rather than a 5-foot setback from the side lot line. The rear yard setback of 5 feet is able to be met in other locations on the site.

Grading/Storm Drainage

The construction of a small movable utility shed will not include any alterations to the existing grading or alteration of storm water drainage patterns on the property.

Wetlands/Watershed

There are no wetlands or FEMA flood plain on the existing site. A Coon Creek Watershed District review is not required.

Access/Street Design

The construction of a small movable utility shed will not include any new street access or require any street, sidewalk or trail design.

Easements/Right-of-way/Permits

The construction of a small movable utility shed will not require any additional easements or work within the existing street right-of-way.

Variances (Section 27.06)

(a) Criteria for granting variances. A variance to the provision of the zoning ordinance may be issued by the

City Council to provide relief to the land owner in those cases where the ordinance imposes practical difficulty on the property owner in the use of his land. No use variances may be issued.

- (1) Variances shall only be permitted: Explain how these are met or not met after each item
 - (a) When they are in harmony with the general purposes and intent of the ordinance and
 - (b) When the variances are consistent with the comprehensive plan.
- (2) Variances may be granted when the applicant for the variances establishes that there are practical difficulties in complying with the zoning. Practical difficulties, as used in connection with the granting of a variance, means that:
 - (a) The property owner proposes to use the property in a reasonable manner not permitted by the zoning code;
 - A 3 foot setback may or may not be considered a reasonable use of the property.
 - (b) The plight of the landowner is due to circumstances unique to the property not created by the land owner;
 - The applicant has identified the layout of the rear yard as a unique circumstance. This lot is 90 feet x135 feet and is the same size as 10 lots on 120th Lane. The rear yard has other locations available to locate the 96 square foot shed that would meet the 5-foot side and rear yard setback.
 - (c) The variance, if granted will not alter the essential character of the locality.
 - The shed would most likely not be visible from the street but visible from adjacent properties.
 - (d) Economic considerations alone do not constitute practical difficulties. Practical difficulties include, but are not limited to, inadequate access to direct sunlight for solar energy systems.
 - The variance is not for economic reasons.
 - (e) The variance requested is the minimum variance which would alleviate the unique circumstances.
 - The applicant has indicated that the oak tree currently located on the property and the lot layout requires the shed to have a 3-foot setback. Staff does not see a relationship between the unique circumstances (the layout of the lot) and the 2-foot variance needed for the shed location as there are other locations on the parcel for the shed.

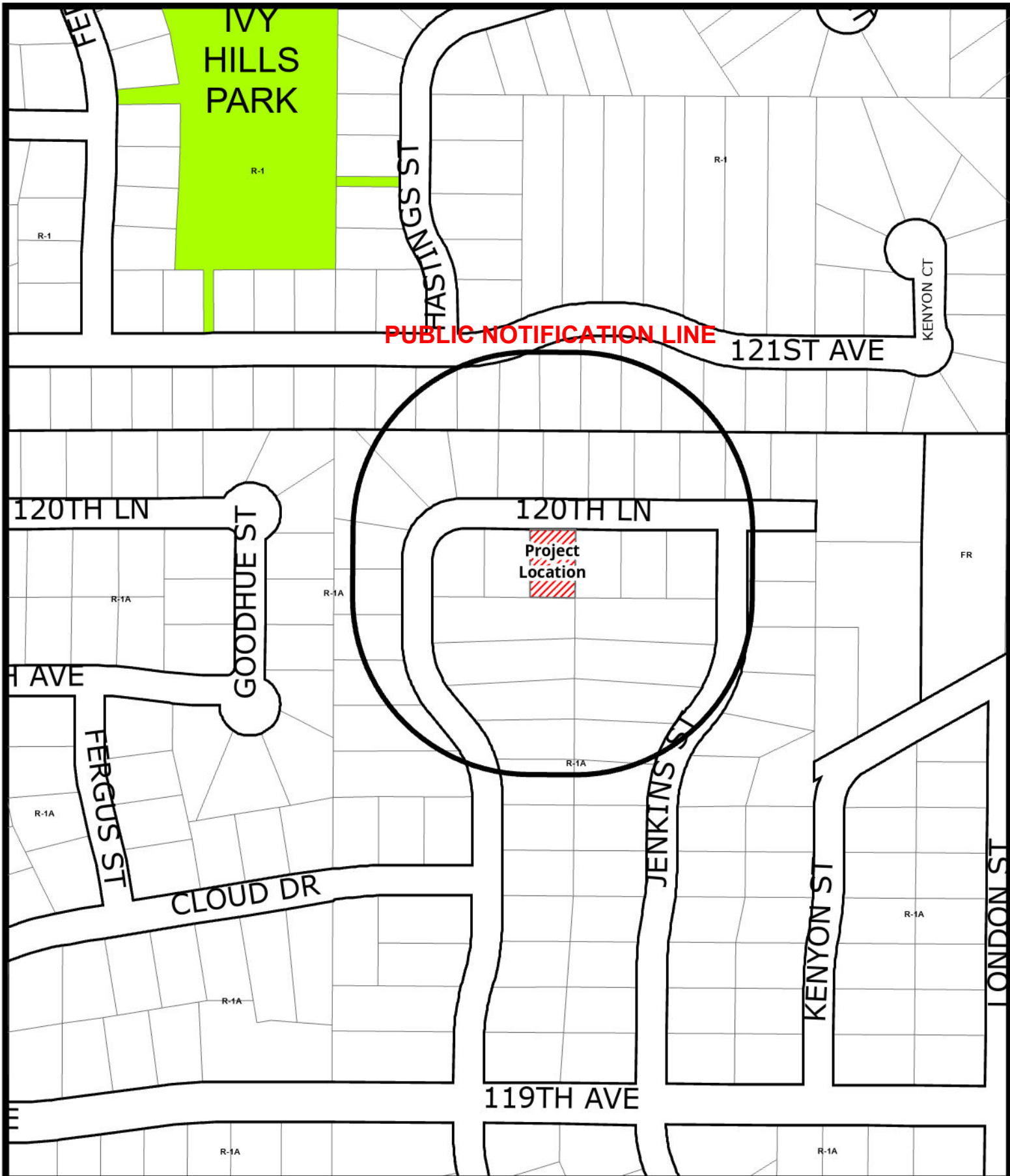
Recommendation

In Planning Case File No. 23-0057, staff does not support the variance as alternative conforming locations have been identified and staff is unable to make the findings for approval.

If the Planning Commission recommends approval of the variance to allow a 3-foot side yard setback for an accessory building, the Commission should identify findings of approval.

Attachment List

1. Attachments



BlaineMN.gov

Case File No. 23-0057
Jason Merkel



Blaine Planning Department / 10801 Town Square Dr NE / Blaine, MN 55449 / (763) 785-6180

Established in 1962
LOT SURVEYS COMPANY, INC.

LAND SURVEYORS

REGISTERED UNDER LAWS OF STATE OF MINNESOTA
 7001 - 73rd Avenue North
 550-3043

MINNESOTA, JULY 1964

Surveyors Certificate

HARLES R. STEWART & BROWN

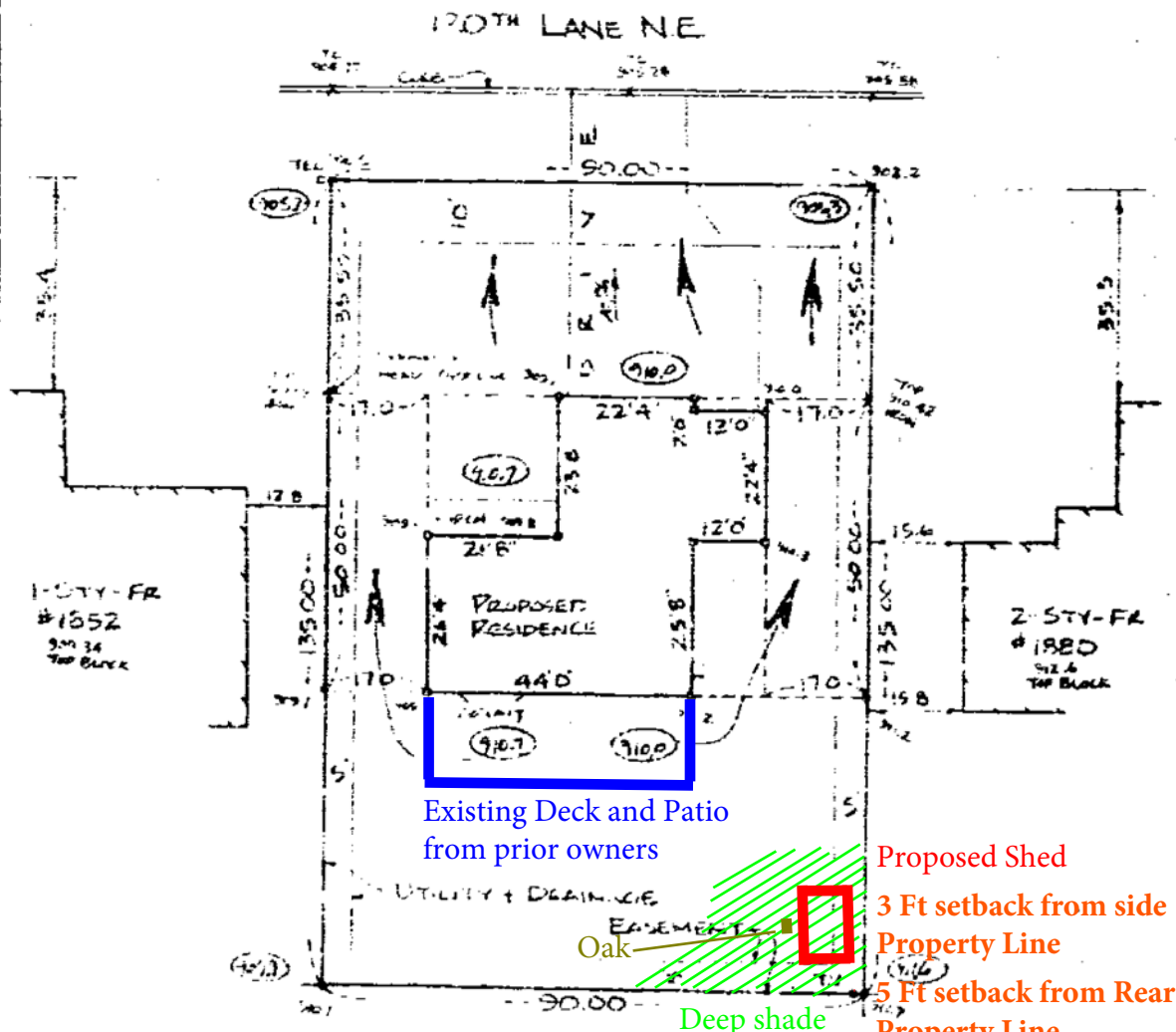
Property located in Section
 9, Township 31, Range 23,
 Anoka County, Minnesota

INVOICE NO. 37475
 F. B. NO. 618-32
 SCALE 1" = 20'

- Denotes Iron Monument
- Denotes Wood Stake Set For Excavation Only
- ▽ Denotes Existing Elevation
- Denotes Proposed Elevation
- Denotes Surface Drainage

911.4 Proposed Top of Block
 710.2 Proposed Garage Floor
 703.4 Proposed Lowest Floor

Type of Fencing -
 4 CYC



Lot 3, Block 2, OLYMPIC GLEN

Proposed building information must be checked with approved building plan before excavation and construction.

The only easements shown are from plats of record or information provided by client.

We hereby certify that this is a true and correct representation of a survey of the bounds and of the site as described and the location of all easements and other encroachments, if any, from an old line.

Surveyed by us on 24th day of May 1964

APPROVED
 JUN 6 1964
 [Signature]
 by [Signature]

Signed [Signature]
 Raymond A. Prash, Minn. Reg. No. 6743

Site Aerial

**Proposed shed in red

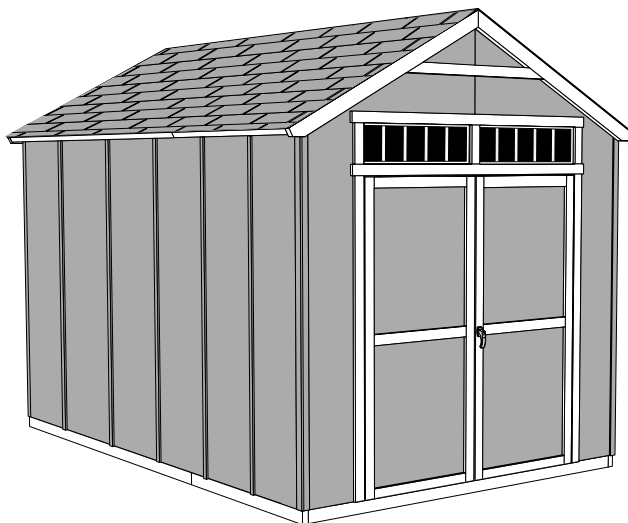


MARCO SERIES

MAJESTIC 8' x 12' (244 x 366 cm)

ACTUAL FLOOR SIZE IS 96 x 144" (244 x 366 cm)

KEEP THIS MANUAL FOR FUTURE REFERENCE



! IMPORTANT! !

READ INSTRUCTIONS THOROUGHLY PRIOR TO BEGINNING ASSEMBLY.

BEFORE YOU BEGIN

• **BUILDING RESTRICTIONS AND APPROVALS**

Be sure to check with local building department and homeowners association for specific restrictions and/ or requirements before building.

• **ENGINEERED DRAWINGS**

Contact our Customer Service Team if engineered drawings are needed to pull local permits.

• **SURFACE PREPARATION**

To ensure proper assembly you must build your shed on a level surface.

Recommended methods and materials to level your shed are listed on page 8.

• **CHECK ALL PARTS**

Inventory all parts listed on pages 4 - 6. Contact our Customer Service Team if any parts are missing or damaged.

• **ADDITIONAL MATERIALS**

You will need additional materials to complete your shed. See page 3 for required and optional materials and quantities.



- CUSTOMER SERVICE -



Call: 1-877-743-3400 email: customerservice@backyardproductsllc.com

Our House sits in one of two very small areas of Blaine which is Zoned Residential R-1A. As a result, and unlike the rest of Blaine, zoning requires a 5 ft setback for any accessory structures, such as sheds, playhouses, sandboxes, etc. Most all other areas of the city only require 1 ft setback for such structures from property lines. We would like to build a very small shed (8x12, 96 Square ft). With this, we have run into a practical difficulty in maintaining the zoning requirements in relation to our intended shed.

Specifically:

Our lot layout provides one of the smallest rear yards in the neighborhood. Of the two rear corners of the property, we would like to build the shed in the corner furthest from our house and neighbors houses, in an area of deep shade where grass cannot grow (due to many trees on neighbors property), and we can best utilize our property while maintaining the limited rear yard we have. This corner is preferred for the shed, because of its distance from the house and deep shade. Other possible areas on our property are significantly closer to our house, encroach significantly into our rear yard, or are sunny (Providing future opportunities for gardens, play equipment for our son, etc, which all can adhere to zoning requirements easily. This desired location of the shed, however, has an unfortunately placed Oak tree that was part of a grove of Oaks that have been present on the land since at least the 1950/60's (per the aerial photography from the time). The Oak in question is the youngest of the surviving oaks in the neighborhood, as all other surviving oaks are approximately twice the size and age of ours. In our opinion, this oak is key to maintaining the areas character as it grows, and we desperately do not want to cut down a slow growth tree like this.

Because of the Oak's location in relation to the lot lines, to keep the oak, we would need a variance of 2ft (maintaining a 3ft setback rather than a 5ft setback from the side lot line (maintaining the rear lot line setback isn't an issue). I have attached a proposed plan for the shed for reference and convenience.

Applicant Variance Criteria

- 1. The property owner proposes to use the property in a reasonable manner not permitted by the zoning code.**

We would like to build a very small shed (8x12, 96 Square ft), on our property, however due to our unique circumstances, would require a 2 ft variance from the existing zoning requirements. Current zoning requirements call for a 5 foot setback from our side property line, and we are requesting a 3 ft setback.

- 2. The plight of the landowner is due to circumstances unique to the property not created by the landowner.**

Our house sits in one of two very small areas of Blaine which is Zoned Residential R-1A. As a result, and unlike the rest of Blaine, zoning requires a 5 ft setback for any accessory structures, such as sheds, playhouses, sandboxes, etc. Most all other areas of the city only require 1 ft setback for such structures from property lines. We would like to build a very small shed (8x12, 96 Square ft). With this, we have run into a practical difficulty in maintaining the zoning requirements in relation to our intended shed.

This desired location of the shed, however, has an unfortunately placed Oak tree that was part of a grove of Oaks that have been present on the land since at least the 1950/60's (per the aerial photography from the time).

Because of the Oak's location in relation to the lot lines, to keep the oak, we would need a variance of 2ft (maintaining a 3ft setback rather than a 5ft setback from the side lot line (maintaining the rear lot line setback isn't an issue).

- 3. The variance, if granted, will not alter the essential character of the locality.**

This desired location of the shed, however, has an unfortunately placed Oak tree that was part of a grove of Oaks that have been present on the land since at least the 1950/60's (per the aerial photography from the time). The Oak in question is the youngest of the surviving oaks in the neighborhood, as all other surviving oaks are approximately twice the size and age of ours. In our opinion, this oak is key to maintaining the areas character as it grows, and we desperately do not want to cut down a slow growth tree like this.

- 4. Economic considerations alone do not constitute practical difficulties. Practical difficulties include, but are not limited to, inadequate access to direct sunlight for solar energy systems.**

Our lot layout provides one of the smallest rear yards in the neighborhood. Of the two rear corners of the property, we would like to build the shed in the corner furthest from our house and neighbors houses, in an area of deep shade where grass cannot grow (due to many trees on neighbors property), and we can best utilize our property while maintaining the limited rear yard we have. This corner is preferred for the shed, because of its distance from the house and deep shade. Other possible areas on our property are significantly closer to our house, encroach significantly into our rear yard, or are sunny (Providing future opportunities for gardens, play equipment for our son, etc, which all can adhere to zoning requirements easily). This desired location of the shed, however, has an unfortunately placed Oak tree that was part of a grove of Oaks that have been present on the land since at least the 1950/60's (per the aerial photography from the time). The Oak in question is the youngest of the surviving oaks in the neighborhood, as all other surviving oaks are approximately twice the size and age of ours. In our opinion, this oak is key to maintaining the areas character as it grows, and we desperately do not want to cut down a slow growth tree like this.

Because of the Oak's location in relation to the lot lines, to keep the oak, we would need a variance of 2ft (maintaining a 3ft setback rather than a 5ft setback from the side lot line (maintaining the rear lot line setback isn't an issue). We think a variance of 24 inches for the side lot line only, for a small shed, is a practical solution to preserve the oak for future generations while still providing increased utility and value for our property; all while maintaining the minimum variance necessary to maintain the spirit of the zoning requirements, and equitable use compared to other residentially zoned areas of the city.

5. The variance requested is the minimum variance which would alleviate the unique circumstances.

2ft



City of Blaine Staff Report

File Number: 2023-265

Agenda Date	Status
-------------	--------

July 11, 2023

In Control	File Type
------------	-----------

Planning Commission

Report

Public Hearing - Sheila Sellman, City Planner

Agenda Item # 4.5

Case File No. 23-0047 // Mister Car Wash // 8501 Springbrook Drive

The applicant is requesting a conditional use permit for a zero lot line and stand-alone car wash in the B-3 (Regional Commercial) zoning district.

Background

Zoning	B-3 (Regional Commercial)
Land Use	CC (Community Commercial)
Area	1.16 Acres
Applicable Regulations	30.24 (j) (y)
Attachments	Zoning and Location Map Narrative Site Plan Grading and Drainage Plan Utility Plan Landscape Plan Elevations
Schedule	Planning Commission: 07/11/23 City Council: 08/07/23

Staff report prepared by Sheila Sellman, City Planner, and Teresa Barnes, Project Engineer

Zoning

The subject site is zoned B-3 (Regional Commercial).

Land Use Designation

The subject site is guided Community Commercial the proposed use is consistent with this land use designation.

Surrounding Zoning and Uses

The subject site is adjacent to two parcels and two roadways. The adjacent parcels are zoned B-3. The property to the north is a multi-tenant commercial use and to the east is Red Lobster.

Existing Conditions

The site was previously developed with a Burger King, the building will be removed and the site redeveloped with this proposal.

History

The subject lot was platted in 1980 as part of the Springbrook Mall Second Addition. The vacant Burger King was built in 1992.

Evaluation of Request

The applicant is proposing to redevelop the site with a 5,500 square foot tunnel carwash. The existing shared access from Springbrook Drive will remain. The proposal includes a CUP for a zero lot line which is on the east side of the lot. The hours of operation are 7AM - 7PM. There are 11 vacuums on the east side.

Architecture

The proposed building materials include Stone, EIFS, decorative metal, glazed aluminum and glass; meeting the B-3 requirements.

Setbacks

The following building setbacks are met.

- Front 50 feet
- Side and Rear 10 feet

The following parking setbacks are met with a zero lot line setback on the east side of the property.

- Front 30 feet
- Side and Rear 10 feet

Landscaping

The landscape plan meets code requirements with the following proposed:

- 7 Overstory trees (9 required) 2 existing overstory trees to remain
- 3 Coniferous trees (5 required) 2 existing coniferous trees to remain
- 5 Ornamental trees (5 required)
- 94 shrubs (30 required)

Grading/Storm Drainage

The developer is proposing to grade the entire site as shown on the CCWD and city approved grading, drainage, erosion protection and sediment control plans prepared by the Developer's Engineer. The plans shall include existing drainage patterns (contours) with flow arrows, soil boring locations, perimeter site protection, tree preservation, tree clearing limits, custom grading, proposed grading contours, proposed drainage patterns with flow arrows, storm water management, SWPPP information, temporary erosion protection Best Management Practices (BMPs), and temporary sediment control BMPs information for the site. The SWPPP may be included in the construction plan sheet(s) or prepared as a separate document and included in the development construction contract specifications.

Utilities

Standard water and sanitary sewer access charges (WAC & SAC) become due with each building permit at the rate established at the time the building permit is issued.

Wetlands/Watershed

The developer will need to submit the project to Coon Creek Watershed District (CCWS). Review, approval and permits are required prior to city plan approval and start of site work.

Access/Street Design/Sidewalks/Trails

The proposed site plan will use the existing shared access from Springbrook Drive; no other access will be granted to any street. No additional street design, sidewalk or trail will be required.

Easements/Right-of-way/Permits

The developer will need to obtain any and all required permits to construct the proposed project. A copy of all permits will need to be submitted to the City prior to any site work.

Conditional Use Permit

A city exercises “quasi-judicial” authority when considering a CUP application. This means the city’s role is limited to applying the standards in the ordinance to the facts presented by the application. The city acts like a judge in evaluating the facts against the standards

Section 27.04 Criteria for granting conditional use permits:

The Blaine City Council shall consider the advice and recommendations of the Planning Commission and the effect of the proposed use on the comprehensive plan and upon the health, safety, and general welfare of occupants of surrounding lands. Among other things, the Council shall consider the following findings where applicable. (Ord. No. 20-2447, 7-20-2020)

1. The use shall not create an excessive burden on existing parks, schools, streets and other public facilities and utilities which serve or are proposed to serve the area.
 - The carwash does not create an excessive burden on existing parks, schools, streets and other public facilities and utilities.
2. The use will be located, designed, maintained, and operated to be compatible with adjoining properties and the existing or intended character of the zoning district.
 - The B-3 district is Intended to provide retailing and services of both a convenience and durable nature to shoppers, such as apparel, furniture, food, banking and financial services for a regional trade area. A carwash meets this intent.
3. The use shall have an appearance that will not have an adverse effect upon adjacent properties.
 - The site is surrounded by existing commercial and will not have an adverse effect.
4. The use, in the opinion of the City Council, shall be reasonably related to the overall needs of the City and to the existing land use.
5. The use shall be consistent with the purposes of the zoning code and purposes of the zoning district in which the applicant intends to locate the proposed use.
 - The use is consistent with the purposes of the zoning code.
6. The use shall not be in conflict with the comprehensive plan of the City.
 - The use is not in conflict with the comprehensive plan.
7. The use will not cause traffic hazard or congestion.
 - The proposed use will not generate any additional traffic hazard or congestion.
8. The use shall have adequate utilities, access roads, drainage, and necessary facilities.
 - The existing structure is served with the required utility services, adequate roadway infrastructure and necessary drainage facilities to service the proposed uses.

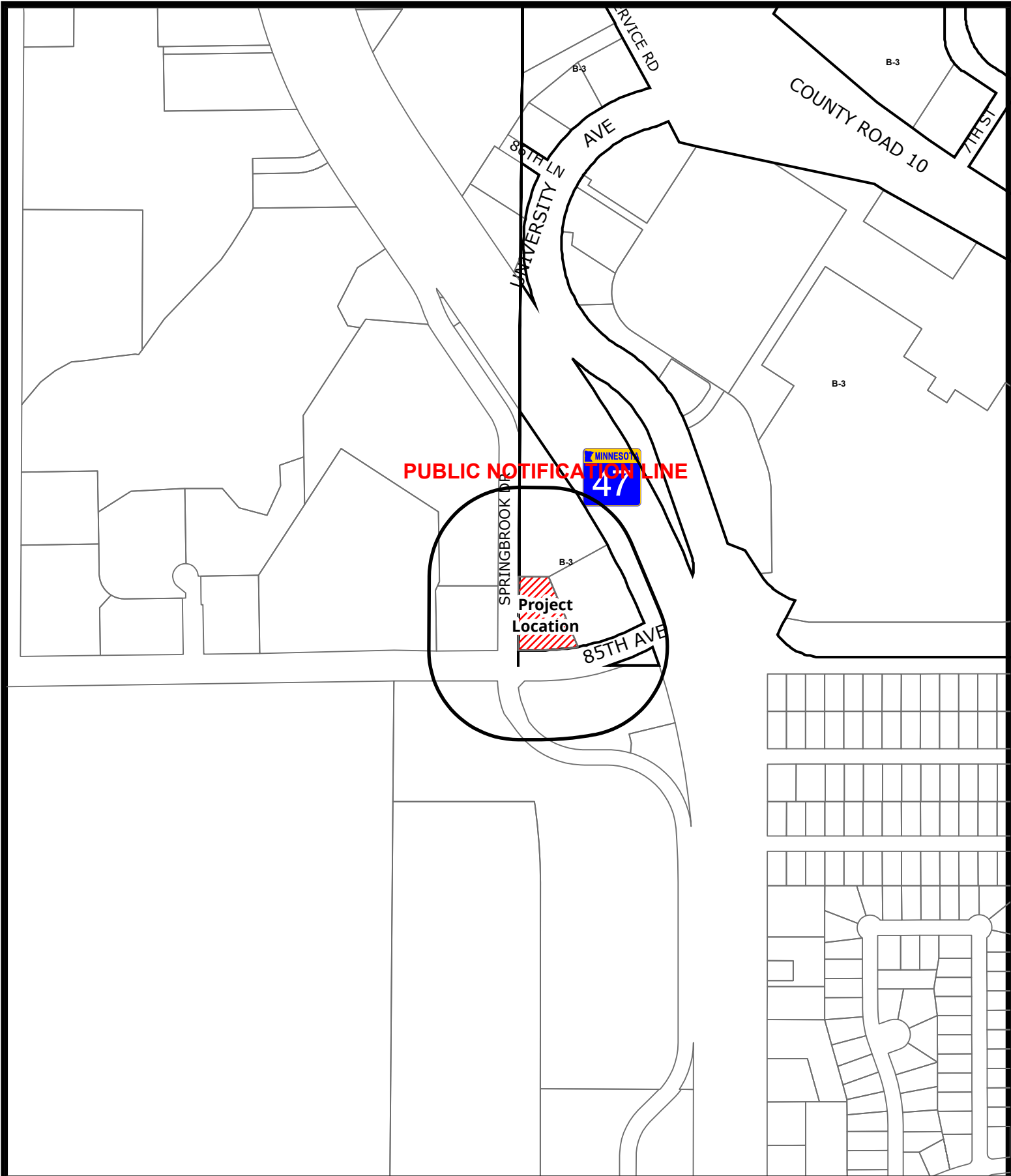
Recommendation

In Planning Case File No. 23-0047, it is recommended that the Planning Commission recommend approval of a conditional use permit for a tunnel car wash and zero lot line in the B-3 (Regional Commercial) zoning district with the following conditions:

1. All site lighting to be down lit style lamps to reduce glare and to meet the requirements of the zoning ordinance. Pole mounted lighting is limited to 20 feet in height.
2. Site plan approval will be required as a part of the building permit application. All site improvements to be included in the Site Improvement Performance Agreement and covered by an acceptable financial guarantee.
3. All signage requires a separate permit meeting the requirements of the zoning ordinance.
4. Temporary signage to be regulated under Zoning Ordinance Section 34.13.
5. The developer must submit the project to Coon Creek Watershed District for review, approval. Permits are required prior to city plan approval and start of site work.

Attachment List

1. Attachments



Case File No. 23-0047 Mister Car Wash



May 5th, 2023

City of Blaine
10801 Town Square Dr NE
Blaine, MN 55449
Attention: Ms. Sheila Sellman

Re: Mister Car Wash Planning Application Narrative

Dear Ms. Sellman;

Please accept this letter as a brief introduction and narrative for the above referenced project at 8501 Springbrook Drive.

Mister Car Wash is a subscription-based conveyor car wash (the first to introduce this model), meaning it takes the vehicle and the person through the tunnel together and is constant motion as long as vehicles are prepared to enter.

The building is approximately 5,500 square feet, and the tunnel itself is 130' long. This specific Mister Car Wash proto-type and tunnel is created for the northern, colder climate to give vehicles more time to dislodge snow, ice, and water before exiting the tunnel.

Vehicles queue at the Point of Sale (POS) station where an intricate camera system reads and identifies each vehicle (utilizing an RFID sticker placed on the windshield), then releases an arm that allows the vehicles to enter the tunnel. Since no money exchanges hands, and there are designated lanes for subscribers, the operation stays in perpetual motion. There is an additional stacking lane and pay station that accepts both member and non-members as well.

There are no sales or services rendered inside or as part of this business model, however there are always employees on site, one greeting incoming cars and if needed, spraying the vehicles for insects, pollens etc. Additional employees are inside the tunnel and at the vacuums which, are free of charge. Hours of operation across the country are 7 a.m. to 7 p.m.

As part of this application, a trip generation and queuing memo was completed. Mister Car Wash also has employees on-site who are able to help with traffic flow during peak times. There is an employee on shift during the peak hours whose job is to ensure the parking lot is clean, customers are appropriately entering and exiting the site, and can help direct deliveries. During the peak hour, and when the queue at the shared driveway access is longer than 2 vehicles, it is anticipated that this employee will be directing traffic to exit the tunnel and proceed to the east to the vacuum stalls. Customers will either be able to vacuum their vehicles, turn around in the vacuum stalls, or proceed through Red Lobster's parking lot and exit at the 'right-in right-out' at 85th Street.

Each new Mister Car Wash location incorporates an underground water reclaim system, which allows for a portion of wastewater to be reused within the car wash, and even removes sediment, balances PH, and oxygenates the portion of water that is directed to the municipal sewer. Approximately thirty-three percent of water on average is recycled during the wash process in all the new Mister Car Wash locations by facilitating sophisticated water filtration and storage systems that enable us to recycle and re-use water.

Mister Car Wash also engages with the communities in which the reside, contributing to fundraising efforts; in-kind donations given over the past 5 years exceed \$450,000 to organizations withing the markets we operate. Also, support for education is important to Mister Car Wash, and this is reflected by the 'Teachers Who Shine Grants' programs in the form of both grants and Unlimited Wash Club memberships, and the Employee Scholarship program which has been awarded to 111 employees to date.

The existing site is a former Burger King. Mister Car Wash proposes to demolish the structure, making way for the new car wash building, dumper enclosure, employee shelter, and canopy. The drive lanes are proposed to consist of concrete, with new site lighting and landscaping. The construction schedule is anticipated to be a total of 7 months.

Being a constrictive site, extra time was taken to ensure a layout that will function well and respect its surroundings, albeit a variance will be needed for a portion of drive lane on the western side of the site. The application within will address the permitting criteria needed for §MN462.357, that requires practical difficulties be demonstrated for a variance to be granted.

Being part of the Coon Creek Watershed District, we have completed the appropriate applications and have been assigned a permit number (P-23-043). We are now preparing all the requested information and hope to have a concurrent approval by May 12th.

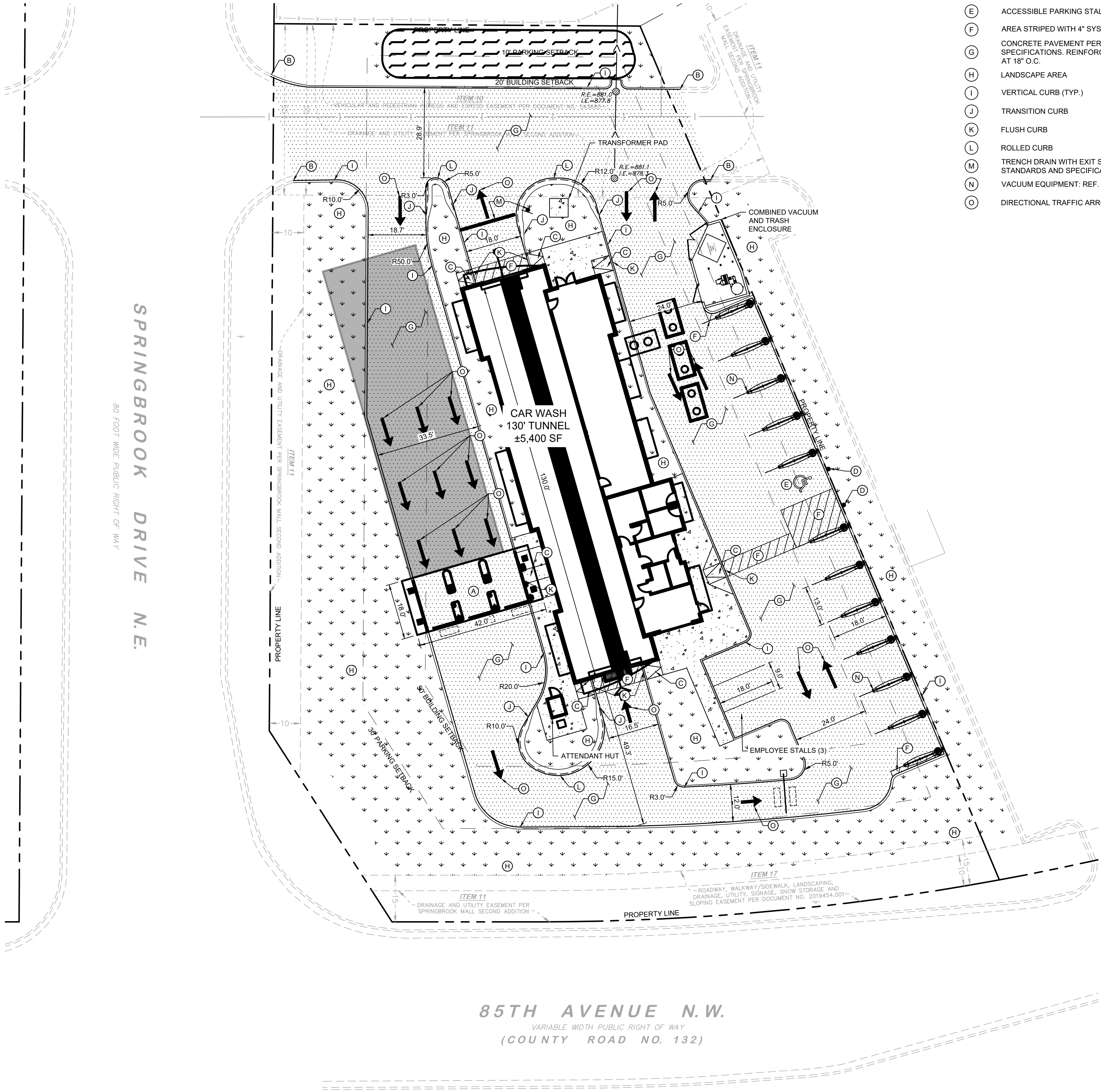
In closing, we would like to extend our appreciation for your time and willingness to work with us, and share our excitement to be joining the Blaine community hopefully, very soon

Respectfully,

Krisandra Lippert

Krisandra Lippert
Mister Car Wash, Inc (CWP West, LLC)
Development Project Manager
klippert@mistercarwash.com

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



KEYNOTE LEGEND

- (A) POS CANOPY AND EQUIPMENT: REF. ARCHITECTURAL PLANS
- (B) MATCH EXISTING EDGE OF PAVEMENT/ CURB & GUTTER
- (C) ACCESSIBLE CURB RAMP
- (D) ACCESSIBLE PARKING SIGN
- (E) ACCESSIBLE PARKING STALL
- (F) AREA STRIPED WITH 4" SYSL @ 45° 2' O.C.
- (G) CONCRETE PAVEMENT PER MISTER CARWASH STANDARDS AND SPECIFICATIONS. REINFORCEMENT TO INCLUDE #3 REBAR SPACED AT 18" O.C.
- (H) LANDSCAPE AREA
- (I) VERTICAL CURB (TYP.)
- (J) TRANSITION CURB
- (K) FLUSH CURB
- (L) ROLLED CURB
- (M) TRENCH DRAIN WITH EXIT SIGN PER MISTER CAR WASH STANDARDS AND SPECIFICATIONS
- (N) VACUUM EQUIPMENT: REF. ARCHITECTURAL PLANS
- (O) DIRECTIONAL TRAFFIC ARROW, PER GREENBOOK STANDARDS

LEGEND

- PROPERTY LINE
- x-x- EXISTING FENCE
- - - SETBACK LINE
- ===== PROPOSED CURB AND GUTTER
- [Pattern] PROPOSED CONCRETE PAVEMENT
- [Pattern] PROPOSED CONCRETE SIDEWALK

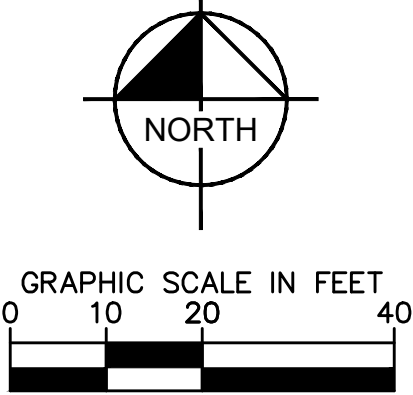
PROPERTY SUMMARY

SPRING LAKE PARK, MN MISTER CAR WASH	
TOTAL PROPERTY AREA	1.14 AC
ZONING SUMMARY	
EXISTING ZONING	B3 - REGIONAL COMMERCIAL
PROPOSED ZONING	B3 - REGIONAL COMMERCIAL
PARKING SETBACKS	SOUTH/WEST: 30' NORTH/EAST: 10'
BUILDING SETBACKS	SOUTH/WEST: 50' NORTH/EAST: 20'

BUILDING DATA SUMMARY

AREAS	
PROPOSED PROPERTY	1.14 AC
BUILDING AREA	±5,400 SF
PARKING	
REQUIRED PARKING	6 SPACES (1 LANE)
PROPOSED PARKING	14 SPACES (11 VACUUM, 3 EMPLOYEE)
ADA STALLS REQ'D / PROVIDED	1 STALLS / 1 STALLS

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- ALL INNER CURBED RADII ARE TO BE 3' OUTER CURBED RADII ARE TO BE <10"> UNLESS OTHERWISE NOTED. STRIPED RADII ARE TO BE 5'.
- ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY EGAN, FIELD & NOWAK, INC.
KIMLEY-HORN ASSUMES NO LIABILITY FOR ANY ERRORS, INACCURACIES, OR OMISSIONS CONTAINED THEREIN.
- TOTAL LAND AREA IS 1.14 ACRES.
- PYLON / MONUMENT SIGNS SHALL BE CONSTRUCTED BY OTHERS. SIGNS ARE SHOWN FOR GRAPHICAL & INFORMATIONAL PURPOSES ONLY. CONTRACTOR TO VERIFY SIZE, LOCATION AND ANY REQUIRED PERMITS NECESSARY FOR THE CONSTRUCTION OF THE PYLON / MONUMENT SIGN.
- CONTRACTOR SHALL REFERENCE ARCH / MEP PLANS FOR SITE LIGHTING AND ELECTRICAL PLAN.
- NO PROPOSED LANDSCAPING SUCH AS TREES OR SHRUBS, ABOVE AND UNDERGROUND STRUCTURES, OR OTHER OBSTRUCTIONS SHALL BE LOCATED WITHIN EXISTING OR PROPOSED UTILITY EASEMENTS AND RIGHTS OF WAY UNLESS SPECIFICALLY NOTED ON PLANS OTHERWISE.
- REFERENCE ARCHITECTURAL PLANS FOR DUMPSTER ENCLOSURE DETAILS.
- REFER TO FINAL PLAT OR ALTA SURVEY FOR EXACT LOT AND PROPERTY BOUNDARY DIMENSIONS.
- ALL AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
- ALL DIMENSIONS ARE ROUNDED TO THE NEAREST TENTH FOOT.
- ALL PARKING STALLS TO BE 13' IN WIDTH AND 18' IN LENGTH UNLESS OTHERWISE INDICATED.



PRELIMINARY - NOT FOR CONSTRUCTION

MN 1622
SPRINGBROOK
PREPARED FOR
MISTER CAR
WASH

BLAINE
MINNESOTA

SHEET NUMBER
C400

SITE PLAN

KHA PROJECT
160284014

DATE
06/01/2023

SCALE
AS SHOWN

DESIGNED BY
ACL

DRAWN BY
MJB

CHECKED BY
WDM

LEGALLY CERTIFY THAT THIS PLAN
SPECIFICATION OR REPORT WAS PREPARED BY
ME OR UNDER MY DIRECT SUPERVISION AND
THAT I AM A DULY LICENSED PROFESSIONAL
ENGINEER OR ARCHITECT UNDER THE LAWS OF THE STATE OF
MINNESOTA.

ARK C. LOKENGARD, P.E.

MN LIC. NO. 60551

DATE: 06/01/2023

Kimley»Horn

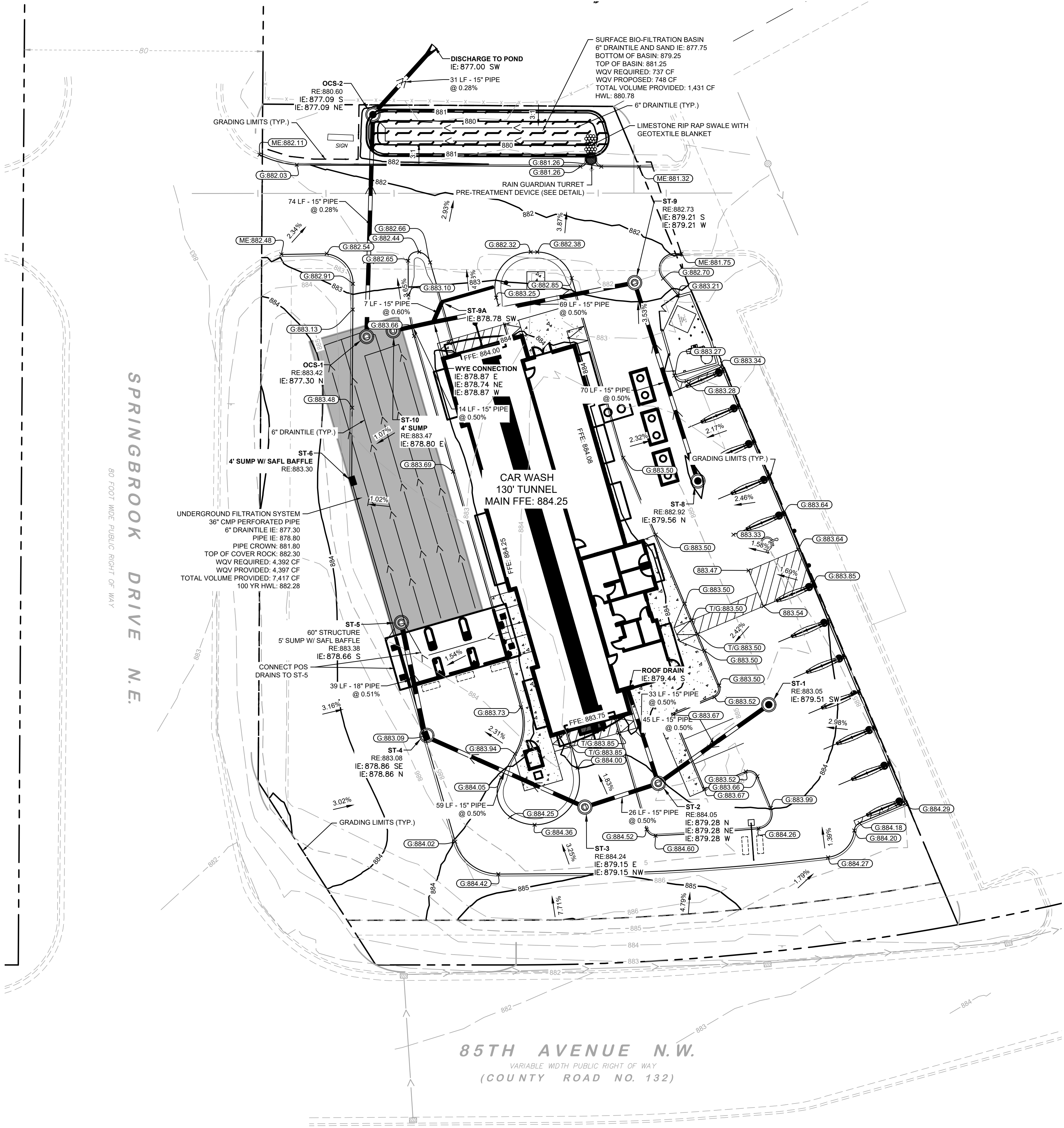
© 2022 KIMLEY-HORN AND ASSOCIATES, INC.
787 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114
PHONE: 651-845-4197
WWW.KIMLEY-HORN.COM

No.

REVISIONS

DATE

BY

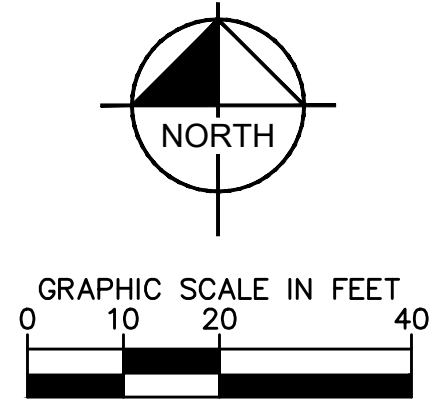


LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED STORM MANHOLE (SOLID CASTING)
- PROPOSED STORM MANHOLE (ROUND INLET CASTING)
- PROPOSED STORM MANHOLE/ CATCH BASIN (CURB INLET CASTING)
- PROPOSED STORM SEWER CLENOUT
- PROPOSED FLARED END SECTION
- PROPOSED RIPRAP
- PROPOSED STORM SEWER
- PROPOSED STORM SEWER
- PROPOSED SPOT ELEVATION
- PROPOSED HIGH POINT ELEVATION
- PROPOSED LOW POINT ELEVATION
- PROPOSED GUTTER ELEVATION
- PROPOSED TOP OF CURB ELEVATION
- PROPOSED FLUSH PAVEMENT ELEVATION
- MATCH EXISTING ELEVATION
- PROPOSED EMERGENCY OVERFLOW
- PROPOSED DRAINAGE DIRECTION

GRADING PLAN NOTES

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF BLAINE, SPECIFICATIONS AND BUILDING PERMIT REQUIREMENTS.
- CONTRACTOR TO CALL GOPHER STATE CALL ONE @ 1-800-252-1166 AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION/CONSTRUCTION FOR UTILITY LOCATIONS.
- STORM SEWER PIPE SHALL BE AS FOLLOWS:
 - RCP PER ASTM C-76
 - HDPE: 0' - 10' PER AASHTO M-252
 - HDPE: 12' OR GREATER PER ASTM F-2306
 - PVC SCH. 40 PER ASTM D-1785STORM SEWER FITTINGS SHALL BE AS FOLLOWS:
 - RCP PER ASTM C-76, JOINTS PER ASTM C-361, C-990, AND C-443
 - HDPE PER ASTM 3212
 - PVC PER ASTM D-3034, JOINTS PER ASTM D-3212
- CONTRACTOR TO FIELD VERIFY THE LOCATIONS AND ELEVATIONS OR EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE START OF SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS.
- SUBGRADE EXCAVATION SHALL BE BACKFILLED IMMEDIATELY AFTER EXCAVATION TO HELP OFFSET ANY STABILITY PROBLEMS DUE TO WATER SEEPAGE OR STEEP SLOPES. WHEN PLACING NEW SURFACE MATERIAL ADJACENT TO EXISTING PAVEMENT, THE EXCAVATION SHALL BE BACKFILLED PROMPTLY TO AVOID UNDERMINING OF EXISTING PAVEMENT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
- CONTRACTOR SHALL EXCAVATE DRAINAGE TRENCHES TO FOLLOW PROPOSED STORM SEWER ALIGNMENTS.
- GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL ROUGH GRADE TO SUBGRADE ELEVATION AND LEAVE STREET READY FOR SUBBASE.
- ALL EXCESS MATERIAL, BITUMINOUS SURFACING, CONCRETE ITEMS, ANY ABANDONED UTILITY ITEMS, AND OTHER UNSTABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF THE CONSTRUCTION SITE.
- REFER TO THE UTILITY PLAN FOR SANITARY SEWER MAIN, WATER MAIN SERVICE LAYOUT AND ELEVATIONS AND CASTING / STRUCTURE NOTATION.
- CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF PAVEMENTS AND CURB AND GUTTER WITH SMOOTH UNIFORM SLOPES TO PROVIDE POSITIVE DRAINAGE.
- INSTALL A MINIMUM OF 4" CLASS 5 AGGREGATE BASE UNDER CURB AND GUTTER AND CONCRETE SIDEWALKS.
- UPON COMPLETION OF EXCAVATION AND FILLING, CONTRACTOR SHALL RESTORE ALL STREETS AND DISTURBED AREAS ON SITE. ALL DISTURBED AREAS SHALL BE RE-VEGETATED WITH A MINIMUM OF 4" OF TOPSOIL.
- ALL SPOT ELEVATIONS/CONTOURS ARE TO GUTTER / FLOW LINE UNLESS OTHERWISE NOTED.
- GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO CURRENT ADA STATEMENTAL STANDARDS. IN NO CASE SHALL ACCESSIBLE RAMP SLOPES EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPES EXCEED 2% . IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPES EXCEED 5%. IN NO CASE SHALL ACCESSIBLE PARKING STALLS OR AISLES EXCEED 2% (1.5% TARGET) IN ALL DIRECTIONS. SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS AND GATES SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET IN ANY LOCATION PRIOR TO PAVING. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR A.D.A COMPLIANCE ISSUES.
- MAINTAIN A MINIMUM OF 0.5% GUTTER SLOPE TOWARDS LOW POINTS.
- CONTRACTOR TO PROVIDE 3" INSULATION BY 5' WIDE CENTERED ON STORM PIPE IF LESS THAN 4' OF COVER IN PAVEMENT AREAS AND LESS THAN 3' OF COVER IN LANDSCAPE AREAS.
- ROOF DRAIN INVERT CONNECTIONS AT THE BUILDING SHALL BE AT ELEVATION 877.78 OR LOWER UNLESS NOTED OTHERWISE. REFERENCE MEP PLANS FOR ROOF DRAIN CONNECTION.
- ALL STORM SEWER CONNECTIONS SHALL BE GASKETED AND WATER TIGHT INCLUDING MANHOLE CONNECTIONS.
- ALL STORM SEWER PIPE SHALL BE AIR TESTED IN ACCORDANCE WITH THE CURRENT PLUMBING CODE.
- MAINTAIN A MINIMUM OF 1.25% SLOPE IN BITUMINOUS PAVEMENT AREAS, 0.5% SLOPE IN CONCRETE PAVEMENT AREAS.
- CONTRACTOR SHALL REVIEW PAVEMENT GRADIENT AND CONSTRUCT "INFALL CURB" WHERE PAVEMENT DRAINS TOWARD GUTTER, AND "OUTFALL" CURB WHERE PAVEMENT DRAINS AWAY FROM GUTTER.



PRELIMINARY - NOT FOR CONSTRUCTION

KHA PROJECT				LIBRARY CATEGORY: WASH CAR WASH			
160284014				SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.			
DATE				DATE			
06/01/2023				06/01/2023			
SCALE				SCALE			
AS SHOWN				AS SHOWN			
DESIGNED BY				DESIGNED BY			
ACL				ACL			
DRAWN BY				DRAWN BY			
MJB				MJB			
CHECKED BY				CHECKED BY			
WDM				WDM			
MINNESOTA				MINNESOTA			
BLAINE				BLAINE			
SHEET NUMBER				SHEET NUMBER			
C500				C500			
NO.				NO.			
REVISIONS				REVISIONS			
DATE				DATE			
BY				BY			



© 2022 KIMLEY-HORN AND ASSOCIATES, INC.
767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114
PHONE: 651-445-4197
WWW.KIMLEY-HORN.COM



GATE VALVE
HYDRANT
REDUCER
TEE
SANITARY SEWER MANHOLE
SANITARY CLEANOUT
WATERMAIN
SANITARY SEWER
STORM SEWER
UNDERGROUND ELECTRIC
TELEPHONE
GAS MAIN

1. INSTALL UTILITIES IN ACCORDANCE WITH APPLICABLE CITY SPECIFICATIONS, STATE PLUMBING CODES, AND BUILDING PERMIT REQUIREMENTS.
2. CONTACT STATE 811 CALL-BEFORE-YOU-DIG LOCATING SERVICE AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION FOR UNDERGROUND UTILITY LOCATIONS.
3. CONTRACTOR IS RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
4. SANITARY SEWER PIPE SHALL BE:
PVC: ASTM D-2729, D-3034
PVC SCH 40: ASTM D-1785, F-714, F-894
SANITARY SEWER FITTINGS SHALL BE:
PVC: ASTM D-2729, D-3034
PVC SCH40: ASTM D-2665, F-2794, F-1866
5. WATER MAIN PIPE SHALL BE:
PVC: ASTM D-1785, D-2241, AWWA C-900
DUCTILE IRON: AWWA C115
WATER MAIN FITTINGS SHALL BE:
PVC: ASTM D-2464, D-2466, D-2467, F-1970, AWWA C-907
DUCTILE IRON: AWWA C-153, C-110, ASME 316.4
5. STORM SEWER PIPE SHALL BE:
RCP: ASTM C-76
HDPE: ASTM F-714, F-894
PVC: ASTM D-2729
PVC SCH40: ASTM D-1785, D-2665, F-794
DRAIN TILE SHALL BE:
PE: ASTM F-6667
PVC: ASTM D-2729
STORM SEWER FITTINGS SHALL BE:
RCP: ASTM C-76, JOINTS PER ASTM C-361, C-990, AND C-443
HDPE: ASTM D-3212
PVC: ASTM D-2729, JOINTS PER ASTM D-3212
PVC SCH40: ASTM D-2665, F-794, F-1866
6. WHEN CONNECTING TO AN EXISTING UTILITY LINE, FIELD VERIFY THE LOCATION, DEPTH, AND SIZE OF THE EXISTING PIPE(S) PRIOR TO INSTALLATION OF THE NEW LINES. NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS IMPACTING THE PROPOSED DESIGN OF THE PROJECT.
7. PLACE AND COMPACT ALL FILL MATERIAL PRIOR TO INSTALLATION OF PROPOSED UNDERGROUND UTILITIES. MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
8. MAINTAIN A MINIMUM OF 7'-6" COVER ON ALL WATER LINES.
9. FOR WATER LINES AND STUB-OUTS UTILIZE MECHANICAL JOINTS WITH RESTRAINTS SUCH AS THRUST BLOCKING, WITH STAINLESS STEEL OR COBALT BLUE BOLTS, OR AS INDICATED IN THE CITY SPECIFICATIONS AND PROJECT DOCUMENTS.
10. MAINTAIN 18-INCH MINIMUM VERTICAL SEPARATION WHERE SEWER PIPE CROSSES WATER LINES (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE OR STRUCTURE). PROVIDE 10-FOOT HORIZONTAL SEPARATION BETWEEN SEWER PIPE AND WATER LINES.
11. IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATER LINES, SANITARY LINES, STORM LINES AND GAS LINES (OR ANY OBSTRUCTION EXISTING AND PROPOSED), THE SANITARY PIPE MATERIAL SHALL BE PVC SCHEDULE 40 OR PVC C900 AND HAVE MECHANICAL JOINTS AT LEAST 10 FEET ON EITHER SIDE OF THE CENTER LINE OF THE CROSSING. THE WATER LINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE FASTENERS AS REQUIRED TO PROVIDE A MINIMUM OF 18-INCH VERTICAL SEPARATION MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-115) (CLASS 50).
12. ALL PVC & HDPE SEWER AND WATER PIPE SHALL HAVE A TRACER WIRE INSTALLED IN THE TRENCH AND TERMINATED PER THE DETAILS.
13. UNDERGROUND UTILITY LINES SHALL BE INSTALLED, INSPECTED AND APPROVED PRIOR TO PLACING BACKFILL.
14. IN PAVEMENT AREAS, RAISE MANHOLE CASTINGS TO BE FLUSH WITH PROPOSED FINISHED SURFACE GRADE. IN GREEN AREAS, RAISE MANHOLE CASTINGS TO BE ONE FOOT ABOVE FINISHED GROUND ELEVATION & INSTALL A WATERTIGHT LID.
15. REFER TO PLUMBING PLANS FOR LOCATION, SIZE AND ELEVATION OF UTILITY SERVICE CONNECTIONS AND ROOF DRAINS TO THE INTERIOR BUILDING SYSTEMS. BACKFLOW DEVICES (DCCV AND PRZ ASSEMBLIES) & METERS ARE LOCATED INSIDE THE BUILDING.
16. CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
17. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES. COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
18. REFER TO THE SITE ELECTRICAL PLANS FOR SPECIFICATIONS OF THE PROPOSED SITE LIGHTING AND ELECTRICAL EQUIPMENT.
19. EXCAVATE DRAINAGE TRENCHES TO FOLLOW PROPOSED STORM SEWER ALIGNMENTS. REFER TO THE UTILITY PLANS FOR LAYOUT AND ELEVATIONS FOR PROPOSED SANITARY SEWER, WATER MAIN, AND OTHER BUILDING UTILITY SERVICE CONNECTIONS. REFER TO THE GRADING PLAN FOR DETAILED SURFACE ELEVATIONS.
20. EXCESS MATERIAL, ABANDONED UTILITY ITEMS, AND OTHER UNUSABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF THE CONSTRUCTION SITE.
21. COORDINATE WITH THE PLUMBING PLANS FOR THE LOCATION, SIZE AND ELEVATION OF THE PROPOSED UNDERGROUND ROOF DRAIN CONNECTIONS.
22. WHERE STORM SEWER ROOF DRAINS HAVE LESS THAN 4-FEET OF COVER IN PAVED AREAS OR 3-FEET OF COVER IN LANDSCAPE AREAS, PROVIDE 3-INCH THICK INSULATION A MINIMUM OF 5-FEET IN WIDTH, CENTERED ON THE PIPE.
23. ALL STORM SEWER PIPE JOINTS SHALL BE WATER-TIGHT CONNECTIONS.
24. ALL STORM SEWER PIPE CONNECTIONS TO MANHOLES SHALL BE GASKETED AND WATER TIGHT. BOOTED COUPLERS AT THE STRUCTURE OR A WATER STOP WITH NON-SHRINK GROUT MAY BE USED IN ACCORDANCE WITH LOCAL CODES.
25. CONTRACTOR SHALL AIR TEST ALL STORM SEWER PIPE IN ACCORDANCE WITH LOCAL CODE REQUIREMENTS.



SHEET NUMBER		C600	
MN 1622 SPRINGBROOK PREPARED FOR MISTER CAR WASH		MINNESOTA	
BLAINE		MINNESOTA	
UTILITY PLAN		KHA PROJECT 160280414 DATE 06/01/2023 SCALE ##### DESIGNED BY ACL DRAWN BY MJB CHECKED BY WDM	
		I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.	
		_____ ARIC K. LOWENSGARD, P.E. DATE: 06/01/2023 MIN LIC. NO. 65551	
		Kimley»Horn © 2022 KIMLEY-HORN AND ASSOCIATES, INC. 767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114 PHONE: 651-945-4197 WWW.KIMLEY-HORN.COM	
		No.	REVISIONS
		DATE	BY



EXISTING DECIDUOUS TREE (TYP.)

EXISTING CONIFEROUS TREE (TYP.)



(33-261) SEED WITH MNDOT 33-261: STORMWATER SOUTH & WEST SEED MIX (TYP.)

GRAPHIC SCALE IN FEET

0 10 20 40



Know what's **below**.
Call before you dig.

PRELIMINARY - NOT FOR CONSTRUCTION		MIN 1622 SPRINGBROOK PREPARED FOR MISTER CAR WASH BLAINE		MINNESOTA	
SHEET NUMBER L100		LANDSCAPE PLAN		KHA PROJECT 160284014 DATE 06/01/2023 SCALE AS SHOWN DESIGNED BY SSL DRAWN BY SSL CHECKED BY MGC	
I HEREBY CERTIFY THAT THIS PLAN, IN WHOLE OR IN PART, WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.		 2022 KIMLEY-HORN AND ASSOCIATES, INC. 767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114 PHONE: 651-454-1197 WWW.KIMLEY-HORN.COM		No. _____ DATE _____ REVISIONS _____ BY _____	

